

**CITY OF EL PASO, TEXAS
AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM**

DEPARTMENT: Planning and Inspections Department, Planning Division

AGENDA DATE: Introduction: April 4, 2017
Public Hearing: May 2, 2017

CONTACT PERSON/PHONE: Larry Nichols, (915) 212-1550, nicholslf@elpasotexas.gov
Jeff Howell, (915) 212-1607, howelljb@elpasotexas.gov

DISTRICT(S) AFFECTED: 8

SUBJECT:

An Ordinance granting Special Permit No. PZST16-00030, to allow for a ground-mounted 67'-2" Personal Wireless Service Facility on the property described as a portion of Lots 18-½ to 20, Block 12, Mundy Heights Addition, 1513 Sun Bowl Drive, City of El Paso, El Paso County, Texas, pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 1513 Sun Bowl Drive. Property Owner: Jesse Salom Family Limited Partnership. PZST16-00030 (District 8) **THIS IS AN APPEAL.**

BACKGROUND / DISCUSSION:

On March 9, 2017, the CPC reviewed and recommended DENIAL of the special permit request.

PRIOR COUNCIL ACTION:

There is no prior City Council action on this special permit application.

AMOUNT AND SOURCE OF FUNDING:

N/A

BOARD / COMMISSION ACTION:

City Plan Commission (CPC) – DENIAL Recommendation (5-2).

*****REQUIRED AUTHORIZATION*****

LEGAL: (if required) N/A

FINANCE: (if required) N/A

DEPARTMENT HEAD:

Larry F. Nichols
Director, Planning and Inspection Department



APPROVED FOR AGENDA:

CITY MANAGER: _____

DATE: _____

ORDINANCE NO. _____

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST16-00030, TO ALLOW FOR A GROUND-MOUNTED 67'-2" PERSONAL WIRELESS SERVICE FACILITY ON THE PROPERTY DESCRIBED AS A PORTION OF LOTS 18-½ TO 20, BLOCK 12, MUNDY HEIGHTS ADDITION, 1513 SUN BOWL DRIVE, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Jesse Salom Family Limited Partnership property owners and Global Signal Acquisitions IV, LLC d/b/a Crown Castle International c/o Romano & Associates, LLC has applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted Personal Wireless Service Facility (PWSF) that is 67-foot 2-inch tall and camouflaged as a Bhutanese structure to resemble the architecture at the University of Texas at El Paso; and,

WHEREAS, the Section 20.10.455 allows for a ground-mounted personal wireless service facility by Special Permit; and,

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and,

WHEREAS, the City Plan Commission has recommended denial of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320 of the El Paso City Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows, is in a C-2 (Commercial) Zone District:
Portion of Lots 18-½ to 20, Block 12, Mundy Heights Addition, 1513 Sun Bowl Drive, City of El Paso, El Paso County, Texas; and as more particularly described by metes and bounds on the attached Exhibit "A"; and,
2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted 67-foot 2-inch tall personal wireless service facility on the property described in Paragraph 1 of this Ordinance; and,

3. Furthermore, the City Council makes the following findings to allow for a modified setback distance from a residential district for ground-mounted PWSF antenna support structures:
 - i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is used by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
 - iii. The applicant cannot use another PWSF antenna support structure that is located such that the applicant is able to reasonable serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas.
4. That this Special Permit is issued subject to the development standards in **C-2 (Commercial)** District regulations and is subject to the approved Detailed Site Development Plan signed by the Applicant, the City Manager and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "B" and is incorporated herein by reference for all purposes; and,
5. That if at any time the Applicant fails to comply with any of the requirements of this Ordinance, **Special Permit No. PZST16-00030** shall be subject to termination; construction or occupancy shall be discontinued; and the Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal or equitable remedy; and,
6. That the Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filed with the Zoning Administrator and the Executive Secretary to the City Plan Commission before building permits are issued.

ADOPTED this _____ of _____, 2017.

(SIGNATURES ON THE FOLLOWING PAGE)

THE CITY OF EL PASO

Oscar Leaser, Mayor

ATTEST:

Richarda Duffy Momsen, City Clerk

APPROVED AS TO FORM:



Karla M. Nieman
Assistant City Attorney

APPROVED AS TO CONTENT:



Larry F. Nichols, Director
Planning and Inspections Department

ORDINANCE NO. _____
17-1007-1930 / 646602
1513 Sun Bowl Drive
KMN

PZST16-00030

AGREEMENT

Jesse Salom Family Limited Partnership (Property Owner) and Global Signal Acquisitions IV, LLC d/b/a Crown Castle International c/o Romano & Associates, LLC referred to in the above Ordinance, hereby agrees to develop the above-described property in accordance with the approved Detailed Site Development Plan attached to same Ordinance, and in accordance with the standards identified in the C-2 (Commercial) District regulations, and subject to all other requirements set forth in this Ordinance.

EXECUTED 21 day of March, 2017.

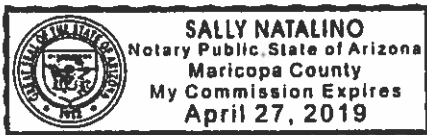
Gina Childers
(Signature) on behalf of Global Signal
Acquisitions IV, LLC d/b/a Crown
Castle International, as agent for
Jesse Salom Family Limited
(Name/Title) Partnership (Property Owner)
pursuant to Letter of
Authorization

Gina Childers
(Signature) on behalf of Global Signal
Acquisitions IV, LLC d/b/a
Crown Castle International (Applicant)
Gina Childers
(Name/Title) Program Manager

ACKNOWLEDGMENT

ARIZONA
THE STATE OF ~~TEXAS~~)
Maricopa)
COUNTY OF ~~EL PASO~~)

This instrument is acknowledged before me on this 21 day of March, 2017, by _____, as authorized agent for Jesse Salom Family Limited Partnership as property owner.



Sally Natalino
Notary Public, State of ~~Texas~~ ARIZONA
Signature

Sally Natalino
Printed or Typed Name

My Commission Expires:

April 27, 2019

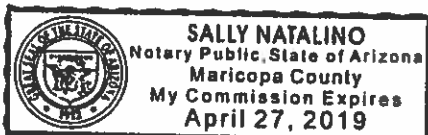
(Signature)

(Name/Title)

ACKNOWLEDGMENT

ARIZONA
THE STATE OF ~~TEXAS~~)
Maricopa)
COUNTY OF ~~EL PASO~~)

This instrument is acknowledged before me on this 21 day of March, 2016, by _____, as Roman Hye for Global Signal Acquisitions IV, LLC d/b/a Crown Castle International c/o Roman & Associates, LLC as applicant.



Sally Natalino
Notary Public, State of Texas
Signature

Sally Natalino
Printed or Typed Name

My Commission Expires:

April 27, 2019

ORDINANCE NO. _____
17-1007-1930 / 646602
1513 Sun Bowl Drive
KMN

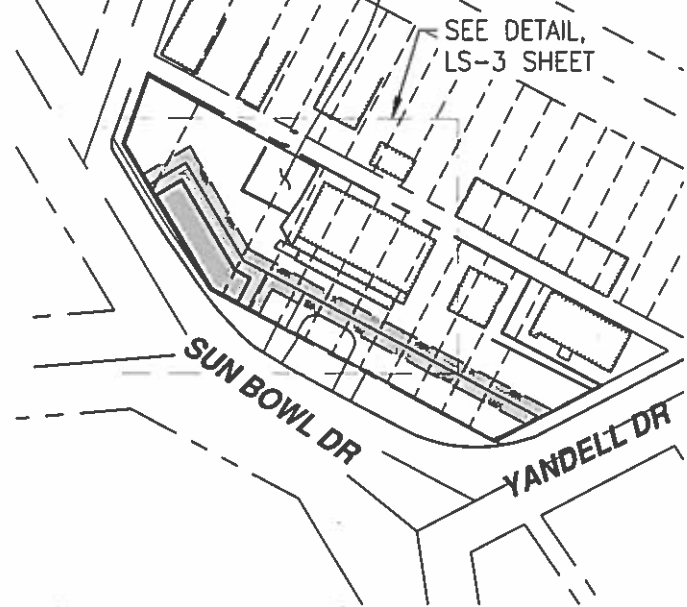
PZST16-00030

SURVEYOR'S NOTES

1. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT ANY INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. BUILDING SETBACK LINES, ZONING, FLOOD AREA ZONES, AND ADDRESSES THAT MAY BE SHOWN ARE SUPPLIED BY THE GOVERNING AGENCY OR TAKEN FROM THE BEST AVAILABLE RECORDS. THE SURVEYOR WILL NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF ANY INFORMATION SUPPLIED BY OTHERS.
3. THE DESCRIPTION OF PROPERTY BOUNDARIES AND EASEMENTS SHOWN HEREON, REPRESENT THAT INFORMATION PROVIDED IN COMMITMENT FOR TITLE INSURANCE ORDER NO.CRC-WC-434317-C, PREPARED BY WFG NATIONAL TITLE INSURANCE COMPANY, DATED JULY 2, 2015. ANY INFORMATION SHOWN WHICH MAY VARY FROM THE CONTENTS OF THE REPORT(S) NOTED ABOVE, REPRESENTS INFORMATION AND MEASUREMENTS FOUND DURING THE COURSE OF THE SURVEY.
4. BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM TEXAS STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.
5. THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X" AREAS OF 500 YEAR FLOOD; 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITHIN DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOOD ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), COMMUNITY PANEL NO. 39, MAP NO. 4802140039B, DATED SEPTEMBER 15, 1982.
6. PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 12' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY RAW STATIC GPS DATA PROCESSED ON THE NGS OPUS WEBSITE. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.
7. THE PURPOSE OF THIS SURVEY IS TO ESTABLISH OR DETERMINE A CROWN CASTLE LICENSE PARCEL & ASSOCIATED EASEMENTS. THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION PROVIDED BY TITLE AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

PARENT PARCEL

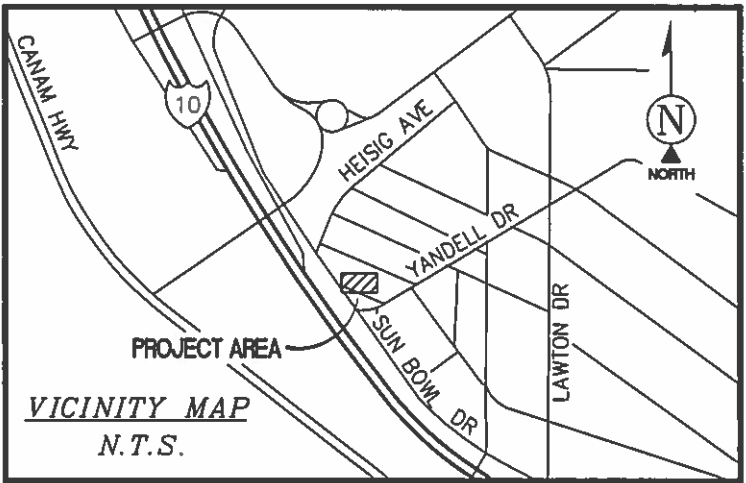
PARCEL ID: M946-999-0120-6400
ZONING: C-2
JESSE SALOM FAMILY
LIMITED PARTNERSHIP
INST. NO. 20060105915



POSITION OF GEODETIC COORDINATES
LATITUDE 31° 45' 45.7" NORTH (NAD83)
LONGITUDE 106° 30' 17.0" WEST (NAD83)
GROUND ELEVATION @ 3783.7' (NAVD88)

LEGEND

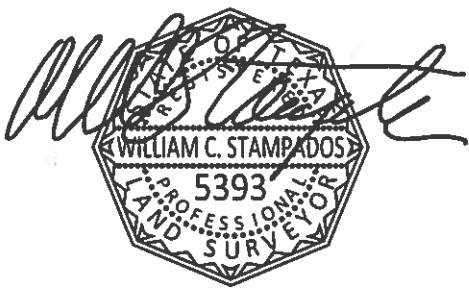
- PP POWER POLE
DW ACCESS DRIVEWAY
CMU CONCRETE MASONRY UNIT
P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
P.O.T. POINT OF TERMINUS
☉ POSITION OF GEODETIC COORDINATES
⚡ POWER POLE
—○—○—○— CHAIN LINK FENCE
- - - - - PROPERTY LINE



DIRECTIONS TO SITE

(FROM EL PASO INTERNATIONAL AIRPORT)
TAKE BOEING DRIVE WEST TO AIRWAY BOULEVARD. TAKE AIRWAY BOULEVARD SOUTH TO MONTANA AVENUE. TAKE MONTANA AVENUE WEST TO ROBERT E. LEE ROAD. TAKE ROBERT E. LEE ROAD SOUTH TO GATEWAY BOULEVARD. TAKE GATEWAY BOULEVARD WEST TO INTERSTATE 10. TAKE INTERSTATE 10 WEST TO EXIT 188. TAKE MAIN STREET WEST AND IT WILL TURN INTO SUN BOWL ROAD. CONTINUE ON SUN BOWL ROAD AND THE SITE WILL BE ON THE RIGHT.

SURVEY DATE
07/01/15



CERTIFICATION

ALL VISIBLE SITE RELATED IMPROVEMENTS ARE CONTAINED WITHIN THE OVERALL LEASE AREA.

CERTIFIED TO:
CROWN CASTLE
WFG NATIONAL TITLE INSURANCE COMPANY

William C. Stampados 01-26-17
WILLIAM STAMPADOS, R.P.L.S. #5393 DATE

Exhibit A



PROJECT INFORMATION:
SUN BOWL DRIVE
821983
1513 SUN BOWL DR.
EL PASO, TX 79902
EL PASO COUNTY

ORIGINAL ISSUE DATE:
01/19/2017

| REV. | DATE | DESCRIPTION | BY |
|------|----------|-------------|-----|
| 1 | 01/19/17 | SUBMITTAL | DRH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

PLANS PREPARED BY:

480 E. SOUTHERN AVE.
TEMPE, ARIZONA 85282
PH: (480) 659-4072
www.ambitconsulting.us

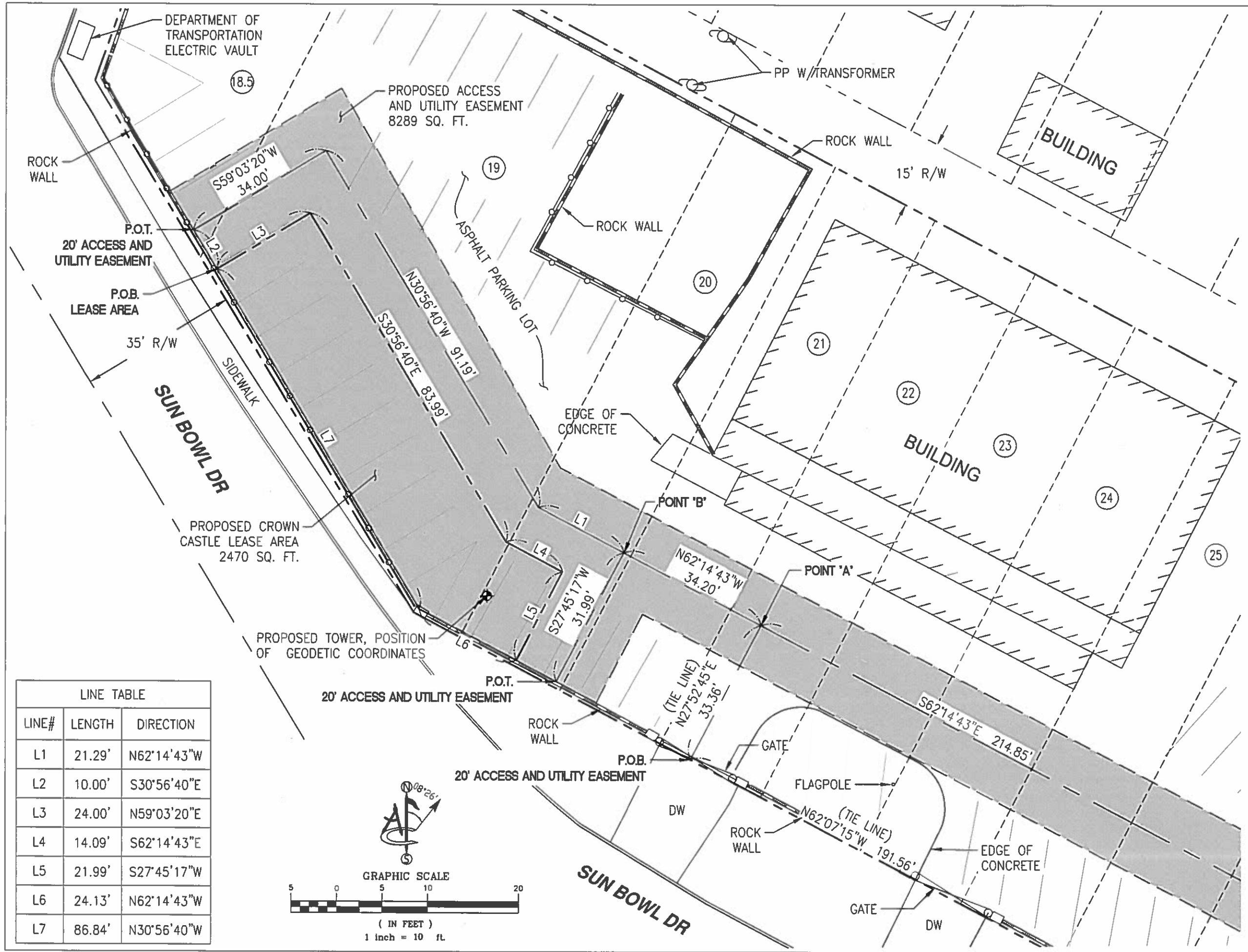
CONSULTANT:


DRAWN BY: DRH
CHK: NS
APV: WS

APPROVALS:

SHEET TITLE:
TITLE

SHEET NUMBER:
LS-1





**CROWN
CASTLE**

PROJECT INFORMATION:

SUN BOWL DRIVE
821983
1513 SUN BOWL DR.
EL PASO, TX 79902
EL PASO COUNTY


ORIGINAL ISSUE DATE:

01/19/2017

REV.: DATE: DESCRIPTION: BY:

| | | | |
|---|----------|----------|-----|
| 1 | 01/19/17 | SUBMITAL | DRH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

PLANS PREPARED BY:



410 E. SOUTHERN AVE.
TEMPE, ARIZONA 85282
PH. (480) 659-4072
www.ambitconsulting.us

ambit consulting

CONSULTANT:

DRAWN BY: CHK: APV:

| | | |
|-----|----|----|
| DRH | NS | WS |
|-----|----|----|

LICENSER:

SHEET TITLE:

SURVEY DETAIL

SHEET NUMBER:

LS-3

PARENT PARCEL LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF EL PASO, CITY OF EL PASO, STATE OF TEXAS, AND IS DESCRIBED AS FOLLOWS:

LOTS 18-1/2 TO 27, INCLUSIVE AND PORTIONS OF LOTS 28 AND 29, BLOCK 2, MUNDY HEIGHTS ADDITION, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHERLY LINE OF ALLEY RUNNING EASTERLY AND WESTERLY THROUGH SAID BLOCK 12, WHICH POINT IS 125.61 FEET WESTERLY FROM THE POINT OF INTERSECTION OF THE NORTHWESTERLY LINE OF YANDELL BLVD., AND THE SOUTHWESTERLY LINE OF SAID ALLEY;

THENCE, AT RIGHT ANGLES 50.00 FEET IN A SOUTHWESTERLY DIRECTION ALONG A LINE 12.0 FEET WESTERLY AND PARALLEL TO THE COMMON LINE OF LOTS 28 AND 29;
THENCE, RIGHT ANGLES, 91.17 FEET IN A SOUTHEASTERLY DIRECTION PARALLEL TO THE SOUTH LINE OF THE ALLEY, TO A POINT ON THE NORTHWESTERLY LINE OF YANDELL BLVD.;
THENCE, AT RIGHT ANGLES, 91.17 FEET IN A SOUTHWESTERLY DIRECTION ALONG THE NORTHWESTERLY LINE OF YANDELL BLVD., TO ITS POINT OF INTERSECTION WITH THE NORTHEASTERLY LINE OF SUN BOWL DRIVE (MAIN STREET);
THENCE, 396.68 FEET NORTHWESTERLY, ALONG THE NORTHEASTERLY LINE OF SUN BOWL DRIVE (MAIN STREET) TO ITS INTERSECTION WITH THE EASTERLY LINE OF HEISIG STREET (HILLSIDE STREET);
THENCE, 60.50 FEET NORTHERLY ALONG EASTERLY LINE OF HEISIG STREET (HILLSIDE STREET) TO ITS INTERSECTION WITH THE SOUTHERLY LINE OF ALLEY;
THENCE, 349.71 FEET EASTERLY ALONG THE SOUTH LINE OF ALLEY TO THE POINT OF BEGINNING.

THIS BEING THE SAME PROPERTY CONVEYED TO JESSE SALOM FAMILY LIMITED PARTNERSHIP FROM CENTRO VIDA LIFE CENTER, INC. IN A DEED DATED OCTOBER 30, 2006 AND RECORDED NOVEMBER 1, 2006 IN INSTRUMENT NO. 20060105915.

SCHEDULE "B" NOTES

REFERENCE IS MADE TO THE TITLE REPORT ORDER NO. CRC-WC-434317-C, PREPARED BY WFG NATIONAL TITLE INSURANCE COMPANY, DATED JULY 2, 2015. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

THERE ARE NOT PLOTTABLE EXCEPTIONS CONTAINED IN ABOVE REFERENCED TITLE REPORT.

ACCESS AND UTILITY EASEMENT LEGAL DESCRIPTION
(AS SURVEYED)

ALL THAT PORTION OF LOTS 18-1/2 TO 29, BLOCK 12, MUNDY HEIGHTS ADDITION, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, AND BEING A 20.00 FOOT WIDE STRIP, LYING 10.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT A FOUND TEXAS DEPARTMENT OF TRANSPORTATION BRASS CAP AT THE INTERSECTION OF THE NORTHERLY RIGHT OF WAY LINE OF YANDELL DRIVE AND THE EASTERLY RIGHT OF WAY LINE OF SUN BOWL DRIVE;

THENCE ALONG SAID NORTHEASTERLY RIGHT OF WAY OF SUN BOWL DRIVE, NORTH 62° 07' 15" WEST, 191.56 FEET;

THENCE DEPARTING SAID RIGHT OF WAY, NORTH 27° 52' 45" EAST, 33.36 FEET TO THE POINT OF BEGINNING AND A POINT HEREINAFTER REFERRED TO AS POINT "A";
THENCE NORTH 62° 14' 43" WEST, 34.20 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "B";

THENCE CONTINUING NORTH 62° 14' 43" WEST, 21.29 FEET;
THENCE NORTH 30° 56' 40" WEST, 91.19 FEET;
THENCE SOUTH 59° 03' 20" WEST, 34.00 FEET TO THE POINT OF TERMINUS;

AND BEGINNING AT AFOREMENTIONED POINT "A";

THENCE SOUTH 62° 14' 43" EAST, 214.95 FEET TO THE POINT OF TERMINUS ON THE NORTHWESTERLY RIGHT WAY LINE OF YANDELL DRIVE AND THE POINT OF TERMINUS;

AND BEGINNING AT AFOREMENTIONED POINT "B";

THENCE SOUTH 27° 45' 17" WEST, 31.99 FEET TO THE POINT OF TERMINUS;

THE SIDELINES OF SAID STRIP ARE TO BE LENGTHENED OR SHORTENED TO TERMINATE ON SAID RIGHT OF WAY LINE.

CONTAINING 8289 SQ. FT., MORE OR LESS.



PROJECT INFORMATION:

SUN BOWL DRIVE
821983
1513 SUN BOWL DR.
EL PASO, TX 79902
EL PASO COUNTY

ORIGINAL ISSUE DATE:

01/19/2017

| REV. | DATE | DESCRIPTION | BY |
|------|----------|-------------|-----|
| 1 | 01/19/17 | SUBMITAL | DRH |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

PLANS PREPARED BY:

 410 E SOUTHERN AVE
TEMPE, ARIZONA 85282
PH: (480) 659-4072
www.ambitconsulting.us

ambit consulting

CONSULTANT:

DRAWN BY: DRH CHK.: NS APV.: WS

LICENSER:

SHEET TITLE:

LEGAL DESCRIPTIONS

SHEET NUMBER:

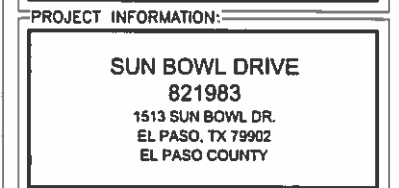
LS-4

ALL THAT PORTION OF LOTS 18-1/2 TO 20, BLOCK 12, MUNDY HEIGHTS ADDITION,
AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, AND BEING
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THENCE ALONG SAID NORTHEASTERLY RIGHT OF WAY OF SUN BOWL DRIVE, NORTH
62° 07' 15" WEST, 191.56 FEET;
THENCE DEPARTING SAID RIGHT OF WAY, NORTH 27° 52' 45" EAST, 33.36 FEET;
THENCE NORTH 62° 14' 43" WEST, 55.49 FEET;
THENCE NORTH 30° 56' 40" WEST, 91.19 FEET;
THENCE SOUTH 59° 03' 20" WEST, 34.00 FEET;
THENCE SOUTH 30° 56' 40" EAST, 10.00 FEET TO THE POINT OF BEGINNING;

THENCE NORTH 59° 03' 20" EAST, 24.00 FEET;
THENCE SOUTH 30° 56' 40" EAST, 83.99 FEET;
THENCE SOUTH 62° 14' 43" EAST, 14.09 FEET;
THENCE SOUTH 27° 45' 17" WEST, 21.99 FEET;
THENCE NORTH 62° 14' 43" WEST, 24.13 FEET;
THENCE NORTH 30° 56' 40" WEST, 86.84 FEET TO THE POINT OF BEGINNING.

CONTAINING 2470 SQ. FT.



ORIGINAL ISSUE DATE: 01/19/2017

[illegible]

PLANS PREPARED BY:



410 E SOUTHERN AVE.
TEMPE, ARIZONA 85282
PH. (480) 659-4072
www.ambitconsulting.us

ambit consulting

CONSULTANT: _____

| | | |
|---|----|----|
| DRAWN BY: _____ CHK.: _____ APV.: _____ | | |
| DRH | NS | WS |

LICENSER: _____

SHEET TITLE: _____

LEGAL DESCRIPTIONS

SHEET NUMBER: LS-5

Exhibit B



ADDRESS: 1513 SUN BOWL DR
EL PASO, TX 79902

CCI SITE NAME: SUN BOWL DR
VERIZON SITE NAME: ELP RIM
SITE ID: 821983

NEW 67'-2" CONCEALMENT TOWER (OVERALL HEIGHT 70')
LAT: 31° 45' 45.8" LONG: -106°30' 17.1" / GR. ELEV: 3783.7'

(FROM EL PASO INTERNATIONAL AIRPORT):
TAKE BOEING DRIVE WEST TO AIRWAY BOULEVARD.
TAKE AIRWAY BOULEVARD SOUTH TO MONTANA AVENUE.
TAKE MONTANA AVENUE WEST TO ROBERT E. LEE ROAD.
TAKE ROBERT E. LEE ROAD SOUTH TO GATEWAY BOULEVARD.
TAKE GATEWAY BOULEVARD WEST TO INTERSTATE 10.
TAKE INTERSTATE 10 WEST TO EXIT 188.
TAKE MAIN STREET WEST AND IT WILL TURN INTO SUN BOWL ROAD.
CONTINUE ON SUN BOWL ROAD AND THE SITE WILL BE ON THE RIGHT.

CITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
DETAILED SITE DEVELOPMENT PLAN
APPROVED BY THE CITY COUNCIL

3-21-17
DATE
APPLICANT
EXECUTIVE SECRETARY CITY PLAN COMMISSION
CITY MANAGER



VICINITY MAP EL PASO, TEXAS

| SITE DRAWINGS | |
|---------------|--------------------------------------|
| SHEET NUMBER | DESCRIPTION |
| T-1 | TITLE SHEET |
| C-1 | OVERALL STE PLAN |
| A-1 | SITE PLAN |
| A-2 | ENLARGED SITE PLAN |
| A-3 | SITE ELEVATION |
| CD-1 | FENCE AND GATE DETAILS |
| CD-2 | FENCE AND GATE DETAILS |
| CD-3 | PULL BOX & TRENCH DETAILS |
| CD-4 | SHELTER SLAB & CABLE BRIDGE DETAILS |
| CD-5 | EQUIPMENT DETAILS |
| RF-1 | ANTENNA DETAILS |
| RF-2 | ANTENNA DETAILS |
| S-1 | SITE SIGN DETAILS |
| E-1 | ELECTRICAL NOTES |
| E-2 | ELECTRICAL DETAILS |
| E-3 | ELECTRICAL DETAILS |
| E-4 | ELECTRICAL & GROUNDING GENERAL NOTES |
| E-5 | SINGLE-LINE DIAGRAM |
| GD-1 | GROUNDING DETAILS |
| GD-2 | GROUNDING DETAILS |
| GD-3 | GROUNDING DETAILS |
| GD-4 | GROUNDING SITE PLAN |
| GD-5 | GROUNDING DETAILS |
| GD-6 | GROUNDING DETAILS |

PROJECT CONTACTS

A&E FIRMS
CLEARWATER COMMUNICATIONS, INC.
(F-4080)
5327 TIMBER TRAIL
SAN ANTONIO, TX 78228
CONTACT: MIKKO P. AHOLA P.E.
PHONE: (210) 684-3877

TOWERCOM TECHNOLOGIES, LLC
4520 MONTGOMERY BLVD., SUITE 5
ALBUQUERQUE, NM 87109
CONTACT: BRIAN WILEY
bwiley@towercomtechnologies.com
PHONE: (505) 232-4884 (EXT. 130)

LEASING/ZONING
ROMANO & ASSOCIATES, LLC
8100 WYOMING BLVD. NE #M4-167
ALBUQUERQUE, NM 87113
CONTACT: NICK ROMANO
PHONE: (505) 750-0735

SURVEYOR
ANTELOPE SURVEYING
4903 SOUTH FOX STREET
ENGLEWOOD, CO 80110
CONTACT: WILLIAM STAMPADOS
PHONE: (303) 748-2181

SITE DIRECTIONS

| PROJECT INFORMATION | SITE MANAGER | CONSTRUCTION MANAGER | ZONING MANAGER | RF ENGINEER | PROJECT MANAGER |
|---|----------------------------|----------------------------|----------------------------|----------------------------|----------------------------|
| - NEW 67'-2" CONCEALMENT TOWER (OVERALL HEIGHT 70'), UG FOUNDATION & ASSOCIATED GROUNDING - NEW 6' WROUGHT IRON FENCE & 12' SLIDING GATE TO MATCH EXISTING FENCE. - NEW WOOD DROP POLE AND ELECTRIC METER RACK - NEW VERIZON EQUIPMENT SHELTER ON CONCRETE SLAB W/ ICE BRIDGE TO TOWER - NEW VERIZON GENERATOR INSIDE SHELTER - NEW VERIZON EQUIPMENT CONCEALED W/IN STEALTH TOWER AT 61' ELEVATION CONSISTING OF (2) ANTENNA MOUNTS, (8) PANEL ANTENNAS (4 PROPOSED & 4 FUTURE), (4) RRH UNITS, (2) OVP UNITS AND (2) HYBRIFLEX CABLES RUN INSIDE OF TOWER. | NAME: _____ DATE: _____ | NAME: _____ DATE: _____ | NAME: _____ DATE: _____ | NAME: _____ DATE: _____ | NAME: _____ DATE: _____ |

CROWN CASTLE
5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

verizon
4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER COMMUNICATIONS, INC.
5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER F-4080



| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|----------|------------------------|
| | 1 | 11-25-15 | PRELIM REVIEW |
| | 2 | 09-12-16 | NEW TOWER DESIGN |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN |
| | 4 | 11-29-16 | IFC |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT |
| | 6 | 02-02-17 | REDLINES |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME
VERIZON

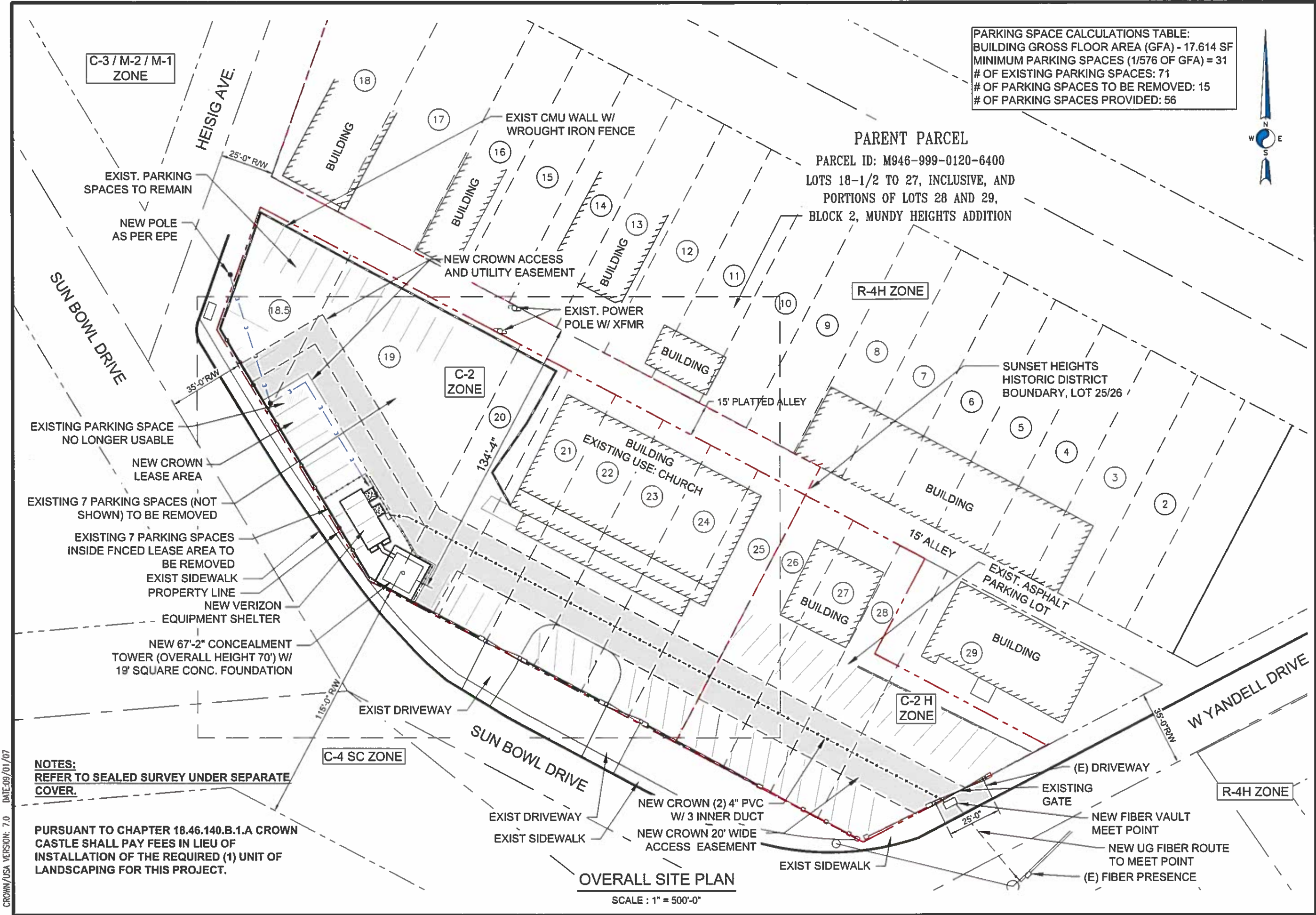
SITE NAME
SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER
821983

SITE ADDRESS
1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



3530 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER F-4080

MIKKO P. AHOLA
80990
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2023

| REVISIONS | NO. | DATE | DESCRIPTION | BY | DATE |
|-----------|-----|----------|------------------------|----|------|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ | |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ | |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ | |
| | 4 | 11-29-16 | IFC | MJ | |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ | |
| | 6 | 02-02-17 | REDLINES | MJ | |
| | 7 | 02-22-17 | CITY COMMENTS | MJ | |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

C-1

TOWER GROUND RING MUST BE INSTALLED AND BACKFILLED WITH 95% COMPACTION PRIOR TO POURING TOWER FOUNDATION.
SEE NOTE #13 ON SHEET GD-4.

NEW CROWN CASTLE 4" PVC
W/4 INNER DUCT

NEW 6' WROUGHT IRON FENCE
(PAINTED WHITE TO MATCH EXISTING)

NEW CROWN CASTLE
LEASE AREA (2470 SQ FT)

NEW VERIZON WIRELESS PANEL
ANTENNAS INSTALLED WITH N
CONCEALMENT TOWER
(4) TO BE INSTALLED
(4) FUTURE ADDITIONS

(4) NEW VERIZON WIRELESS
RRH UNITS,
SEE DETAIL (6)

(2) NEW VERIZON WIRELESS
MAIN OVP UNITS.
SEE DETAIL

NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT 70')
(DESIGNED BY OTHERS)

EXISTING CHAIN-LINK FENCE ON TOP OF WALL
TO BE REPLACED WITH 6' WROUGHT IRON FENCE,
AND PAINTED WHITE - APPROX. 107 L.F.

SUN BOWL DRIVE

ENLARGED SITE PLAN

NORTH

DESIGNED FOR:



DESIGNED FOR: **verizon**

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

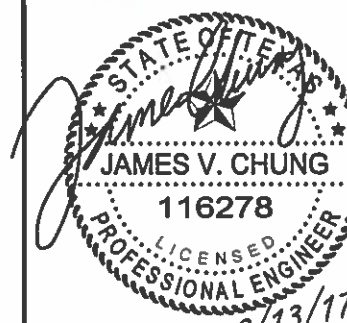
THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

JS INFRASTRUCTURE

CAZ
CO
ID
NAM
TV
ET

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|-----------------------------------|----------|----|------|
| 1 | REVISED PER NEW SELF | 02/23/16 | DC | EVJR |
| 2 | CONCEALMENT TOWER ADDED | 05/31/16 | DC | EVJR |
| 3 | REVISED PER RF DESIGN | 06/06/16 | DC | EVJR |
| 4 | REVISED PER MODIFIED TOWER DESIGN | 12/13/16 | DC | JVC |
| 5 | REVISED PER INTERSECTION COMMENTS | 02/13/17 | DC | JVC |

888-888-8888



PROJECT NAME

ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:

1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

SHEET TITLE:

ENLARGED SITE PLAN

SAVE DATE:

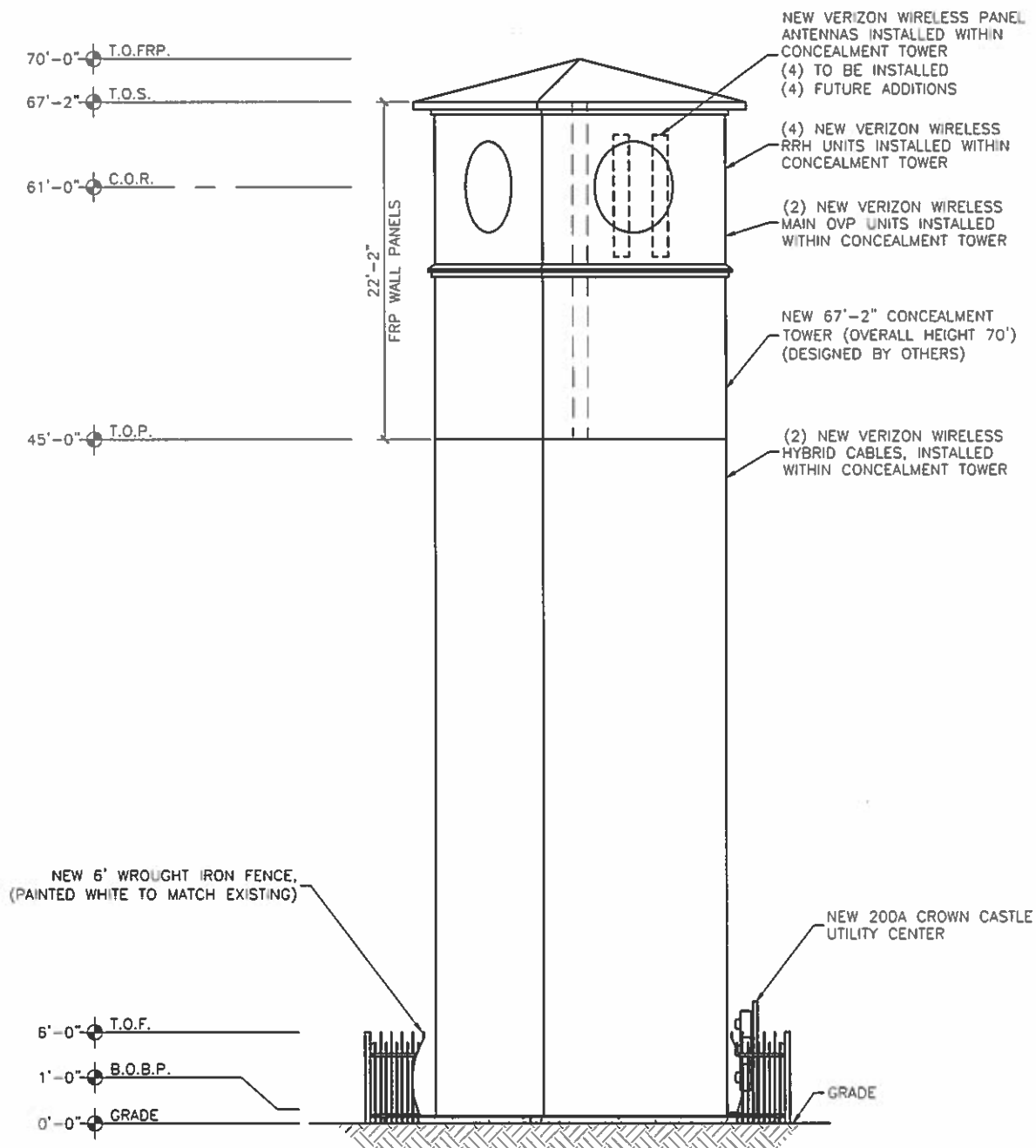
2/13/2017 8:43 AM

SHEET NUMBER:

A-2

GROUNDING NOTE:

TOWER GROUND RING MUST BE INSTALLED AND BACKFILLED WITH 95% COMPACTION PRIOR TO POURING TOWER FOUNDATION.
SEE NOTE #13 ON SHEET GD-4.



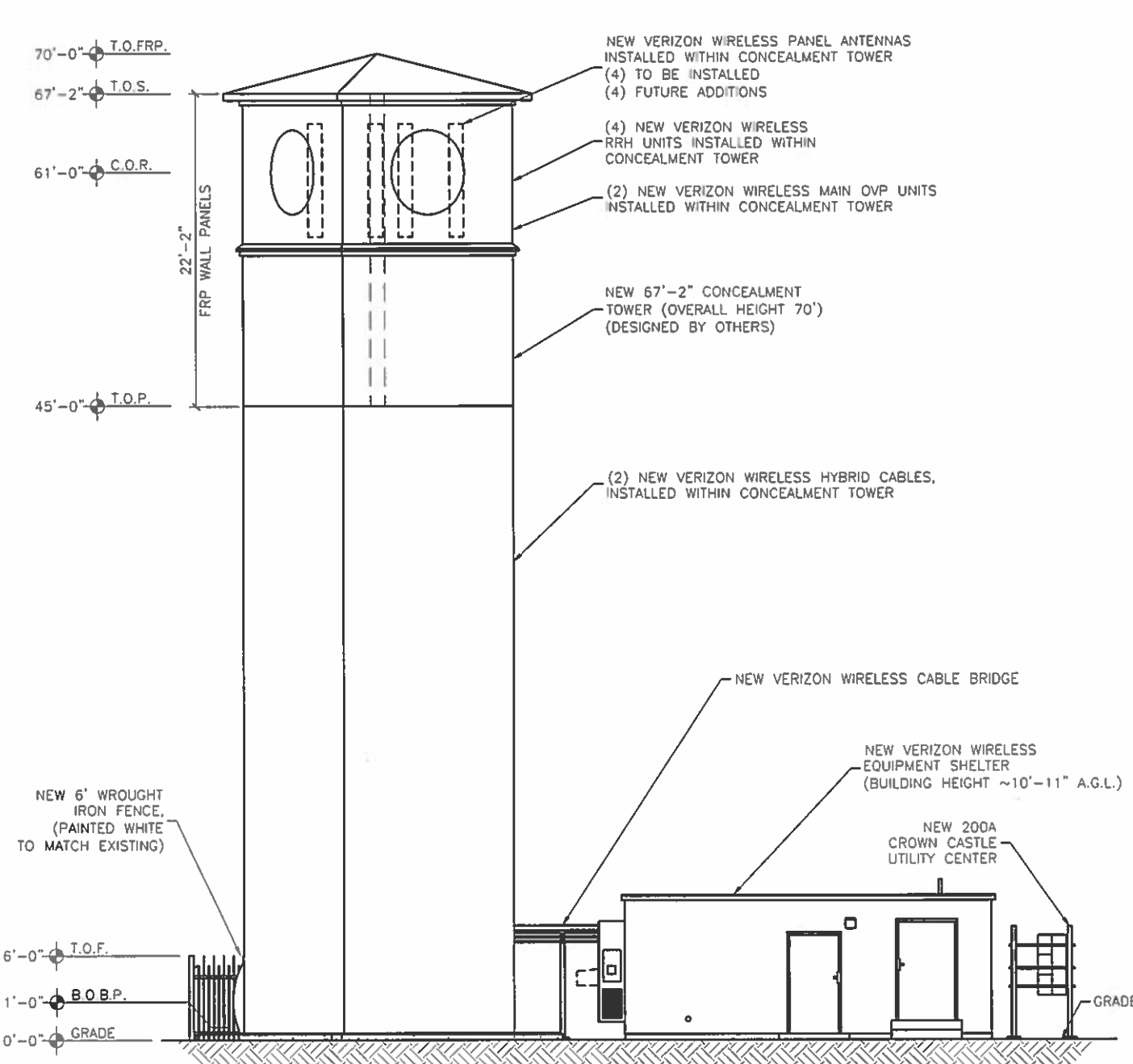
NEW SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

NOTE:

CONCEALMENT TOWER TO BE PAINTED/TEXTURED TAN TO MATCH SIMILAR STRUCTURES FOUND AT THE UNIVERSITY OF TEXAS AT EL PASO (UTEP)

KEY:

| | |
|------------|-----------------------|
| T.O.S. = | TOP OF STEEL |
| C.O.R. = | CENTER OF RADIATION |
| T.O.F. = | TOP OF FENCE |
| T.O.P. = | TOP OF PLATFORM |
| T.O.FRP. = | TOP OF FRP ROOF PANEL |
| B.O.B.P. = | BOTTOM OF BASE PLATE |



NEW NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

DESIGNED FOR:

verizon

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

| J5 INFRASTRUCTURE PARTNERS | | DATE | CHK |
|----------------------------|-----------------------------------|------|----------|
| REV | DESCRIPTION | BY | DATE |
| 1 | REVISED PER NEW SLF | DC | 02/23/16 |
| 2 | CONCEALMENT TOWER ADDED | DC | 05/31/16 |
| 3 | REVISED PER RF DESIGN | DC | 06/06/16 |
| 4 | REVISED PER MODIFIED TOWER DESIGN | DC | 12/13/16 |
| 5 | REVISED PER JURISDICTION COMMENTS | DC | 02/13/17 |

DESIGNED BY:

JAMES V. CHUNG
116278
LICENSED PROFESSIONAL ENGINEER
2/13/17

PROJECT NAME:

**ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")**

PROJECT ADDRESS:

**1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY**

SHEET TITLE:

SITE ELEVATION

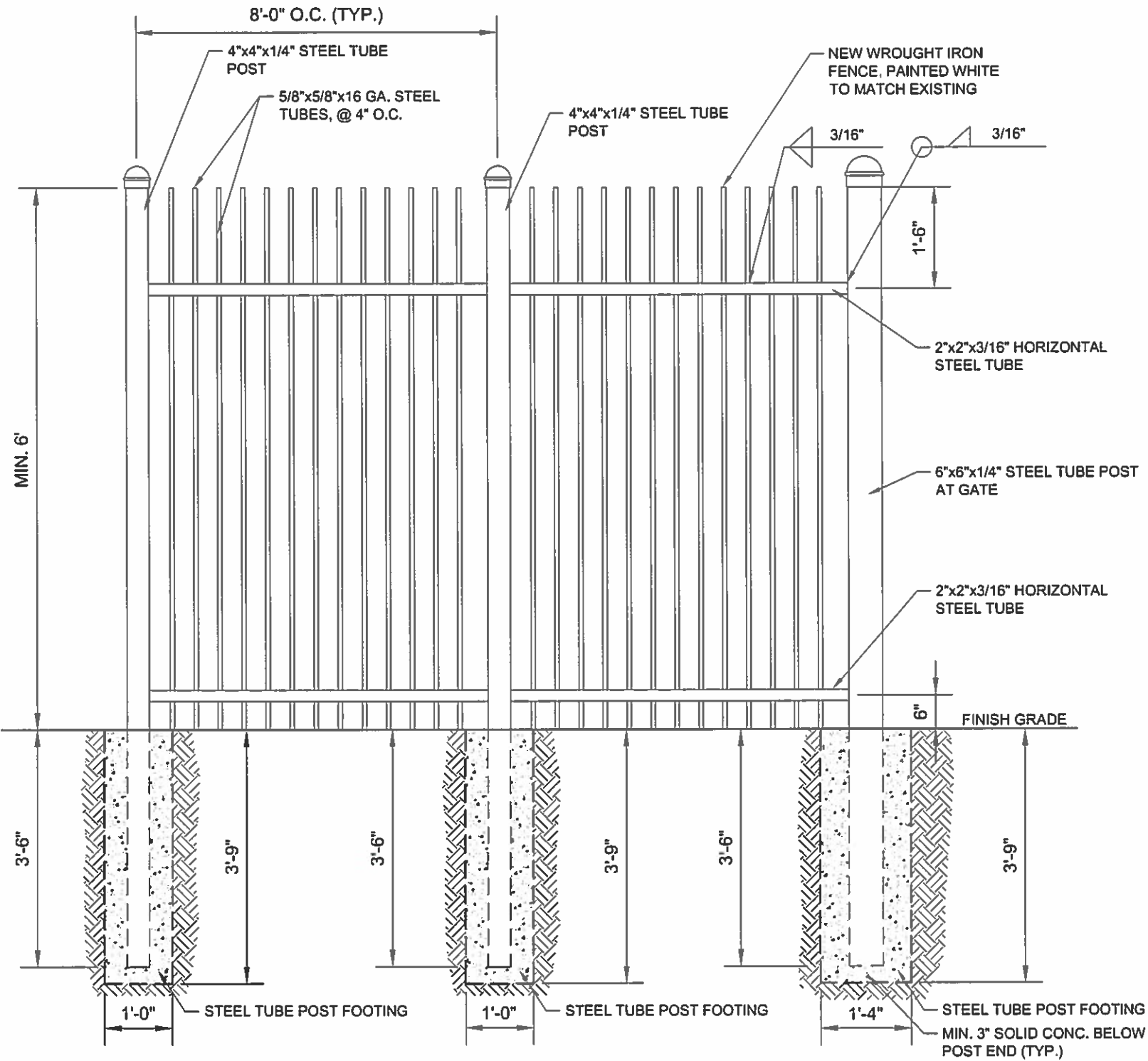
SAVE DATE:

2/13/2017 8:43 AM

SHEET NUMBER:

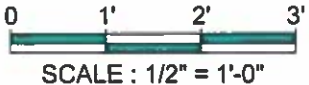
A-3

NOTE:
WROUGHT IRON FENCE CONSTRUCTION
TO MATCH EXISTING.
TYPICAL WROUGHT IRON FENCE DETAILS
SHOWN BELOW.



WROUGHT IRON FENCE DETAILS

SCALE : 1/2" = 1'-0"



5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226



4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER
COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|----------|------------------------|
| | 1 | 11-25-15 | PRELIM REVIEW |
| | 2 | 09-12-16 | NEW TOWER DESIGN |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN |
| | 4 | 11-29-16 | IFC |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT |
| | 6 | 02-02-17 | REDLINES |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

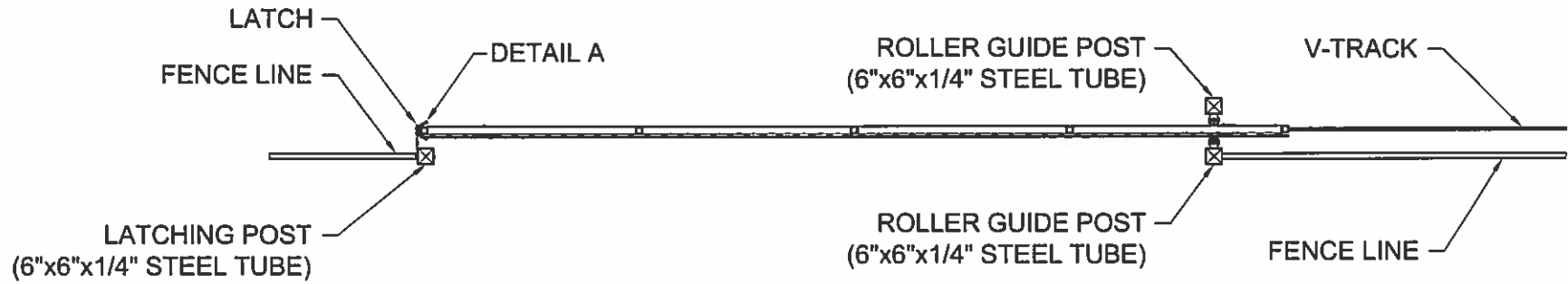
SHEET TITLE

FENCE AND
GATE DETAILS

SHEET NUMBER

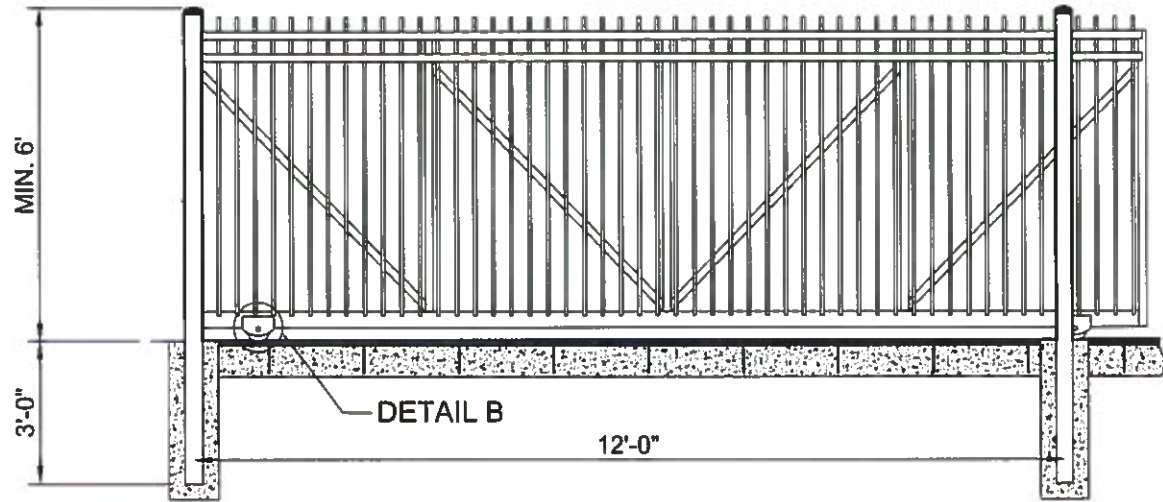
CD-1

NOTE:
WROUGHT IRON FENCE CONSTRUCTION
TO MATCH EXISTING.
TYPICAL WROUGHT IRON GATE DETAILS
SHOWN BELOW.



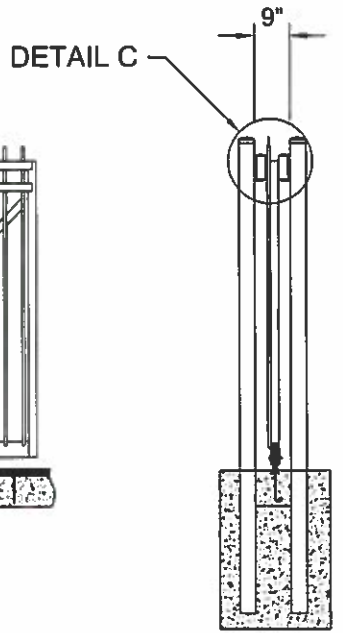
GATE PLAN

SCALE : 1/4" = 1'-0"



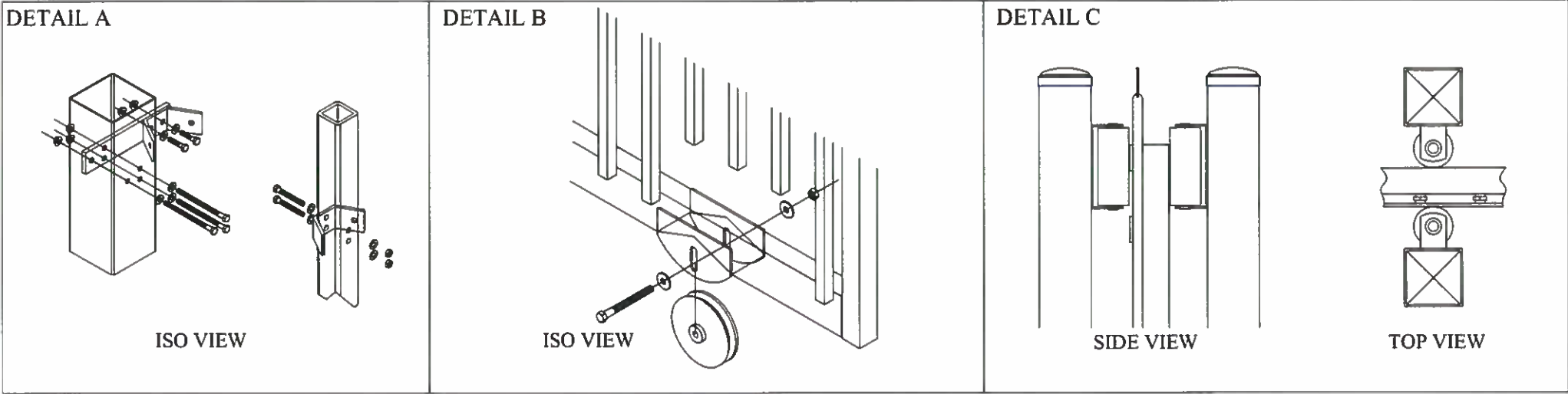
GATE ELEVATION

SCALE : 1/4" = 1'-0"



GATE SECTION

SCALE : 1/4" = 1'-0"



SLIDING GATE DETAILS

SCALE : 1/4" = 1'-0"

**CROWN
CASTLE**
5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

verizon
4821 EUBANK NE
ALBUQUERQUE, NM 87111

**CLEAR WATER
COMMUNICATIONS, INC.**
5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION | BY |
|-----------|-----|----------|------------------------|----|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ |
| | 4 | 11-29-16 | IFC | MJ |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ |
| | 6 | 02-02-17 | REDLINES | MJ |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

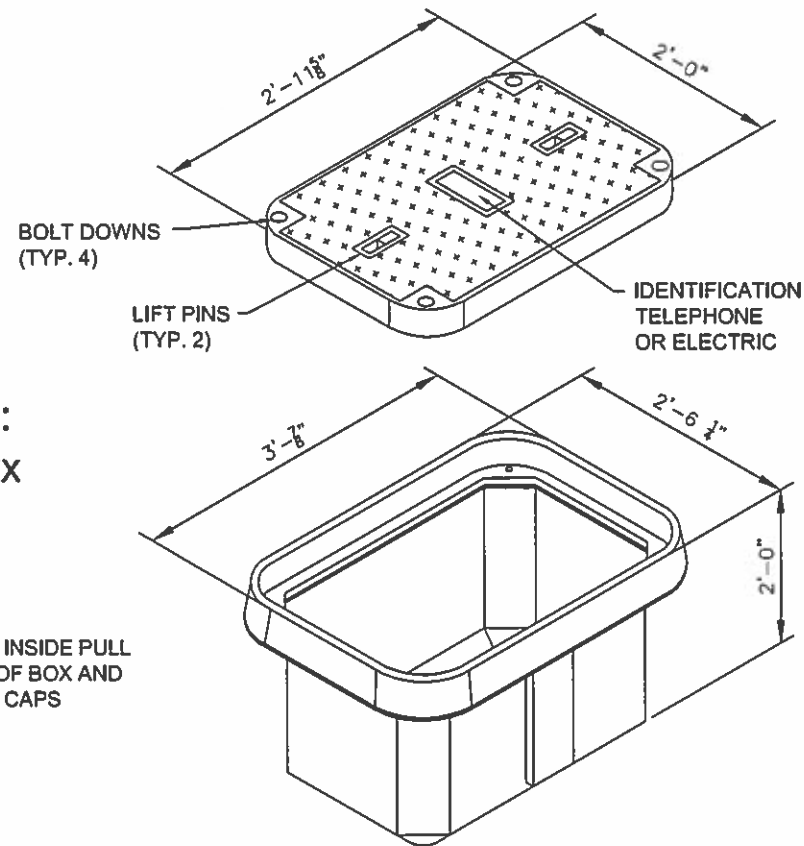
FENCE AND
GATE DETAILS

SHEET NUMBER

CD-2

PART NUMBER:
FCA243624FF4xx

NOTE: ALL STUB-UP CONDUITS INSIDE PULL
BOXES WILL BE 6" FROM TOP OF BOX AND
HAVE PULL STRING AND CAPS

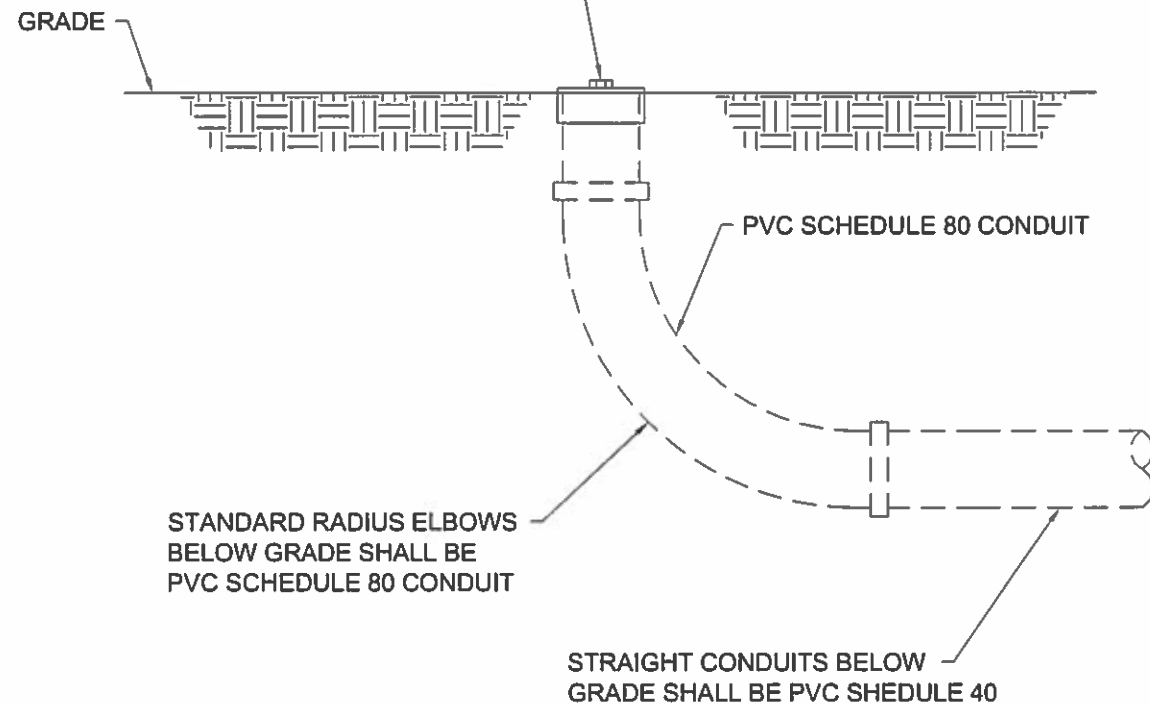


PULL BOX DETAIL

SCALE:
N.T.S.

1

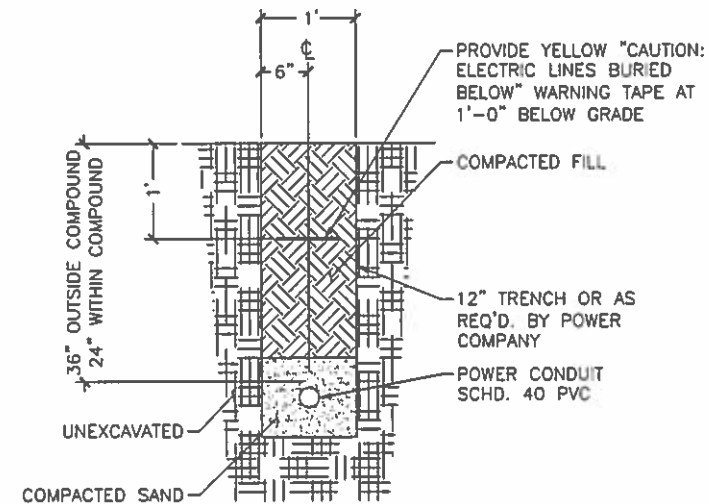
CUSTOMER STUB-UPS SHOULD BE
CAPPED OFF WITH PVC CAP AT GRADE
LEVEL/ WITH PULL STRING IN EACH



CUSTOMER STUB UP DETAIL

SCALE:
N.T.S.

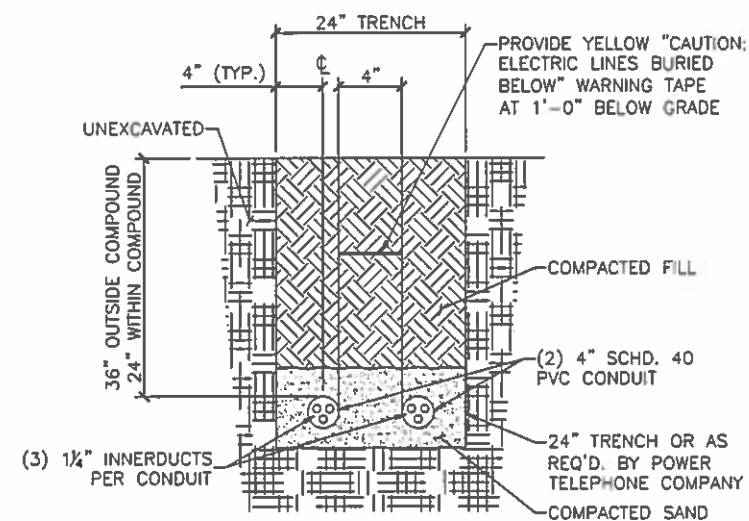
2



POWER CONDUIT TRENCH DETAIL

SCALE:
N.T.S.

3



FIBER CONDUIT TRENCH DETAIL

SCALE:
N.T.S.

4



5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226



4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER
COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION | BY |
|-----------|-----|----------|------------------------|----|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ |
| | 4 | 11-29-16 | IFC | MJ |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ |
| | 6 | 02-02-17 | REDLINES | MJ |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

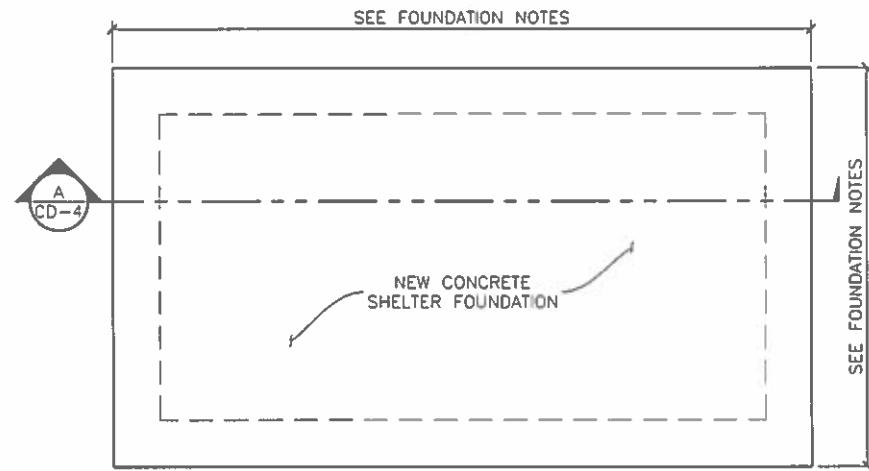
PULL BOX &
TRENCH DETAILS

SHEET NUMBER

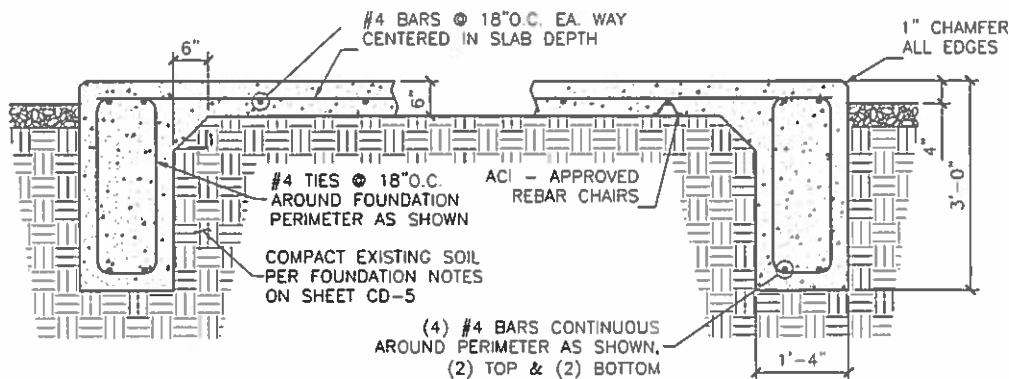
CD-3

SHELTER FOUNDATION NOTES:

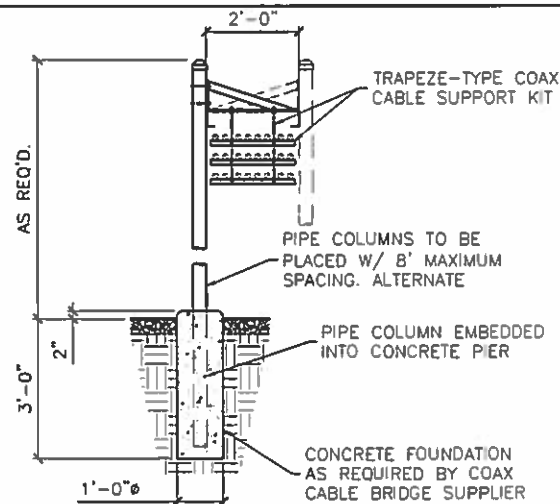
- 1 CONTRACTOR SHALL VERIFY EXTENTS OF FOUNDATION AND COORDINATE WITH EQUIPMENT SHELTER DRAWINGS. (BY OTHERS)
- 2 FASTEN EQUIPMENT SHELTER TO FOUNDATION ACCORDING TO EQUIPMENT SHELTER DRAWINGS (BY OTHERS)
- 3 COORDINATE CONSTRUCTION OF SHELTER FOOTING WITH ADJACENT CMU WALL FOOTING. (IF APPLICABLE)



1 SHELTER FOUNDATION PLAN
CD-4 SCALE: N.T.S.



A SHELTER FOUNDATION SECTION
CD-4 SCALE: N.T.S.

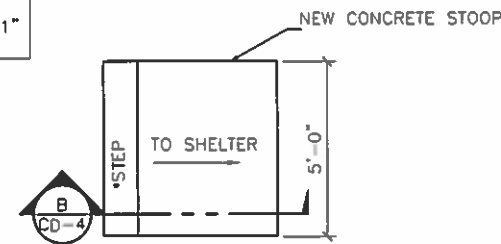


3 CABLE BRIDGE DETAIL
CD-4 SCALE: N.T.S.

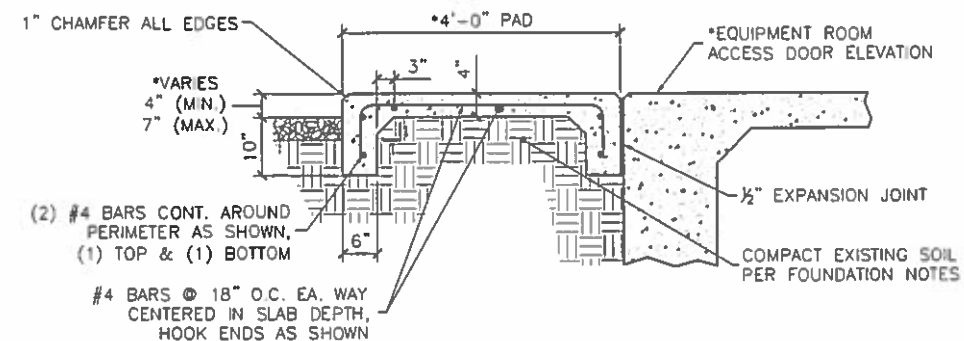
*STAIR DESIGN CRITERIA:

| STAIR RISE | STAIR TREAD | PAD LENGTH |
|------------------------|-------------|---|
| 7" (MAX.) 4" (MIN.) | 11" (MIN.) | 48" (TYP.) SEE SITE PLAN FOR EXCEPTIONS |

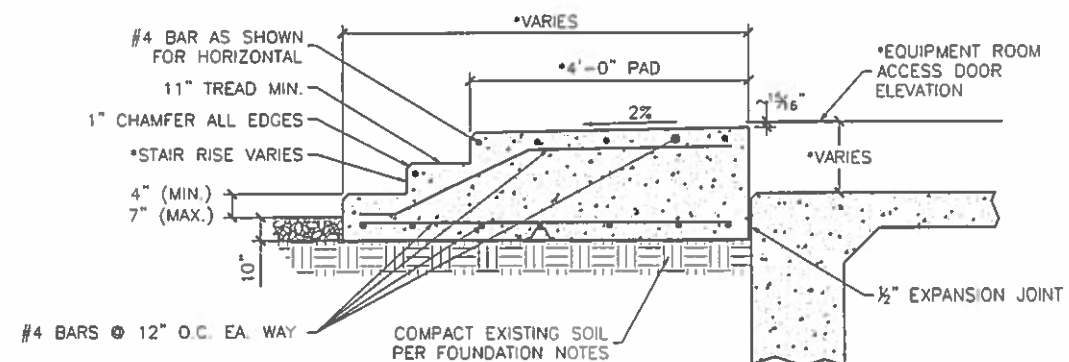
*CONTRACTOR TO FIELD DESIGN THE NUMBER & HEIGHT OF STAIRS DEPENDING ON THE HEIGHT OF THE EQUIPMENT ROOM AND GENERATOR ROOM ACCESS DOORS. CONTRACTOR TO MAINTAIN A 1" CLEAR BELOW ACCESS DOORS.



2 CONCRETE STOOP PLAN
CD-4 SCALE: 3/16" = 1'-0"



B *EQUIPMENT ROOM STOOP (ALT 1)
CD-4 SCALE: 3/8" = 1'-0"



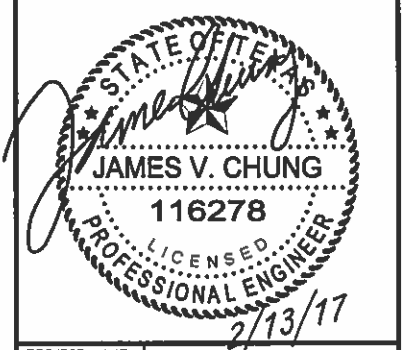
B *EQUIPMENT ROOM STOOP (ALT 2)
CD-4 SCALE: 3/8" = 1'-0"

DESIGNED FOR:
verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF JS INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JS INFRASTRUCTURE PARTNERS.

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|-----------------------------------|----------|----|-----|
| 1 | REVISED PER NEW SLF | 02/23/16 | DC | EVR |
| 2 | CONCEALMENT TOWER ADDED | 05/31/16 | DC | EVR |
| 3 | REVISED PER RF DESIGN | 06/06/16 | DC | EVR |
| 4 | REVISED PER MODIFIED TOWER DESIGN | 12/13/16 | DC | JVC |
| 5 | REVISED PER JURISDICTION COMMENTS | 02/13/17 | DC | JVC |

DESIGNED BY: JS INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT



PROJECT NAME:
**ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")**

PROJECT ADDRESS:
**1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY**

SHEET TITLE:
**SHELTER SLAB &
CABLE BRIDGE DETAILS**

SAVE DATE:
2/13/2017 8:43 AM

SHEET NUMBER:
CD-4

SHEET NUMBER: CD-5

| GENERAL ANTENNA NOTES: | |
|------------------------|---|
| 1. | CONTRACTOR TO VERIFY MECHANICAL DOWNTILT WITH FINAL SLF/RF ENGINEER. |
| 2. | DUAL POLAR ANTENNAS REQUIRE TWO RUNS OF COAX PER ANTENNA. |
| 3. | CONTRACTOR TO VERIFY ALL ACTUAL LENGTHS IN FIELD PRIOR TO INSTALLATION AND NOTIFY THE FIELD ENGINEER FOR VERIFICATION OF SIZES OF CABLES. |
| 4. | CONTRACTOR TO PROVIDE AS BUILT FOR THE LENGTH OF CABLES UPON COMPLETION OF INSTALLATION. |
| 5. | CONTRACTOR TO PROVIDE FINAL CABLE LENGTHS AND RETURN LOSSES FOR ALL CABLES. |
| 6. | ALL AZIMUTHS REFERENCE TRUE NORTH. CONSULT REQUIRED QUADRANGLE MAP FOR NECESSARY MECHANICAL DECLINATION. |

| NEW VERIZON WIRELESS ANTENNA SCHEDULE: | | | | | | | |
|--|---------------------|-------------------------------------|------------------|----------------------------|--------------------------------|-----------------------------|----------------------|
| ATTACH LEVEL (COR) | AZIMUTHS (DEG., TN) | ANTENNA TYPE | ANTENNA QUANTITY | MOUNT TYPE | COAX (QUANTITY) SIZE (NOMINAL) | ESTIMATED COAX CABLE LENGTH | MECHANICAL DOWN TILT |
| 61'-0" | 15° 90° | ANTEL OCT458KBU105 8' PANEL ANTENNA | 4 | SEE ANTENNA MOUNT SCHEDULE | (2) HYBRID CABLES | ~100' (EACH) | REFER TO SLF |

| NOTES: | |
|--------|---|
| 1. | FOR EXACT ANTENNA INFORMATION REFER TO THE RF DESIGN. |
| 2. | ALL NEW COAX SHALL BE INSTALLED INSIDE MONOPOLE (IF POSSIBLE). |
| 3. | CONTRACTOR TO INSTALL DIPLEXERS IN SHELTER AND ON TOWER AS REQUIRED BY RF DESIGN. (IF APPLICABLE) |

| NOTICE: | |
|---------|---|
| 1. | CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX. |

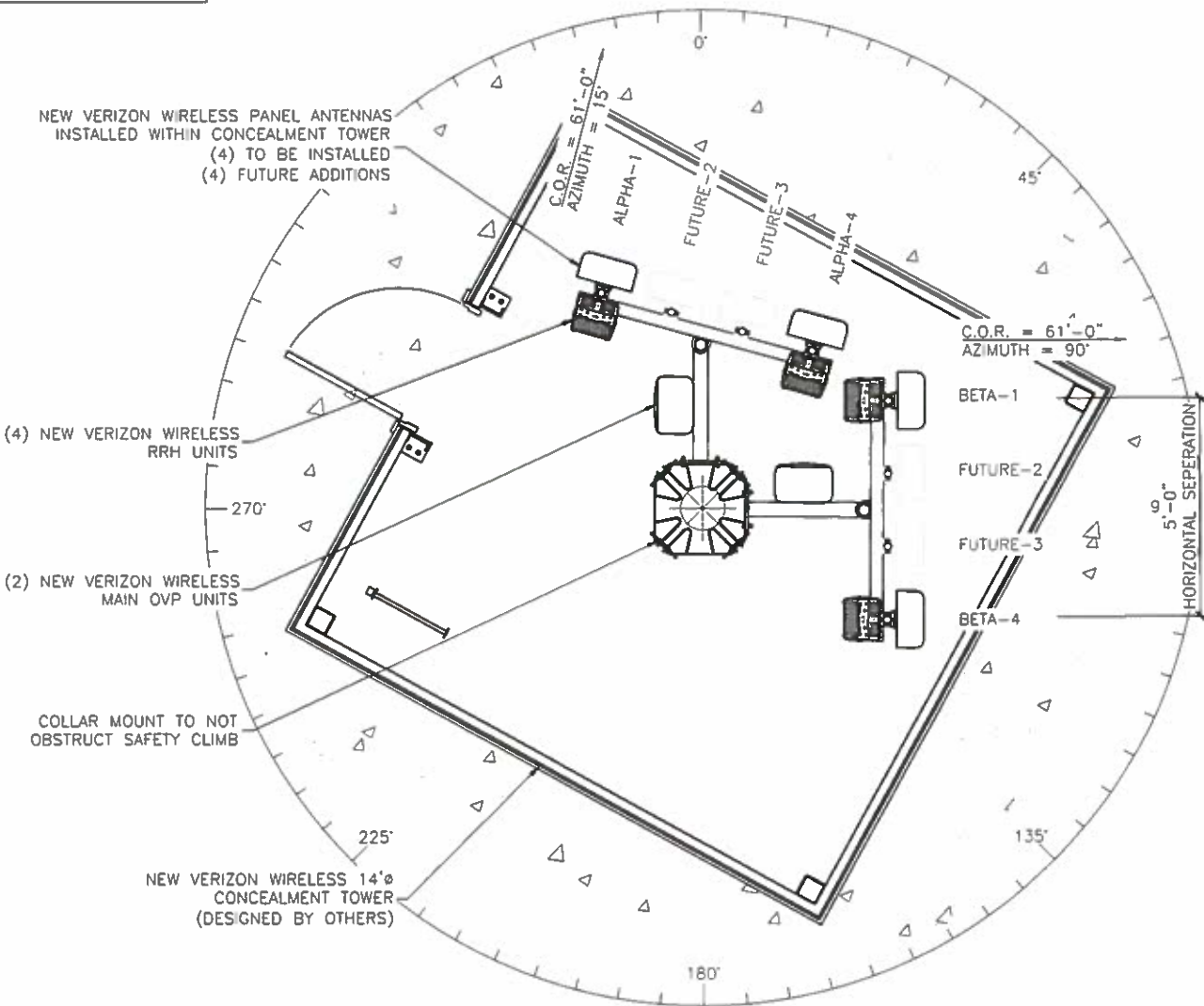
| NOTE: | |
|-------|--|
| 1. | ALL INSTALLED EQUIPMENT MUST HAVE A MATCHING CROWN APP/SA. |

| ANTENNA COLOR CODE: | |
|---------------------|--------|
| ANTENNA FUNCTION | COLOR |
| CDMA-800 B-BAND | RED |
| CDMA-800 A-BAND | WHITE |
| PCS-1900 | YELLOW |
| LTE-700 | PURPLE |
| ANTENNA SECTOR | |
| ALPHA | GREEN |
| BETA | ORANGE |

| ANTENNA COLOR CODE: | | | | |
|---------------------|-------------------|---|---------------|--------------|
| SECTOR | ANTENNA LOCATIONS | FIRST STRIPE (PCS) OR (LTE) OR (A-BAND) OR (B-BAND) | SECOND STRIPE | THIRD STRIPE |
| ALPHA | 1 | RED OR WHITE OR YELLOW OR PURPLE | GREEN | GREEN |
| | 2 | | | |
| | 3 | | | |
| | 4 | | | |
| BETA | 1 | RED OR WHITE OR YELLOW OR PURPLE | ORANGE | ORANGE |
| | 2 | | | |
| | 3 | | | |
| | 4 | | | |

| ANTENNA MOUNT SCHEDULE: | | |
|-------------------------|---|----------------|
| QUANTITY | DESCRIPTION | PART NUMBER(S) |
| 1 | BI/QUAD-COLLAR BRACKET | C10-110 |
| 2 | 5' FACE, T-ARM ASSEMBLY KIT (3' STANDOFF) | C10-856 |

NOTE: ALL PRODUCTS ARE FROM "SABRE SITE SOLUTIONS"
PHONE: (866) 428-6937 / (712) 293-1964 WWW.SABRESITESOLUTIONS.COM



ANTENNA SECTION @ 61'-0"
SCALE: 1/4" = 1'-0"



DESIGNED FOR:
verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF JS INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JS INFRASTRUCTURE PARTNERS.

| JS INFRASTRUCTURE PARTNERS | | AZ - CA - CO - ID - NM - NV - TX - UT | |
|----------------------------|-----------------------------------|---------------------------------------|--------|
| REV | DESCRIPTION | DATE | CHK BY |
| 1 | REVISED PER NEW SLF | 02/23/16 | DC EVR |
| 2 | CONCEALMENT TOWER ADDED | 05/31/16 | DC EVR |
| 3 | REVISED PER RF DESIGN | 06/06/16 | DC EVR |
| 4 | REVISED PER MODIFIED TOWER DESIGN | 12/13/16 | DC JVC |
| 5 | REVISED PER JURISDICTION COMMENTS | 02/13/17 | DC JVC |

STATE OF TEXAS
JAMES V. CHUNG
116278
LICENSED PROFESSIONAL ENGINEER
2/13/17

PROJECT NAME:
**ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")**

PROJECT ADDRESS:
**1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY**

SHEET TITLE:
ANTENNA DETAILS

SAVE DATE:
2/13/2017 8:43 AM

SHEET NUMBER:
RF-1

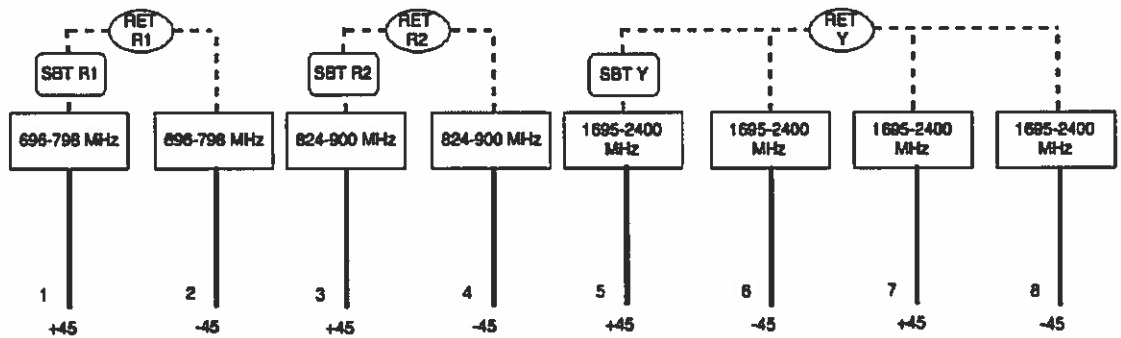


696-798 / 824-900 / 1695-2400 / 1695-2400 MHz

OCT458KBU105L

QUAD BAND | 8-PORT | WITH INTERNAL SMART BIAS-T | XXXX-POL | 45° / 45° / 45° / 45° | 16.1 / 17.5 / 18.3 / 18.3 DBI

| Mechanical Characteristics | | | |
|--------------------------------------|---|--|----------------------|
| Dimensions (Length x Width x Depth) | | 2333 x 397 x 180 mm | 91.7 x 15.6 x 7.4 in |
| Weight | Antenna Only | 34.0 kg | 75.0 lbs |
| | Antenna with Mounting & Downtilt Bracket Kit 36210008 | 40.9 kg | 90.2 lbs |
| Survival Wind Speed | | 241 km/hr | 150 mph |
| Wind Loads (160 km/hr or 100 mph) | Front | 1209 N | 272 lbf |
| | Side | 560 N | 126 lbf |
| Electrical Downtilt Control | | | |
| Manual Electrical Tilt (MET) Control | | A colored knob at the end of the tilt indicator allows change of the tilt without need of a tool. The knob color is identical to the corresponding connector ring color. To access the knob, remove the cap by turning it counter-clockwise. It is re-installed by opposite rotation. Do not remove the transparent cap(s) from the antenna. | |
| Remote Electrical Tilt (RET) Control | | For RET control, the transparent caps must be in place and locked. The tilt angle indicators always remain visible. Do not remove the transparent cap(s) from the antenna. | |
| RET Actuator | | | |
| Input Voltage | | 10-30 Vdc | |
| Power Consumption | Idle State | 0.5 W (Maximum) | |
| | Normal Conditions | 10.0 W (Maximum) | |
| Protocol | | 3GPP/AISG v2.0 (Single RET) | |
| RET Interface | | (3x) 8-pin DIN Female | |
| Field Replaceable Unit | | No | |



Quoted performance parameters are provided to offer typical, peak or range values only and may vary as a result of normal testing, manufacturing and operational conditions. Extreme operational conditions and/or stress on structural supports is beyond our control. Such conditions may result in damage to this product. Modifications to product may result in changes to this document without notice.

REV0412160

www.amphenol-antennas.com

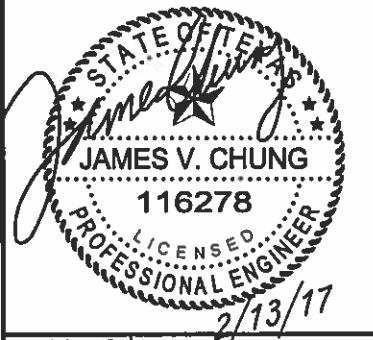
2 of 8

DESIGNED FOR:

verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

| J5 INFRASTRUCTURE PARTNERS | | AZ - CA - CO - ID - NM - NV - TX - UT | | REV | DESCRIPTION | DATE | BY | CHK |
|----------------------------|-----------------------------------|---------------------------------------|----|-----|-------------|------|----|-----|
| 1 | REVISED PER NEW SLF | 02/23/16 | DC | EV | | | | |
| 2 | CONCEALMENT TOWER ADDED | 05/31/16 | DC | EV | | | | |
| 3 | REVISED PER RF DESIGN | 06/06/16 | DC | EV | | | | |
| 4 | REVISED PER MODIFIED TOWER DESIGN | 12/13/16 | DC | JVC | | | | |
| 5 | REVISED PER JURISDICTION COMMENTS | 02/13/17 | DC | JVC | | | | |



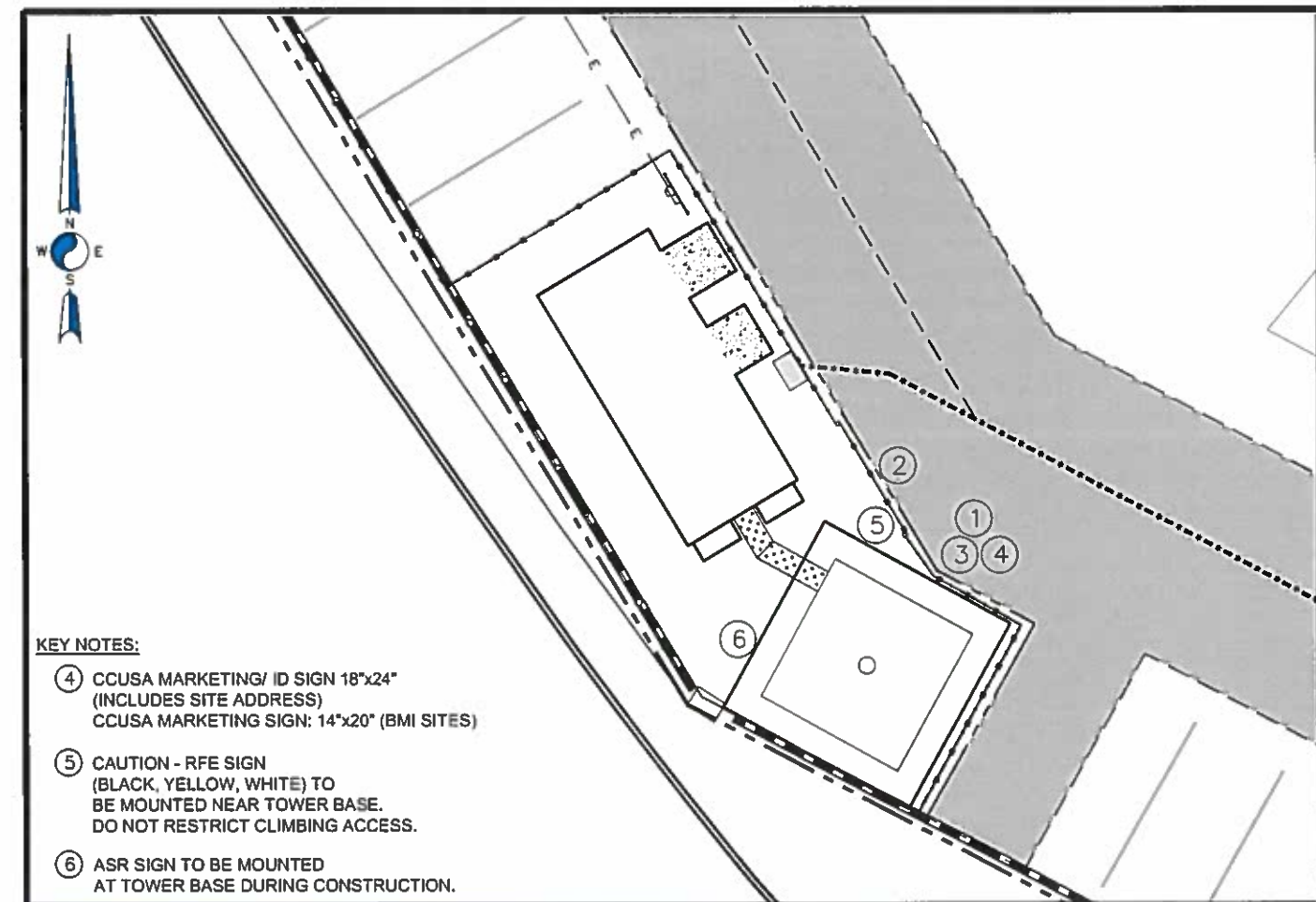
PROJECT NAME:
ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:
1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

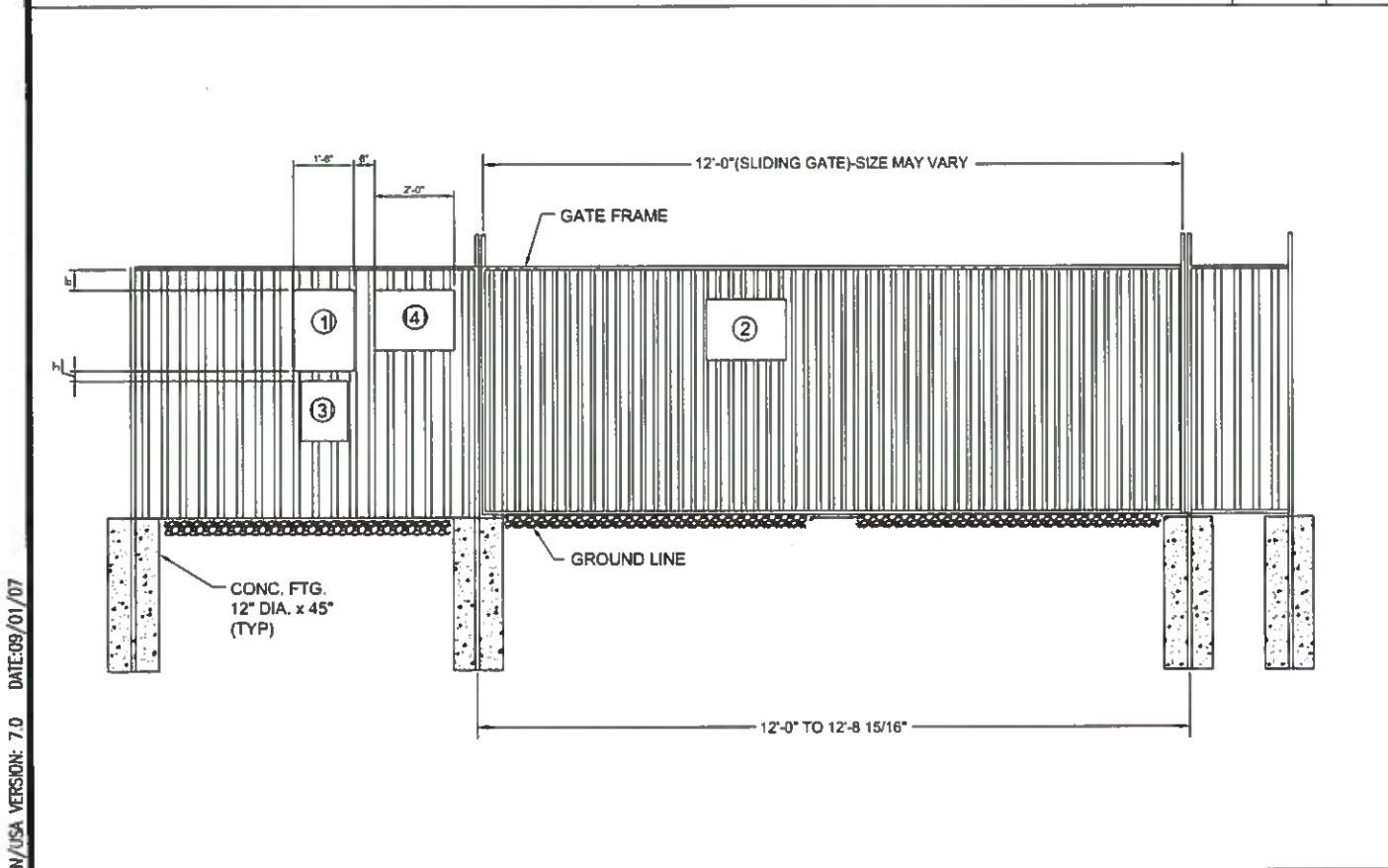
SHEET TITLE:
ANTENNA DETAILS

SAVE DATE:
2/13/2017 8:43 AM

SHEET NUMBER:
RF2



TOWER SITE COMPOUND SIGN PLACEMENT



SITE SIGNAGE

PRIVATE PROPERTY

NO TRESPASSING

VIOLATORS WILL BE PROSECUTED

RED BACKGROUND W/WHITE LETTERING

WHITE BACKGROUND W/RED LETTERING

RED BACKGROUND W/WHITE LETTERING

1 NO-TRESSPASSING SIGN
18" WIDE X 24" HIGH

WARNING

AUTHORIZED PERSONNEL ONLY
HARD HATS REQUIRED
WATCH FOR FALLING MATERIAL
WATCH FOR TRIPPING HAZARDS
WATCH FOR UNEVEN SURFACES
IN THE EVENT OF A T-STORM, VACATE THE COMPOUND.

RED BACKGROUND W/WHITE LETTERING

WHITE BACKGROUND W/BLACK LETTERING

2 CAUTION-HARD HAT CONSTRUCTION AREA AND TRIPPING HAZARDS
24" WIDE X 18" HIGH

NOTICE

RADIO FREQUENCY ENVIRONMENT AREA

GREEN BACKGROUND W/WHITE LETTERING

WHITE BACKGROUND W/BLACK LETTERING

3 NOTICE-RFE SIGN
12" WIDE X 18" HIGH

CROWN SITE ID# 821983
1513 SUN BOWL
EL PASO, TEXAS 79922
FOR LEASE INFORMATION CALL
1-877-788-7011
FOR 24 HOUR EMERGENCY SERVICE CALL
1-800-788-7011
FCC TOWER REGISTRATION NO.
1234567

4 MARKETING/ID SIGN w/ FCC #
IN 2" LETTERING
24" WIDE X 18" HIGH

CAUTION

RADIO FREQUENCY ENVIRONMENT AREA

YELLOW BACKGROUND W/BLACK LETTERING

WHITE BACKGROUND W/BLACK LETTERING AND YELLOW SYMBOL

5 CAUTION-RFE SIGN
LABELS OR STICKER ARE ACCPETABLE FOR MONOPOLE TYPE TOWERS
12" WIDE X 18" HIGH

ASR
1234567

WHITE W/BLACK LETTERING

6 ASR SIGN
10" WIDE X 4" HIGH

CROWN CASTLE
5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

verizon
4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER COMMUNICATIONS, INC.
5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION | BY |
|-----------|-----|----------|------------------------|----|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ |
| | 4 | 11-29-16 | IFC | MJ |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ |
| | 6 | 02-02-17 | REDLINES | MJ |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

SITE SIGN
DETAILS

SHEET NUMBER

S-1

CROWN/USA VERSION: 7.0 DATE:09/01/07

ELECTRICAL NOTES

- I. THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE TO BE FOLLOWED AS CLOSELY AS POSSIBLE.
- II. THE NEUTRAL IS TO BE GROUNDED AT THE METER MAIN ONLY.
- III. THE TEMPERATURE RATING ASSOCIATED WITH THE AMPACITY OF A CONDUCTOR SHALL BE SO SELECTED AND COORDINATED AS TO NOT EXCEED THE LOWEST TEMPERATURE RATING OF ANY CONNECTED TERMINATION, CONDUCTOR, OR DEVICE; REFER TO TABLE 'A', AND THE N.E.C. ARTICLE 310.
- IV. ALL ENCLOSURES CONTAINING THE SERVICE CONDUCTORS, SERVICE RACEWAY, CABLE ARMOR, BOXES, FITTINGS, AND CABINETS MUST BE EFFECTIVELY BONDED TOGETHER.
- V. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY LABELED WITH ENGRAVED PLASTIC LABELS FOR EACH PANELBOARD, PULL BOX, J-BOX, SWITCH BOX, ETC. IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

| TERMINATION RATING | | CONDUCTOR INSULATION RATING | |
|--------------------|--------------|--------------------------------------|---|
| | 60 DEGREES C | 75 DEGREES C | 90 DEGREES C |
| 60 DEGREES C | OK | OK AT 60 DEGREES C AMPACITY | OK AT 60 DEGREES C AMPACITY |
| 75 DEGREES C | NO | OK | OK AT 75 DEGREES C AMPACITY |
| 60/75 DEGREES C | OK | OK 60 OR 75 DEGREES C AMPACITY | OK 60 OR 75 DEGREES C AMPACITY |
| 90 DEGREES C | NO | NO | OK ONLY IF EQUIPMENT HAS 90° C RATING |

MATERIALS, ELECTRICAL WIRING AND RACEWAYS

- A. ALL CIRCUIT BREAKERS, FUSES, CONDUCTORS AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING SHORT CIRCUIT TO WHICH THEY MAY BE SUBJECTED AND A MINIMUM OF 10,000 AIC RATING UNLESS SPECIFIED OTHERWISE, OR AS PER LOCAL CODES.
- B. PLASTIC PLATES FOR ALL SWITCHES, RECEPTACLES, TELEPHONE AND BLANKED OUTLETS SHALL HAVE ENGRAVED LETTERING WHERE INDICATED ON THE DRAWINGS WEATHERPROOF RECEPTACLES SHALL HAVE "WPD" 8-INCH LIFT COVER PLATES.
- C. METER SOCKET AMPERAGE, VOLTAGE AND NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS AND MANUFACTURED BY SQUARE "D" COMPANY OR APPROVED EQUAL.
- D. INSTALLATION OF RIGID METAL CONDUIT (RMC) SHALL COMPLY WITH APPLICABLE PROVISION OF NATIONAL ELECTRICAL CODE (N.E.C.) ARTICLES 300 & 346 AND SHALL BE "UL" APPROVED.
- E. INSTALLATION OF ELECTRICAL METALLIC TUBING (EMT) SHALL COMPLY WITH APPLICABLE PROVISION OF N.E.C. ARTICLES 300 & 348 AND SHALL BE "UL" APPROVED.
- F. INSTALLATION OF INTERMEDIATE METAL CONDUIT (IMC) SHALL COMPLY WITH APPLICABLE PROVISION OF N.E.C. ARTICLES 300 & 348 AND SHALL BE "UL" APPROVED.
- G. PVC CONDUIT SHALL BE SCHEDULE 40 HIGH IMPACT POLYVINYL CHLORIDE AND SHALL BE USED WITH UNTHREADED SOLVENT CEMENT PVC CONDUIT FITTINGS. COUPLINGS SHALL HAVE A CENTER STOP TO TYPE ENSURE PROPER SEATING. CONDUIT SHALL BE MANUFACTURED BY CARLON OR ACCEPTABLE EQUAL SHALL BE IN COMPLIANCE WITH N.E.C. ARTICLE 300 & 347 AND SHALL BE "UL" APPROVED
1. ALL PVC BELOW GRADE SHALL BE SCHEDULE 40 HIGH IMPACT POLYVINYL CHLORIDE
2. ALL PVC ABOVE GRADE SHALL BESCHEDULE 80 HIGH IMPACT POLYVINYL CHLORIDE
- H. ALL WIRING MUST BE INSTALLED IN CONDUIT UNLESS OTHERWISE NOTED OR APPROVED BY THE ENGINEER, NEC, AND LOCAL CODES.
- I. ALL WIRING SHALL BE COPPER TYPE AND IN ACCORDANCE WITH THE N.E.C. OR AS INDICATED ON DRAWINGS.
- J. ALL ELECTRICAL EQUIPMENT SHALL BE NEW, SQUARE D (or APPROVED EQUAL) RATED NEMA 3R AND POWDER COAT PAINTED, WITH THE SIZE AS SPECIFIED AND IN ACCORDANCE WITH THE N.E.C. UNLESS OTHERWISE NOTED ON THE DRAWINGS. ALL RACEWAYS SHALL BE NEW, SQUARE D (or APPROVED EQUAL) RATED NEMA 3R, AND POWDER COAT OR ELECTRO-MAG PAINTED.
- K. JUNCTION BOXES OR PULL BOXES SHALL MEET NATIONAL ELECTRICAL CODE STANDARDS AND AS APPROVED FOR INSTALLATION OF RACEWAYS AND WIRING.
- L. THE RACEWAY AND WIRING INSTALLATION SHALL BE GROUNDED PERMANENTLY AND EFFECTIVELY IN ACCORDANCE WITH N.E.C. ARTICLE 250.
- M. THE CONTRACTOR SHALL BE AWARE THAT ALL STATE AND LOCAL CODES SHALL APPLY TO THIS INSTALLATION AND MUST BE ADHERED TO.
- N. ALL EXTERIOR ELECTRICAL EQUIPMENT SHALL BE **SQUARE "D" (OR APPROVED EQUAL) GRAY POWDER COAT PAINTED NEMA 3R** AND SHALL BE COATED LIGHTLY WITH A CLEAR COAT LAQUER SPRAY; EXCEPT STAINLESS STEEL EQUIPMENT.
- O. AREAS OF APPLICATION FOR PULL BOX(FCA243624FF4xx) WOULD IN LOCATION SUCH AS DRIVE WAYS, PARKING LOTS, AND INSIDE OF OR OUTSIDE OF COMPOUND.

SCOPE OF WORK

- 1) THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WIRING AND EQUIPMENT UNLESS OTHERWISE INDICATED. MAIN COMPONENTS ARE AS FOLLOWS:
- 2) ONE SET OF COMPLETED ELECTRICAL "AS INSTALLED" OR "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL DIMENSIONS, ROUTING AND CIRCUITS SHALL BE PROVIDED TO THE PROJECT COORDINATOR. ALL BROCHURES, OPERATING MANUALS, CATALOGS SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO THE PROJECT COORDINATOR AT JOB COMPLETION.
- 3) PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF ELECTRICAL WORK.
- 4) UPON COMPLETION OF WORK, CONDUIT CONTINUITY, SHORT CIRCUIT, AND GROUNDING FALL POTENTIAL TEST WILL BE MADE FOR APPROVAL AND SUBMIT TEST REPORTS TO THE PROJECT COORDINATOR.
- 5) CONTRACTOR SHALL CLEAN PREMISES OF ALL DEBRIS RESULTING FROM WORK AND LEAVE IN A COMPLETE AND UNDAMAGED CONDITIONS.
- 6) THE COMPLETED JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SITE ACCEPTANCE BY THE PROJECT COORDINATOR. ANY WORK MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AND AT THE EXPENSE OF THE CONTRACTOR.
- 7) THE ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL EQUIPMENT PROVIDED BY ELECTRICAL SUPPLIERS.
- 8) CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. FOR A COMPLETE AND PROPERLY OPERATING SYSTEM ENERGIZED THROUGHOUT AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- 9) CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.
- 10) CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING AND / OR ELECTRIC PERMITS INSPECTIONS AND APPROVALS, AND PAY ALL REQUIRED FEES PURSUANT TO THE WORK.
- 11) ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST VERSION OF THE NATIONAL ELECTRICAL CODE (N.E.C.) AND ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES. ALL COMPONENTS SHALL BE "UL" APPROVED.
- 12) CONTRACTOR SHALL BEFORE SUBMITTING THEIR BID, VISIT THE PROJECT SITE AND BECOME FAMILIAR WITH THE CONDITIONS. NO ALLOWANCE WILL BE MADE FOR EXISTING CONDITIONS OR FAILURE OF THE CONTRACTOR TO OBSERVE THEM.
- 13) EXACT LOCATION OF ALL EQUIPMENT SHALL BE COORDINATED WITH THE CCUSA AND OTHER TRADES.
- 14) CONTRACTOR SHALL PROVIDE ALL VERIFICATION OBSERVATION TESTS AND EXAMINE ALL WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE PROJECT COORDINATOR LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- 15) ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN SAFE CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT (SEE NOTE 14 FOR EXCEPTIONS). MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU AND "UL" LISTED.
- 16) ALL ELECTRICAL EQUIPMENT IS SPECIFIED AS **SQUARE "D" BRAND**, SUBSTITUTION SHALL ONLY BE MADE WITH THE APPROVAL OF CCUSA. THE CONTRACTOR SHALL SUBMIT DETAILS OF PROPOSED MATERIALS, REASON FOR CHANGE AND CHANGE IN CONTRACT AMOUNT.



5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226



4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER
COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION | | | | | | |
|-----------|-----|----------|------------------------|----|--|--|--|--|--|
| | | | | BY | | | | | |
| | 1 | 11-25-15 | PRELIM REVIEW | MJ | | | | | |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ | | | | | |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ | | | | | |
| | 4 | 11-29-16 | IFC | MJ | | | | | |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ | | | | | |
| | 6 | 02-02-17 | REDLINES | MJ | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

ELECTRICAL
NOTES

SHEET NUMBER



| REVISIONS | NO. | DATE | DESCRIPTION | BY |
|-----------|-----|----------|------------------------|----|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ |
| | 4 | 11-29-16 | IFC | MJ |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ |
| | 6 | 02-02-17 | REDLINES | MJ |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

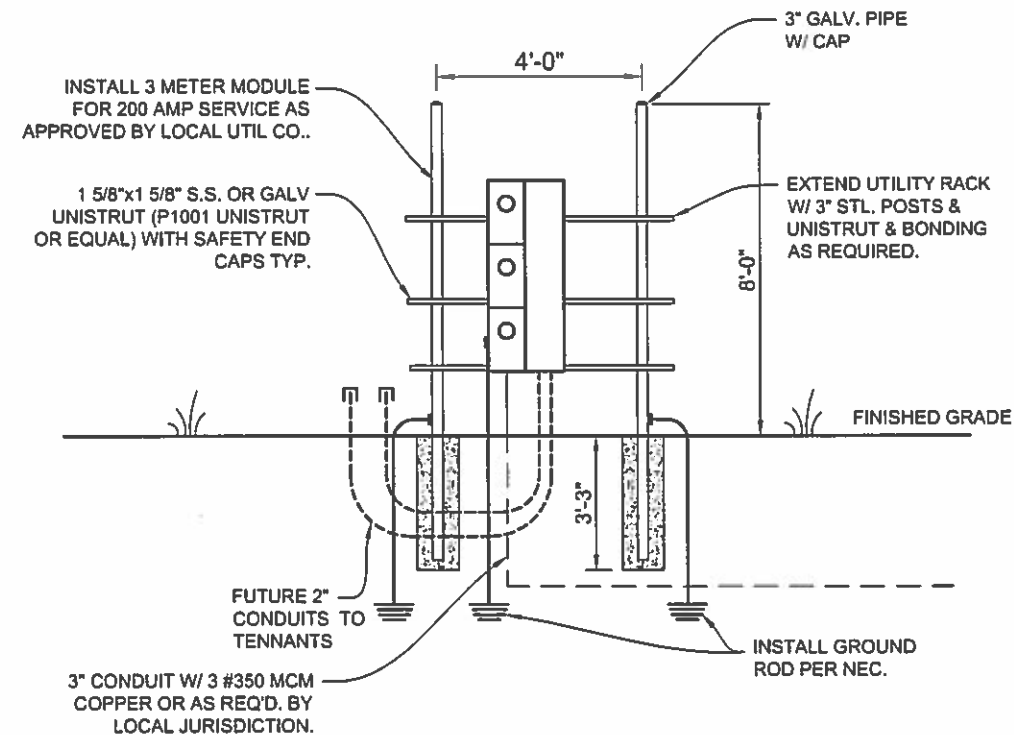
SHEET TITLE

ELECTRICAL
DETAILS

SHEET NUMBER

E-3

120/240V 1 PHASE 3 WIRE SUPPLY
BY LOCAL UTILITY CO. AND
INSTALLED BY CONTRACTOR

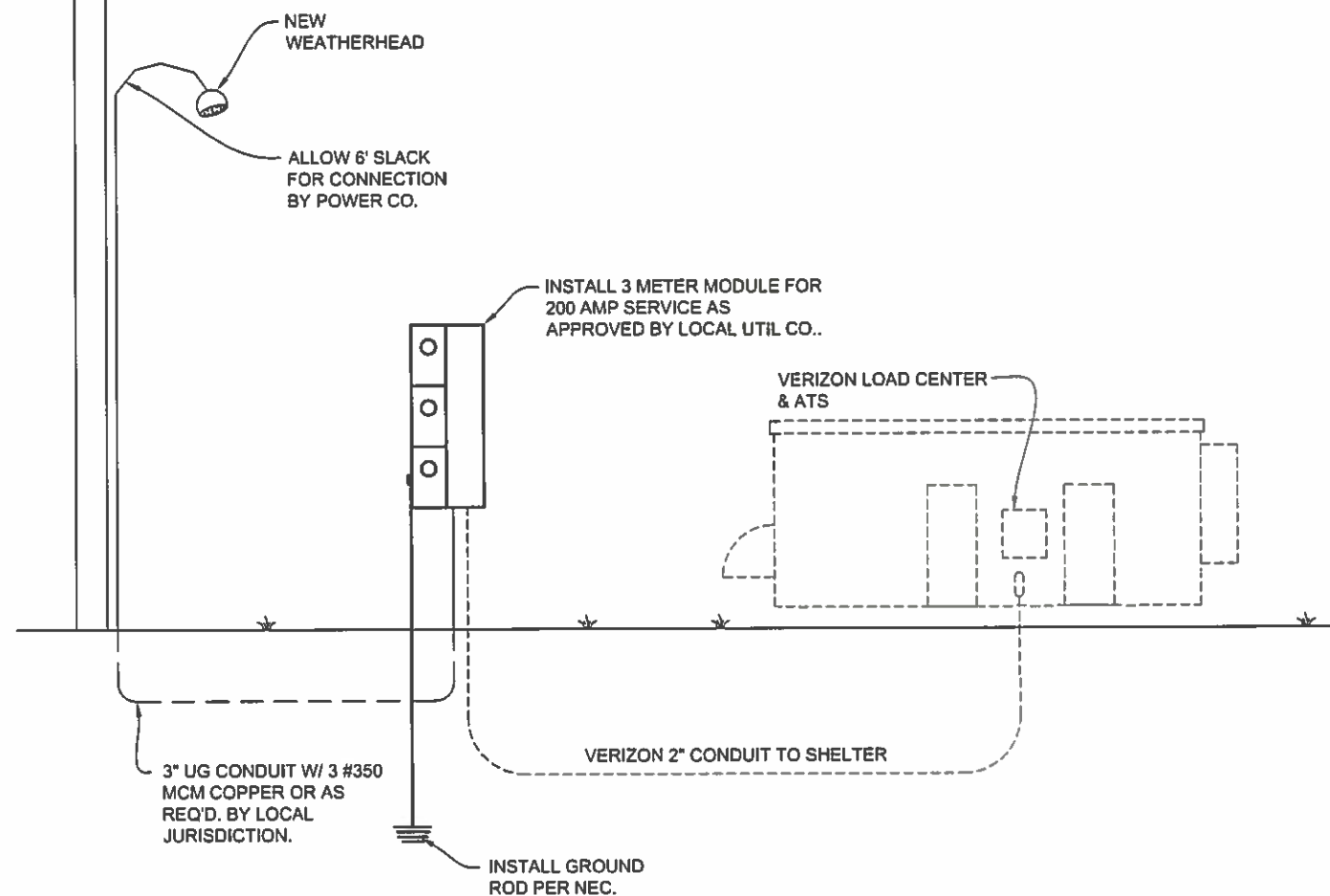


FRAME ELEVATION : ELECTRIC SIDE

SCALE:
N.T.S.

1

120/240V 1 PHASE 3 WIRE SUPPLY
BY LOCAL UTILITY CO. AND
INSTALLED BY CONTRACTOR



ELECTRICAL ONE-LINE DIAGRAM

SCALE:
N.T.S.

3

SCALE:
N.T.S.

2

SCALE:
N.T.S.

4

GENERAL ELECTRICAL NOTES

1.

CONTRACTOR SHALL COMPLY WITH UTILITY'S ELECTRICAL SERVICE SPECIFICATIONS, OBTAIN A COPY AS NEEDED.
2.

THE ELECTRICAL INSTALLATION WORK SHALL COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES APPLICABLE TO ELECTRICAL WORK.
3.

ARC FLASH HAZARD WARNING SIGNS:
PER NEC ARTICLE 110.16 EACH OF THE FOLLOWING DEVICES SHALL HAVE A PERMANENT LABEL OR SIGN AFFIXED WARNING QUALIFIED PERSONS OF POTENTIAL ARC FLASH HAZARDS: SERVICE GUTTER-BOXES, METER ENCLOSURES, DISCONNECTS, TRANSFORMERS DOWN-STREAM OR SERVICE EQUIPMENT, TRANSFER SWITCHES, DISTRIBUTION PANEL BOARDS, ANY OTHER DEVICES THAT ARE INSTALLED AND ARE SPECIFIED IN NEC ARTICLE 110.16. THIS LABEL OR SIGN SHALL MEET THE GUIDELINES FOR SAFETY SIGNS SPECIFIED IN THE CURRENT REVISION OF ANSI Z535.4.
4.

CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
5.

ALL MATERIAL AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY OWNER OR HIS REPRESENTATIVE. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO FAULTY WORKMANSHIP, MATERIAL OR EQUIPMENT, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
6.

ALL WORK TO BE EXECUTED IN A WORKMANLIKE MANNER AND SHALL PRESENT A NEAT MECHANICAL APPEARANCE WHEN COMPLETED.
7.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING RELATED TO ELECTRICAL WORK.
8.

ALL BRANCH CIRCUIT CONDUCTORS SHALL BE COPPER TYPE "TH," #12, AND #10 SOLID, #8 AND LARGER STRANDED.
9.

CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS TO THE VERIZON WIRELESS PROJECT MANAGER UPON COMPLETION OF THE JOB.
10.

ELECTRICAL WORK SHALL INCLUDE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED, INCLUDING BUT NOT LIMITED TO COMPLETE ELECTRICAL SYSTEMS POWER AND LIGHTING, TELEPHONE CONDUIT SYSTEM, SIGNAL SYSTEMS, PANELBOARD(S), CONTROL WIRING, GROUNDING, CONDUIT ONLY SYSTEMS, ETC., AS INDICATED ON ELECTRICAL DRAWINGS AND/OR REQUIRED BY GOVERNING CODES.
11.

PRIOR TO INSTALLING ANY ELECTRICAL WORK, THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND REQUIREMENTS ON THE JOB, AND BY REFERENCE TO ARCHITECTURE, AND EQUIPMENT SUPPLIER'S DRAWINGS. SHOULD THERE BE ANY QUESTIONS OR PROBLEMS CONCERNING THE NECESSARY PROVISIONS TO BE MADE, PROPER DIRECTIONS FROM THE VERIZON WIRELESS PROJECT MANAGER SHALL BE OBTAINED BEFORE PROCEEDING WITH ANY WORK.
12.

THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, ELECTRICAL SERVICE REQUIREMENTS AND COORDINATE ALL INTERCONNECTION REQUIREMENTS WITH LOCAL UTILITY AS NECESSARY.
13.

THE NOTE, SPECIFICATION OR CODE WHICH PRESCRIBES AND ESTABLISHES THE HIGHEST STANDARD OF PERFORMANCE SHALL PREVAIL IN THE EVENT OF ANY CONFLICT OR INCONSISTENCY BETWEEN ITEMS SHOWN ON THE PLANS AND/OR SPECIFICATIONS.
14.

THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS AND RELATED FEES.
15.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, STATE OF TEXAS ELECTRICAL SAFETY ORDERS, ALL CODES AND ORDINANCES AND ALL OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION OVER THIS WORK.
16.

NETWORK-POWERED BROADBAND COMMUNICATIONS EQUIPMENT AND CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 830.179 (A) OR (B).
17.

PREMISES - POWERED BROADBAND COMMUNICATIONS SYSTEMS EQUIPMENT & CABLES SHALL BE LISTED AND MARKED IN ACCORDANCE WITH NEC 840.179.

NOTICE:

1.

CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

GENERAL GROUNDING NOTES:

1.

CONTRACTOR TO COMPLY WITH VERIZON WIRELESS CELL SITE GROUNDING & BONDING SPECIFICATIONS. IN THE EVENT THAT DRAWINGS CONFLICT WITH VERIZON WIRELESS SPECIFICATIONS, VERIZON WIRELESS SPECIFICATIONS SHALL GOVERN.
2.

ALL DETAILS ARE SHOWN IN GENERAL TERMS, ACTUAL GROUNDING INSTALLATION AND MOUNTING MAY VARY DUE TO SITE SPECIFIC CONDITIONS, XIT GROUND MAY BE REQUIRED.
3.

GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8"ø x 8' LONG.
4.

INSTALL GROUND AND BONDING CONDUCTORS WITH SUFFICIENT SLACK TO AVOID BREAKING DUE TO SETTLEMENT AND MOVEMENT OF CONDUCTORS AT ATTACHED POINTS.
5.

RESISTANCE TO GROUND SHALL NOT EXCEED 5 OHMS MEASUREMENT. ADDITIONAL GROUND RODS OR XIT GROUND SHALL BE PROVIDED TO ATTAIN THIS VALUE OR LESS. WHERE MULTIPLE RODS ARE INSTALLED THEY SHALL BE SPACED BETWEEN 8 AND 16 FEET APART.
6.

ALL GROUNDING CONDUCTORS SHALL BE U.L. LISTED FOR THEIR PURPOSE.
7.

ALL GROUND CONNECTIONS TO GROUND BARS SHALL BE U.I. 467 LISTED, IRREVERSIBLE COMPRESSION TYPE.
8.

ALL CONNECTIONS TO GROUND BARS SHALL BE COATED WITH ANTIOXIDANT COMPOUND.
9.

PROVIDE ONE TIME HIT 1 lb. HAMMER TEST ON ALL CADWELDS.
10.

ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL.

ATTENTION:

CONTRARY TO NOTE #4 IN THE SCOPE OF WORK NOTES ON SHEET E1 OF THE CROWN CASTLE PORTION OF THE SITE DRAWINGS THERE SHALL BE ABSOLUTELY NO ATTEMPT OF ANY KIND WHATSOEVER BY ANY CONTRACTOR TO TEST THE SHORT CIRCUIT CURRENTS ASSOCIATED WITH THIS PROJECT!!!

DESIGNED FOR:

verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF JS INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF JS INFRASTRUCTURE PARTNERS.

| DESIGNED BY: | | DATE | | BY | | CHK | |
|-------------------------------|--|----------|--|----|--|-----|--|
| DESCRIPTION | | DATE | | BY | | CHK | |
| APPROVED FOR CONSTRUCTION | | 05/27/16 | | SR | | SBS | |
| REVISED PER NEW TOWER DESIGN | | 11/11/16 | | RT | | SBS | |
| REVISED PER LANDLORD COMMENTS | | 11/29/16 | | JG | | SBS | |
| REVISED PER LANDLORD COMMENTS | | 02/13/17 | | DC | | SBS | |



PROJECT NAME:
**ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")**

PROJECT ADDRESS:
**1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY**

SHEET TITLE:
**ELECTRICAL & GROUNDING
GENERAL NOTES**

SAVE DATE:
2/13/2017 9:59 AM

SHEET NUMBER:
E-4

KEYED COMPONENT NOTES:

1. 600A, 3-GANG METER BANK, BY CROWN CASTLE
2. GENERAC 200AMP, SOLID-NEUTRAL AUTOMATIC TRANSFER SWITCH PROVIDED BY VERIZON WIRELESS. SCCR = 25,000A. SERIES RATED SCCR = 200,000A WITH UPSTREAM CLASS-J FUSE.
3. NEW 200A MAIN DISTRIBUTION PANEL PROVIDED AND PREVIOUSLY INSTALLED BY SHELTER MANUFACTURER.
4. NEW GENERAC 48KW STANDBY GENERATOR PROVIDED BY VERIZON WIRELESS. GENERATOR NEUTRAL SHALL NOT BE BONDED TO FRAME. IT SHALL BE SOLIDLY CONNECTED THROUGH TRANSFER SWITCH TO SERVICE NEUTRAL.

ATTENTION:

CONTRARY TO NOTE #4 IN THE SCOPE OF WORK NOTES ON SHEET E1 OF THE CROWN CASTLE PORTION OF THE SITE DRAWINGS THERE SHALL BE ABSOLUTELY NO ATTEMPT OF ANY KIND WHATSOEVER BY ANY CONTRACTOR TO TEST THE SHORT CIRCUIT CURRENTS ASSOCIATED WITH THIS PROJECT!!!

KEYED CONDUIT NOTES:

1. PROPOSED CROWN CASTLE CONDUIT & CONDUCTORS.
2. 2" C MINIMUM, (3) #3/0 THWN COPPER CONDUCTORS, (1) #2 COPPER GROUND BY CONTRACTOR
3. #2 B.C. TO (2) 1/2"x8' LONG GROUND RODS.

REFER TO SHELTER DRAWINGS FOR PANEL SCHEDULE

NOTES:

1. ALL NEW CONDUIT NOT SPECIFIED OTHERWISE SHALL BE SCHD. 40 PVC BELOW GRADE, IMC ABOVE. EMT ACCEPTABLE INDOORS.
2. CONTRACTOR TO VERIFY THAT EXISTING SERVICE IS PROPERLY GROUNDED PER NEC.

FAULT SUMMARY FOR COMM SITE:

FAULT CALCULATIONS ARE BASED ON THE FOLLOWING ASSUMPTIONS:

1. 100KVA UTILITY TRANSFORMER WITH 45KA AFC.
2. PARALLEL 300KCMIL COPPER CONDUCTORS FROM TRANSFORMER TO METER BANK.
3. MINIMUM ONE-WAY CONDUCTOR LENGTH OF 130 FEET FROM TRANSFORMER TO METER BANK.
4. SINGLE 3/0 COPPER CONDUCTORS FROM DISCONNECT TO AUTOMATIC TRANSFER SWITCH.
5. MINIMUM ONE-WAY CONDUCTOR LENGTH OF 34 FEET FROM DISCONNECT TO AUTOMATIC TRANSFER SWITCH.
6. MAIN DISTRIBUTION PANEL MOUNTED IMMEDIATELY ADJACENT TO AUTOMATIC TRANSFER SWITCH.

IF FIELD CONDITIONS RESULT IN THE TRANSFORMER OR CONDUCTORS BEING LARGER THAN STATED ABOVE, OR THE CONDUCTORS BEING SHORTER, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO REVISE THE FAULT CALCULATIONS.

UTILITY TRANSFORMER SCA_{L-L} = 30kA
UTILITY TRANSFORMER SCA_{L-N} = 45kA

METER SOCKET SCA_{L-L} = 16.9kA
METER SOCKET SCA_{L-N} = 13.5kA

A.T.S. SCA_{L-L} = 12.6kA
A.T.S. SCA_{L-N} = 8.7kA

MAIN PANEL SCA_{L-L} = 12.6kA
MAIN PANEL SCA_{L-N} = 8.7kA

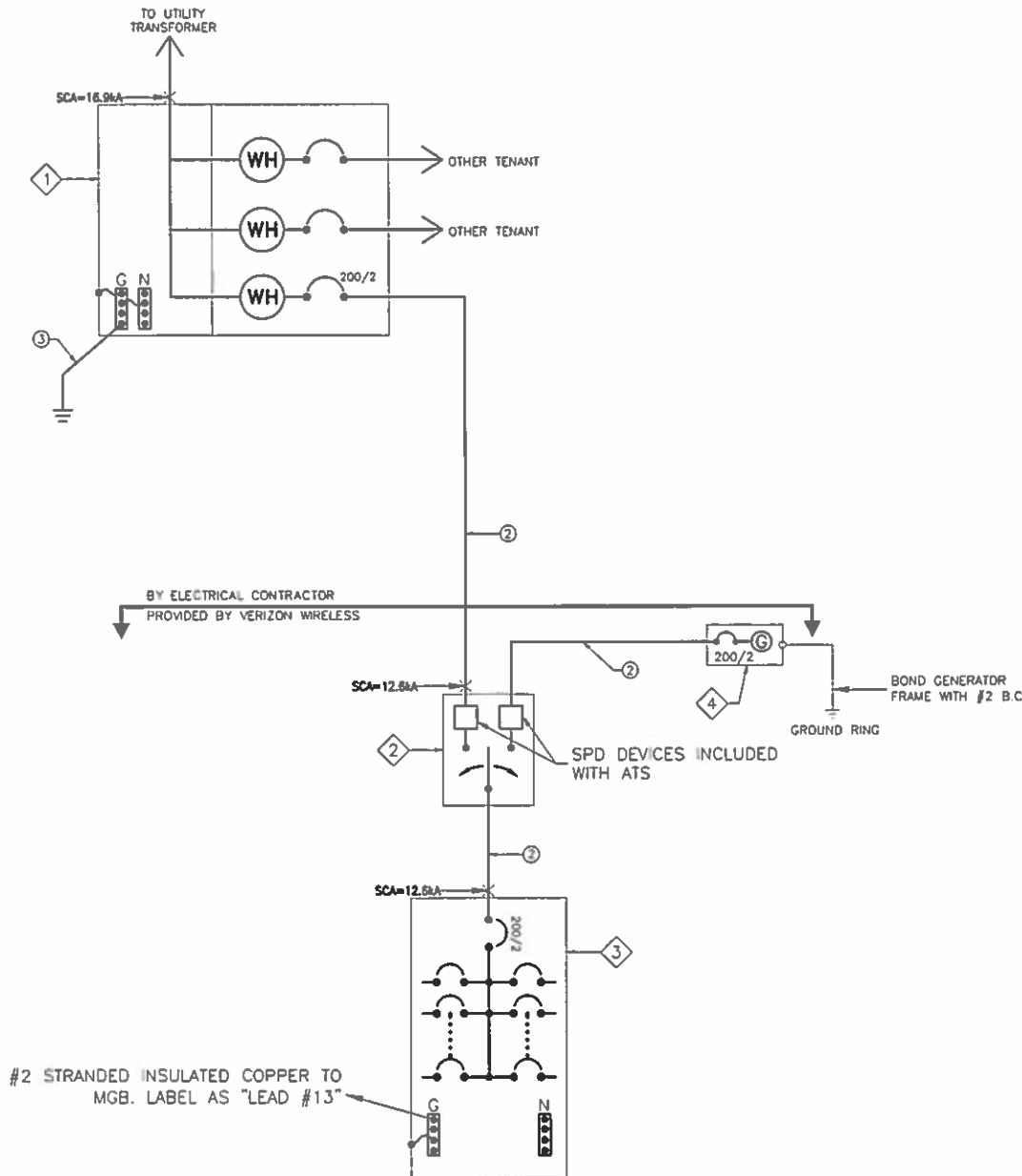
LOAD SUMMARY FOR COMM SITE:

VERIZON WIRELESS DEMAND LOAD = 34kVA
@ 142 AMPS, 240V
100% LF

FUTURE TENANT DEMAND LOAD = 34kVA

LEGEND:

✕ INDICATES CALCULATED FAULT POINT W/IC AMPS.



NOTICE:

1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

SINGLE LINE DIAGRAM

DESIGNED FOR:

verizon

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

DESIGNED BY:



PROJECT NAME:

ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:

1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

SHEET TITLE:

SINGLE-LINE DIAGRAM

SAVE DATE:

2/13/2017 9:59 AM

SHEET NUMBER:

E-5

KEYED COMPONENT NOTES:

| | |
|---|--|
| 1 | EXISTING POLE MOUNTED UTILITY TRANSFORMER |
| 2 | 600A, 3-GANG METER BANK BY CROWN CASTLE |
| 3 | NEW 200A METER SOCKET SPECIFIED ON SINGLE-LINE DIAGRAM |
| 4 | POWER ENTRY AT SHELTER |
| 5 | FIBER ENTRY AT SHELTER |
| 6 | PROPOSED CROWN CASTLE FIBER VAULT |

KEYED CONDUIT NOTES:

| | |
|---|---|
| 1 | UNDERGROUND SERVICE BY CROWN CASTLE. |
| 2 | NEW CONDUIT & CONDUCTORS, SPECIFIED ON SINGLE-LINE DIAGRAM, BY CONTRACTOR. |
| 3 | PROPOSED CROWN CASTLE 4" FIBER CONDUIT EACH WITH (3) 1 1/4" INNERDUCTS. |
| 4 | NEW VZW 4" SCHD 40 PVC FIBER CONDUIT W/TRACER WIRE & (3) 1 1/4" INNERDUCTS, EACH WITH 200LBS PULL CORD, BY CONTRACTOR |
| 5 | NEW 4" SCHD 40 PVC FIBER CONDUIT W/TRACER WIRE & (3) 1 1/4" INNERDUCTS, EACH WITH 200LBS PULL CORD, FOR FUTURE CARRIERS, BY CONTRACTOR. |

ATTENTION:

CONTRARY TO NOTE #4 IN THE SCOPE OF WORK NOTES ON SHEET E1 OF THE CROWN CASTLE PORTION OF THE SITE DRAWINGS THERE SHALL BE ABSOLUTELY NO ATTEMPT OF ANY KIND WHATSOEVER BY ANY CONTRACTOR TO TEST THE SHORT CIRCUIT CURRENTS ASSOCIATED WITH THIS PROJECT!!!

DESIGNED FOR:
verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE
PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|-------------------------------|----------|----|-----|
| 0 | APPROVED FOR CONSTRUCTION | 05/27/16 | SR | SBS |
| 1 | REVISED PER NEW TOWER DESIGN | 11/11/16 | RT | SBS |
| 2 | REVISED PER LANDLORD COMMENTS | 11/29/16 | JG | SBS |
| 3 | REVISED PER LANDLORD COMMENTS | 02/13/17 | DC | SBS |

STATE OF TEXAS
SCOTT B. SIMMONS
109613
LICENSED PROFESSIONAL ENGINEER
2/13/17

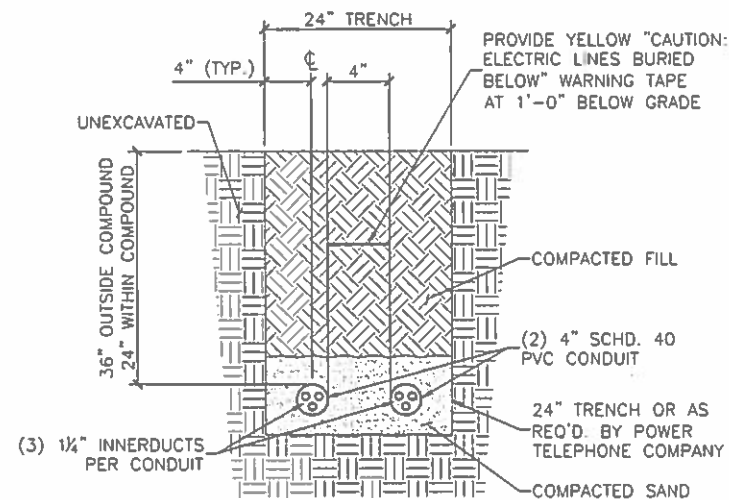
PROJECT NAME:
ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:
1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

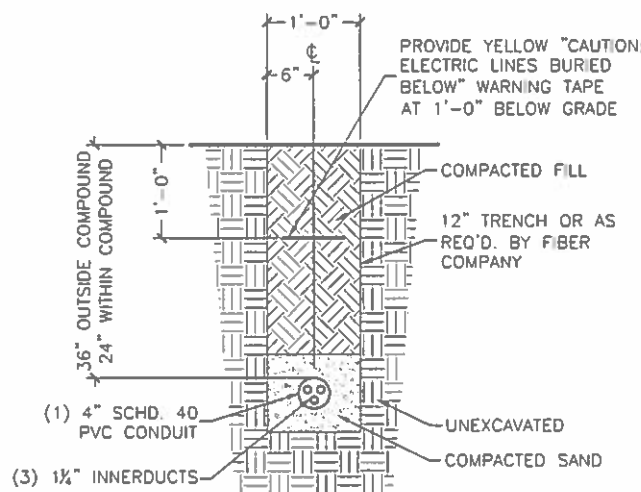
SHEET TITLE:
ELECTRICAL SITE PLAN

SAVE DATE:
2/13/2017 9:59 AM

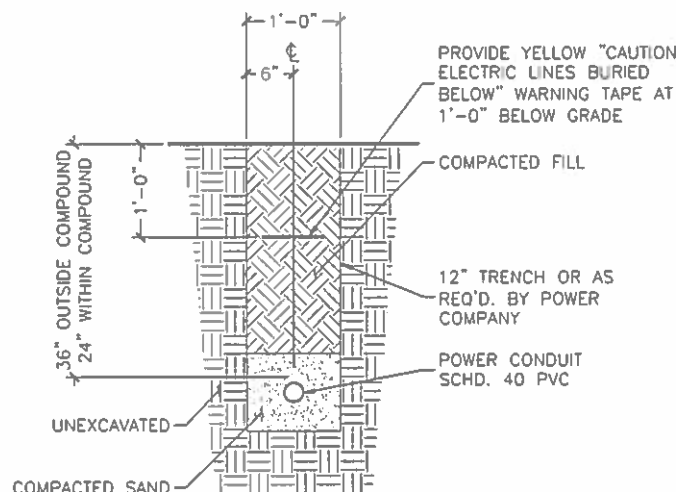
SHEET NUMBER:
E-6



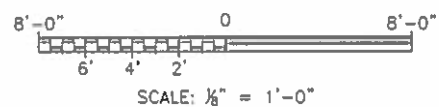
A FIBER CONDUIT DETAIL
E-6(E-6) N.T.S.



B FIBER CONDUIT DETAIL
E-6(E-6) SCALE: 1/2" = 1'-0"



C POWER CONDUIT DETAIL
E-6(E-6) SCALE: 1/2" = 1'-0"

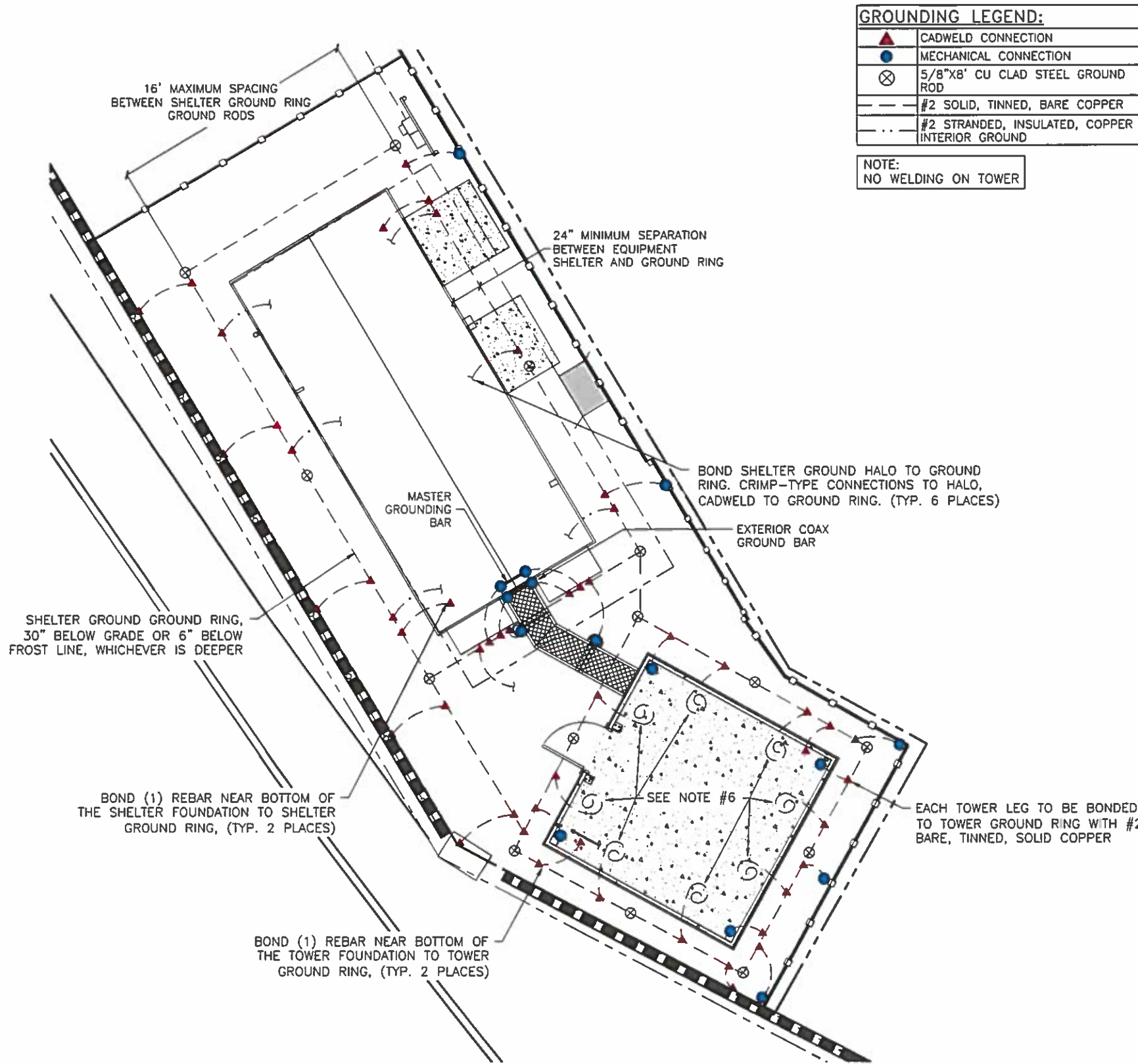


ELECTRICAL SITE PLAN



NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.



| GROUNDING LEGEND: | |
|------------------------------|--|
| | CADWELD CONNECTION |
| | MECHANICAL CONNECTION |
| | 5/8"X8' CU CLAD STEEL GROUND ROD |
| | #2 SOLID, TINNED, BARE COPPER |
| | #2 STRANDED, INSULATED, COPPER INTERIOR GROUND |
| NOTE: NO WELDING ON TOWER | |

GROUNDING NOTES:

- 1.CONTRACTOR SHALL INSTALL THE MINIMUM NUMBER OF GROUND RODS AS INDICATED ON DRAWING. GROUND RODS SHALL BE 5/8"X10 FOOT COPPER GLAD GROUND RODS AND SHALL BE SPACED 15 FOOT APART. SEE GROUNDING PLAN FOR APPROXIMATE LOCATIONS; CONTRACTOR SHALL PLAN FOR INSTALLING ADDITIONAL GROUNDING AS REQUIRED TO ACHIEVE 5-OHMS OR LESS TO GROUND.
- 2.ALL BURIED GROUND WIRES INTERCONNECTING GROUND RODS, TOWER STEEL, SHELTER, AND EQUIPMENT EXTERNAL GROUND RINGS (EGR) SHALL BE 2/O AWG BARE TINNED CU STRANDED WIRE.

- ALL FENCE POST LEADS, ICE BRIDGE LEADS AND UTILITY RACK LEADS SHALL BE ROUTED AS TO NOT INTERFERE WITH FUTURE CUSTOMER EQUIPMENT PADS, SHELTERS, OR ICE BRIDGES.
- 3.ALL GROUNDING WIRE AND LEADS SHALL FLOW (IN A SMOOTH CLOCKWISE (CW) PATH FROM THE TOWER TO THE GROUND RING, ALL GROUNDING WIRE AND LEADS SHALL FLOW IN A SMOOTH CLOCKWISE (CW) PATH FROM THE TOWER RING TO THE CUSTOMER RING, AND ALL GROUNDING WIRE AND LEADS SHALL FLOW IN A SMOOTH COUNTER CLOCKWISE (CCW) PATH FROM THE TOWER GROUND RING TO THE FENCE POSTS) WITH NO KINKS OR SHARP BENDS. ALL BELOW GRADE CONNECTIONS SHALL BE EXOTHERMIC WELDS (CADWELD). TEE CONNECTORS ARE NOT PERMITTED ABOVE OR BELOW GRADE ON CROWN SITES.

- ALL SPARE GROUND LEADS FROM THE TOWER GROUND RING SHALL BE CUT OFF AT 12" ABOVE GRADE AND ZIP TIED OR TAPED TO THE ATTACHED TOWER LEAD IN MINIMUM OF TWO (2) PLACES.
4. GROUND LEADS TO STEALTH TOWER SHALL ONLY BE CADWELDED TO MANUFACTURER'S GROUNDING TAB OR THE BASEPLATES. "NEVER CADWELD, BRAZE OR WELD TO THE TOWER STRUCTURE SECTION".
- 5.ALL EXOTHERMIC WELDS TO ABOVE GRADE STEEL STRUCTURES MUST BE COLD GALVANIZED AND SPRAYED WITH MATCHING RUST INHIBITOR PAINT.
- 6.INSTALL (2) SPARE #2 BARE TINNED SOLID BONDING JUMPERS AT EACH WALL OF TOWER ENCLOSURE WITH 6' OF LENGTH LEFT COILED INSIDE FOR FUTURE GROUNDING NEEDS.
- 7.ANY DISTURBED NATIVE SOIL BENEATH PROPOSED MAT FOUNDATION DUE TO INSTALLATION OF TOWER GROUND RING TO BE RECOMPACTED IN LIFTS TO MEET FOUNDATION DESIGN REQUIREMENTS (BY OTHERS). TYPICALLY, SOIL TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

GROUND TEST PROCEDURES:

- A. CCUSA STANDARD REQUIREMENT FOR RESISTIVITY TO EARTH ON ALL SITES IS 5-OHMS OR LESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE SUCH REQUIREMENT IS ACHIEVED. REVIEW OF THE SOIL RESISTIVITY TEST PRIOR TO INSTALLATION OF THE SITE GROUNDING SYSTEM WILL GREATLY ASSIST IN DETERMINING THE TYPE OF GROUNDING INSTALLATION, NUMBER AND TYPE OF GROUND ROD(S).
- B. PERFORM THREE POINT FALL OF POTENTIAL GROUNDING (MEGGER) TEST UTILIZING THE "AEMC 4500" TEST INSTRUMENT FROM A MINIMUM OF TWO SEPARATE POINTS IN TWO SEPARATE DIRECTIONS FROM THE POINT OF CONTACT.
- C. THE CONTRACTOR SHALL DOCUMENT MEGGER TEST RESULTS ON THE CROWNCASTLE CLOSEOUT REQUIREMENTS DOCUMENT IN THE MEG TEST TAB.
- D. THE CONTRACTOR SHALL DOCUMENT THE LOCATION OF ALL BELOW GRADE GROUNDING COMPONENTS AND PHOTOGRAPH WITH A DIGITAL CAMERA THE ENTIRE NEWLY INSTALLED GROUNDING SYSTEM PRIOR TO BACKFILLING ANY OPEN TRENCHES.
- E. FORWARD THE MEGGER TEST DOCUMENTATION TO THE REGIONAL CCUSA REPRESENTATIVE (AS PART OF THE FINAL SITE CLOSE-OUT PACKAGE DOCUMENTATION).

SITE GROUNDING PLAN

SCALE : N.T.S.

5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER
COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080

| REVISIONS | NO. | DATE | DESCRIPTION | BY | DATE |
|-----------|-----|----------|------------------------|----|------|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ | |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ | |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ | |
| | 4 | 11-29-16 | IFC | MJ | |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ | |
| | 6 | 02-02-17 | REDLINES | MJ | |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

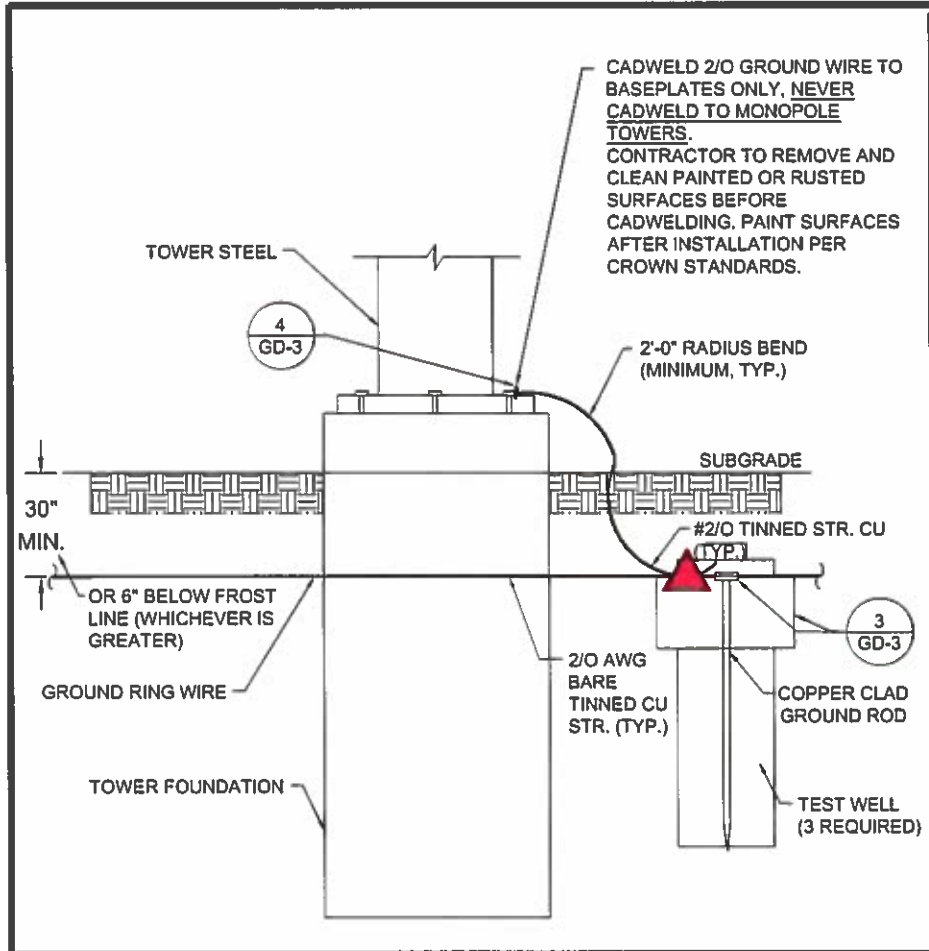
1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

GROUNDING
DETAILS

SHEET NUMBER

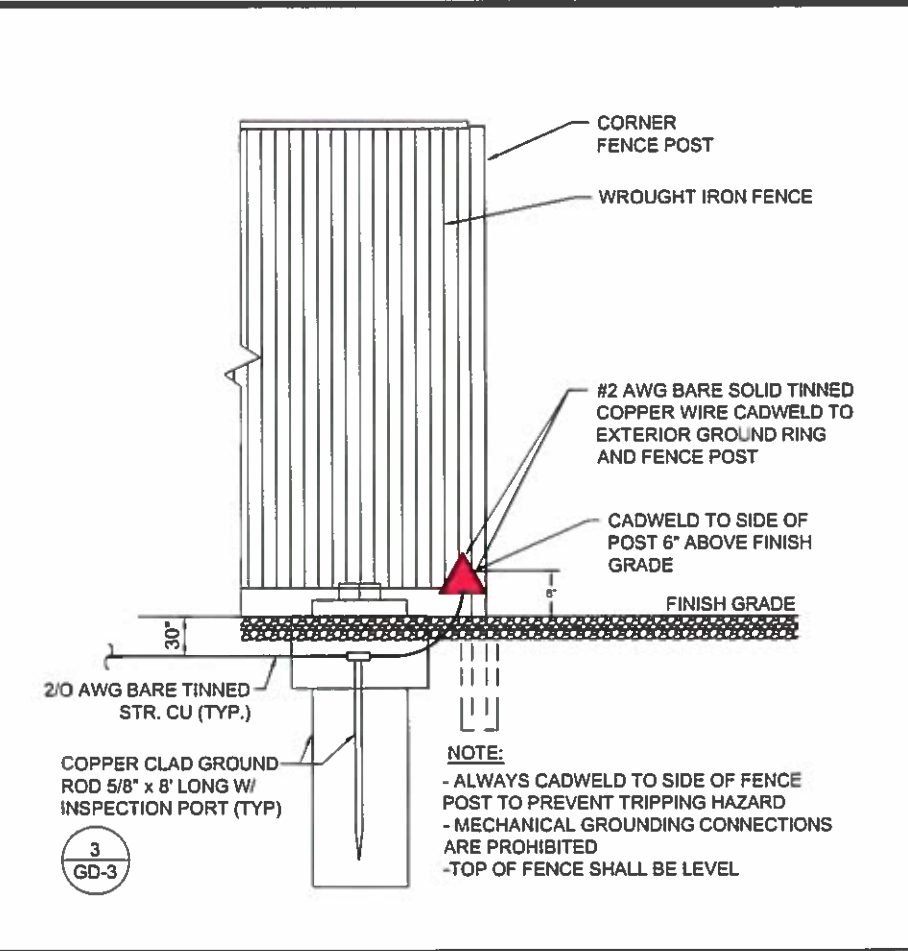
GD-1



TOWER GROUND DETAIL

SCALE: N.T.S.

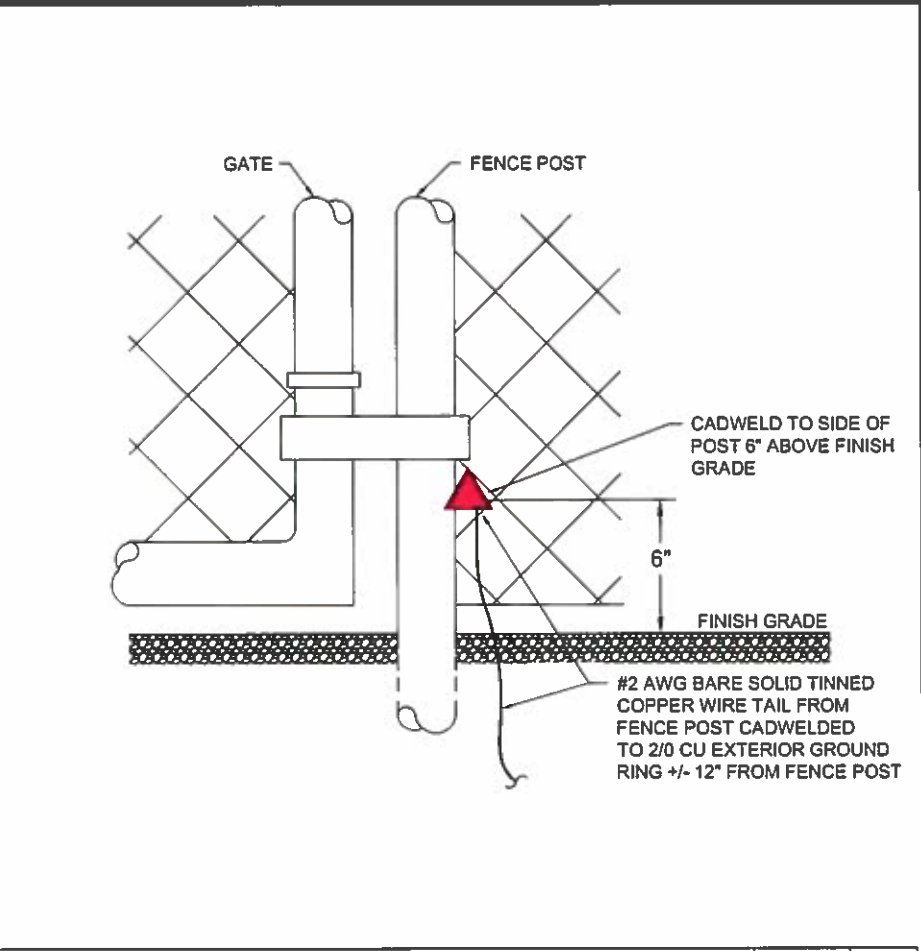
1



FENCE GROUNDING

SCALE: N.T.S.

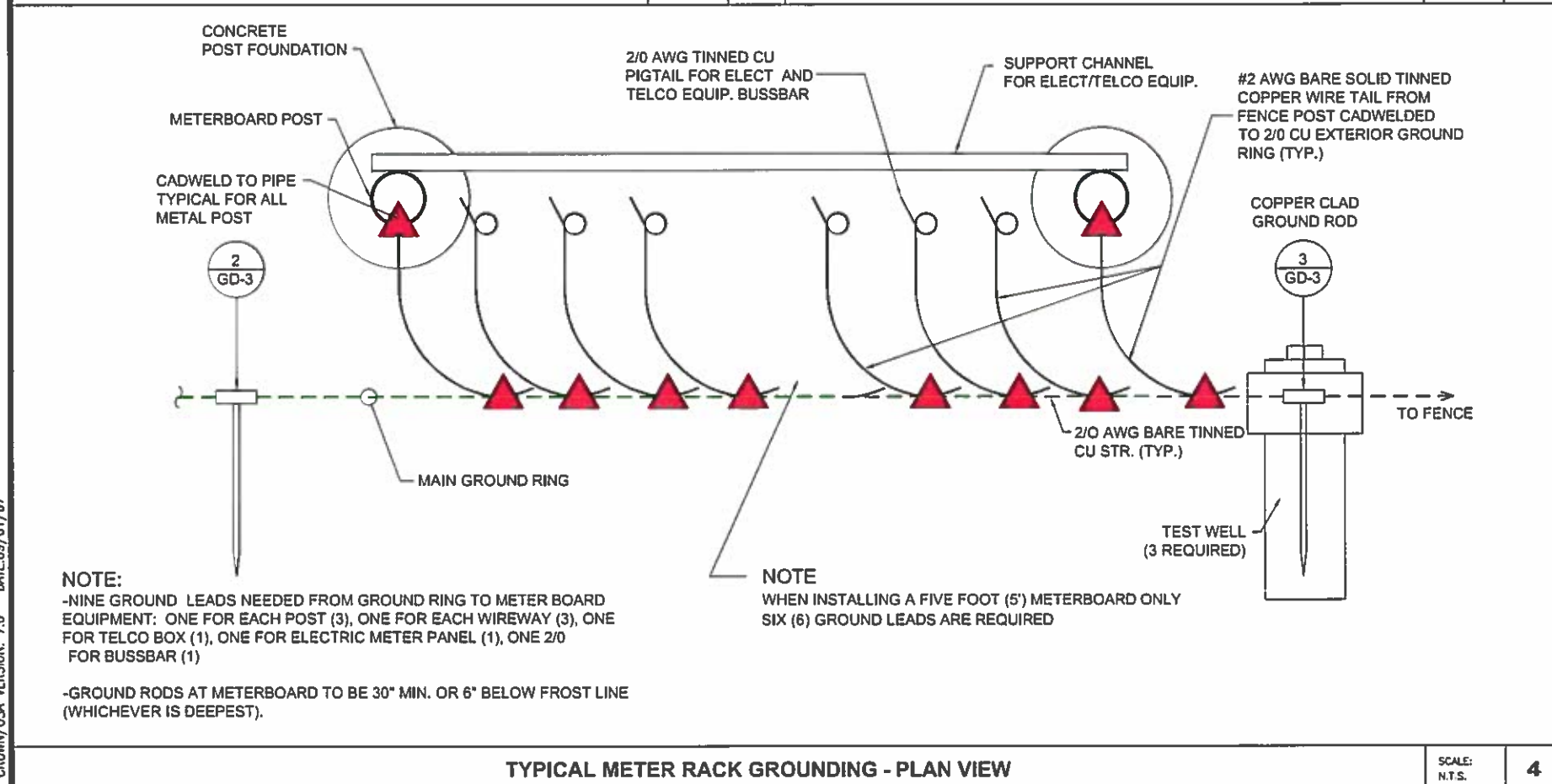
2



GATE GROUNDING DETAIL

SCALE: N.T.S.

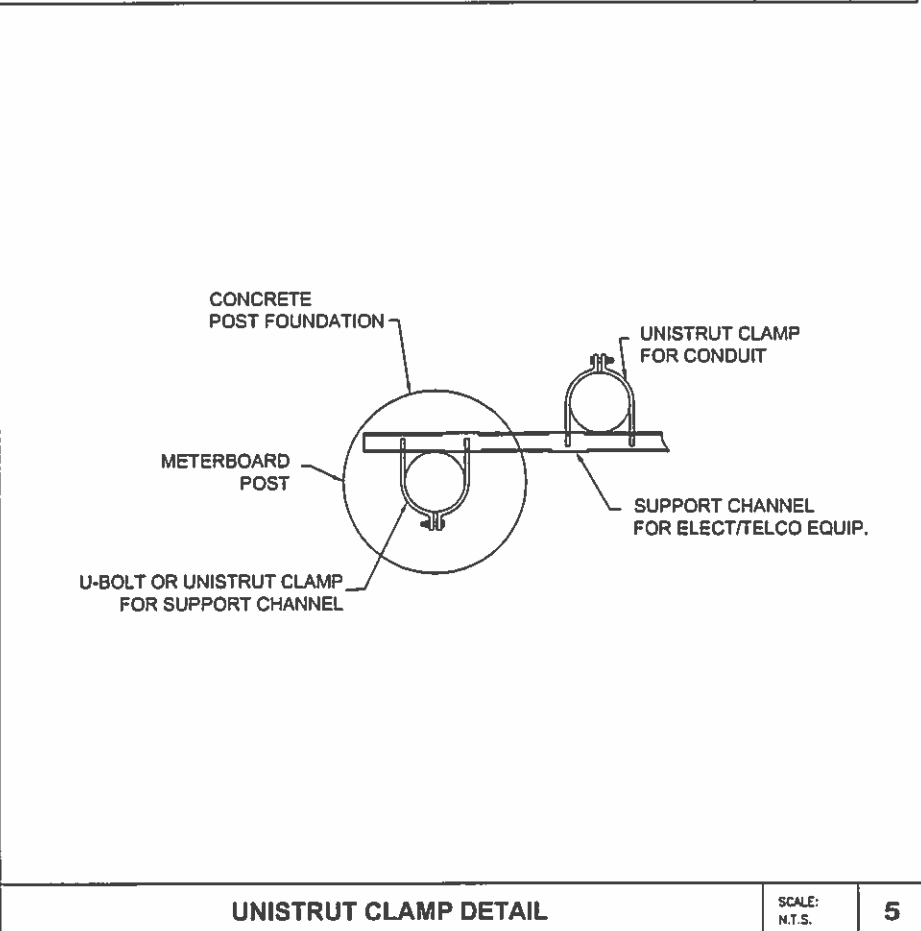
3



TYPICAL METER RACK GROUNDING - PLAN VIEW

SCALE: N.T.S.

4



UNISTRUT CLAMP DETAIL

SCALE: N.T.S.

5

CROWN CASTLE

5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226

4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER F-4080

| REVISIONS | NO. | DATE | DESCRIPTION |
|-----------|-----|----------|------------------------|
| | 1 | 11-25-15 | PRELIM REVIEW |
| | 2 | 09-12-16 | NEW TOWER DESIGN |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN |
| | 4 | 11-29-16 | IFC |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT |
| | 6 | 02-02-17 | REDLINES |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

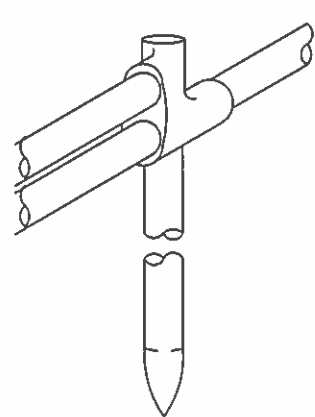
1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

GROUNDING DETAILS

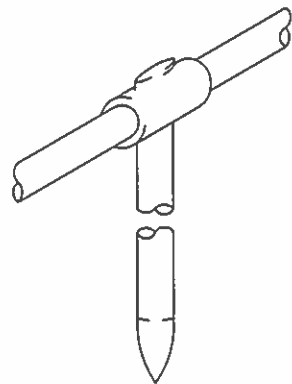
SHEET NUMBER

GD-2



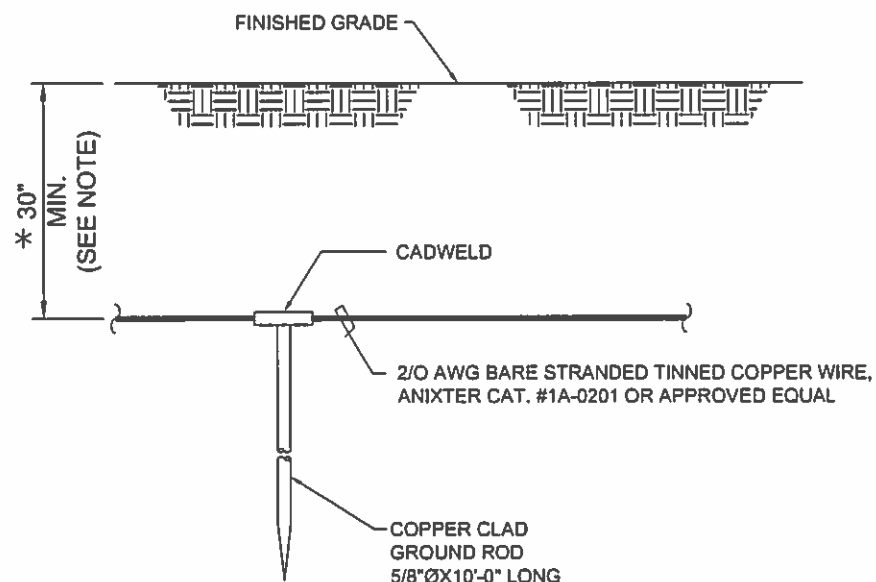
CADWELD TYPE NC
THERMOWELD TYPE CR-17

DOUBLE CABLE TO GROUND ROD

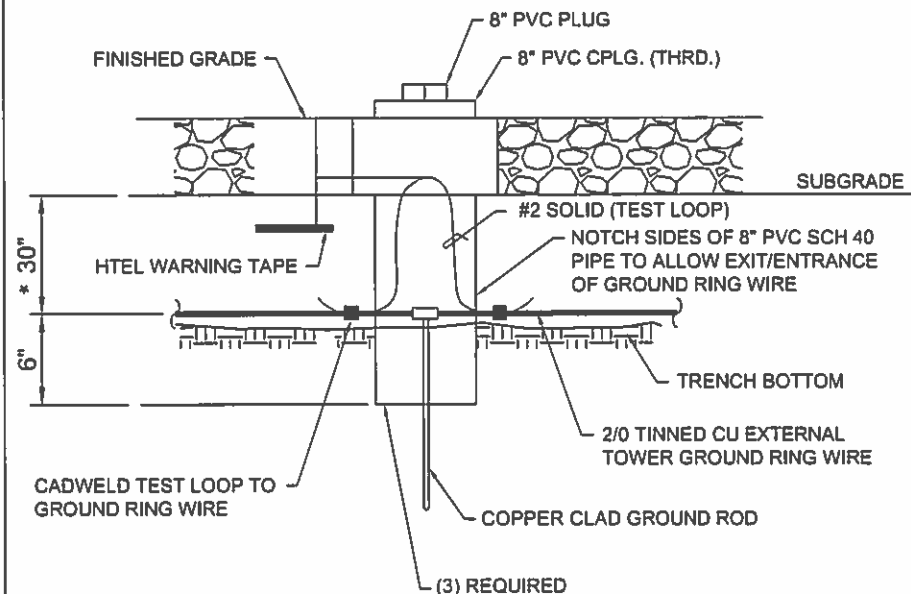


CADWELD TYPE GT
THERMOWELD TYPE CR-2

HORIZONTAL TO GROUND ROD



* NOTE:
GROUND ROD SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE.
(WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)



* NOTE:
GROUND WIRE SHALL BE MIN. 30" BELOW GRADE OR 6" BELOW FROST LINE.
(WHICH EVER IS GREATER) AS PER N.E.C. ARTICLE 250-50(D)

GROUND ROD

SCALE:
N.T.S.

1

GROUND ROD DETAIL

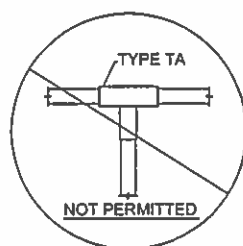
SCALE:
N.T.S.

2

INSPECTION PORT DETAIL

SCALE:
N.T.S.

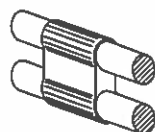
3



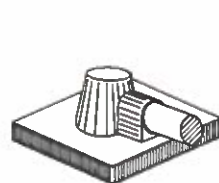
TYPE GR



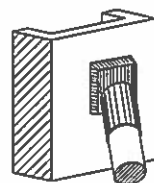
TYPE SV



TYPE PH



TYPE KA



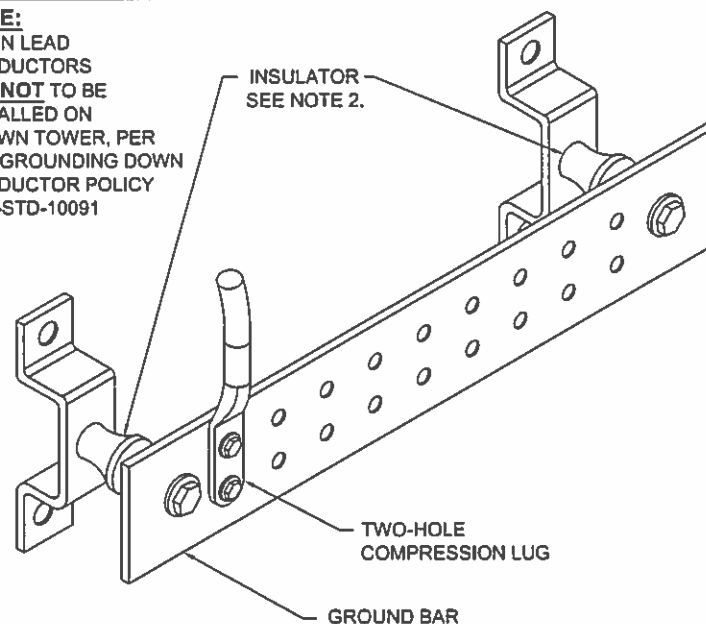
TYPE VS

CADWELDS (TYPICAL)

SCALE:
N.T.S.

4

NOTE:
DOWN LEAD
CONDUCTORS
ARE NOT TO BE
INSTALLED ON
CROWN TOWER, PER
THE GROUNDING DOWN
CONDUCTOR POLICY
QAS-STD-10091

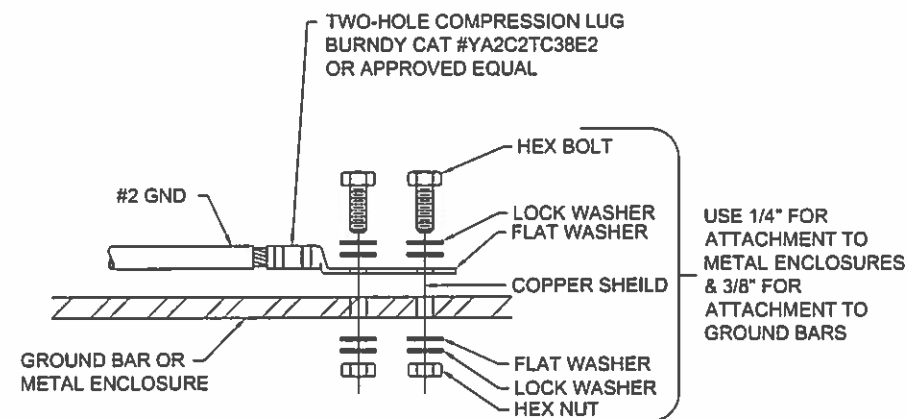


NOTES
1. SECURE TO INTERIOR OR EXTERIOR WALL w/ S.S. LAG
HARGAR CAT # GBB-1442-G OR APPROVED EQUAL
2. OMIT INSULATOR WHEN MOUNTING TO TOWER STEEL OR
PLATFORM STEEL. USE INSULATORS WHEN ATTACHING TO
BUILDINGS OR SHELTERS

GROUND BAR

SCALE:
N.T.S.

5



INSTALLATION NOTES:
1. BOLTS, WASHERS, AND NUTS SHALL BE STAINLESS STEEL.
2. SELECT BOLT LENGTH TO PROVIDE A MINIMUM OF TWO
EXPOSED THREADS.
3. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA
OF LUG CONTACT.
4. APPLY COPPER-SHIELD COMPOUND TO MATING SURFACE OF
LUG AND WIPE CLEAN EXCESS COMPOUND.
5. ALL METAL ELECTRICAL EQUIPMENT SHALL BE EXTERNALLY
GROUNDED TO THE TOWER EGR. (PAINTED METAL SURFACES
MUST HAVE SMALL SECTION OF PAINT REMOVED BEFORE
INSTALLATION, AND SHALL BE SPRAYED LIGHTLY WITH CLEAR
COAT LACQUER FINISH).

GROUNDING TO FLAT SURFACES TYPICAL

SCALE:
N.T.S.

6



5350 N. 48TH STREET
SUITE 305
CHANDLER, AZ 85226



4821 EUBANK NE
ALBUQUERQUE, NM 87111

CLEAR WATER
COMMUNICATIONS, INC.

5327 TIMBER TRAIL
SAN ANTONIO, TEXAS 78228
clearwaterengineeringinc@yahoo.com
FIRM REGISTRATION NUMBER
F-4080



| REVISIONS | NO. | DATE | DESCRIPTION | BY | DATE |
|-----------|-----|----------|------------------------|----|------|
| | 1 | 11-25-15 | PRELIM REVIEW | MJ | |
| | 2 | 09-12-16 | NEW TOWER DESIGN | MJ | |
| | 3 | 10-25-16 | MODIFIED TOWER DESIGN | MJ | |
| | 4 | 11-29-16 | IFC | MJ | |
| | 5 | 12-08-16 | TOWERCOM SHEETS INSERT | MJ | |
| | 6 | 02-02-17 | REDLINES | MJ | |

DRAWN BY: MJ
CHECKED BY: MA
DRAWING DATE: -

CARRIER NAME

VERIZON

SITE NAME

SUN BOWL DR./ELP RIM

BUSINESS UNIT NUMBER

821983

SITE ADDRESS

1513 SUN BOWL DR.
EL PASO, TX 79902

SHEET TITLE

GROUNDING
DETAILS

SHEET NUMBER

GD-3

NOTES:

1. ALL EXTERIOR GROUND BARS SHALL BE GALVANIZED STEEL AND SHALL HAVE ALARM CONNECTIONS FOR THEFT PREVENTION PER LESSEE GROUNDING STANDARD NSTD46 REV 2-1-11, SECTION 5.3.
2. CONTRACTOR TO BOND ANY METALLIC ITEMS WITHIN 6' OF VERIZON WIRELESS EQUIPMENT, SHELTER OR GROUND RING TO VERIZON WIRELESS GROUND RING.
3. THE GROUNDING DIAGRAM SHOWN HERE IS SOMEWHAT SCHEMATIC IN NATURE AND MANY OF THE GROUNDING CONDUCTORS ARE SHOWN WITH A CURVE TO THEM. THIS IS SIMPLY TO INSURE THAT THEY STAND OUT FROM LEASE LINES, FENCE LINES AND SHELTER LINES ETC. ALL GROUNDING AND BONDING CONDUCTORS SHOULD BE INSTALLED IN AS STRAIGHT A LINE AS POSSIBLE. ANY BENDS THAT ARE REQUIRED IN GROUNDING OR BONDING CONDUCTORS SHOULD HAVE A RADIUS NO LESS THAN 12".
4. BONDING JUMPERS FROM REBAR CAGE AND ANCHOR BOLT TO GROUND RING SHOULD ATTACH AT LOCATIONS ALLOWING JUMPERS TO BE CLOSE TO HORIZONTAL AS POSSIBLE.
5. SOME FENCE POSTS BETWEEN CORNER POSTS SHALL BE BONDED TO GROUNDING SYSTEM SO THAT MAXIMUM DISTANCE BETWEEN BONDED POSTS DOES NOT EXCEED 20'.
6. EACH FENCE POST WITHIN 6' OF ANY GROUNDED METALLIC OBJECT SHALL BE BONDED TO THE GROUND SYSTEM.
7. TOWER TO BE INSTALLED BY CROWN CASTLE PRIOR TO VZW SHELTER INSTALLATION AND GROUNDED ACCORDING TO THEIR STANDARDS. (SEE NOTE #8 ALSO)
8. CONTRACTOR TO INSPECT TOWER GROUNDING AND NOTIFY VZW CONSTRUCTION MANAGER OF ANY ITEMS THAT DON'T MEET VZW GROUNDING STANDARDS.
9. CONTRACTOR TO INSTALL COAX GROUND BARS AT VZW ANTENNA ELEVATION AND AT BOTTOM OF TOWER, MOUNTED DIRECTLY TO TOWER STEEL WITHOUT INSULATORS PER VZW AND CROWN CASTLE GROUNDING STANDARDS AND GROUND COAX PER VZW STANDARDS.
10. EACH TOWER LEG TO BE BONDED TO TOWER GROUND RING WITH #2 BARE, TINNED, SOLID COPPER. EACH GROUND BONDING JUMPER PASSING THROUGH SHELTER WALLS OR TOWER ENCLOSURE WALLS SHALL DO SO THROUGH 3/4" SCH. 80 PVC CONDUIT PENETRATING A MINIMUM OF 18" BELOW GRADE AND WITH TOP ENDS SEALED WITH SILICONE SEALER.
11. GROUNDING BUS BARS MOUNTED ON TOWER SHALL BE MOUNTED DIRECTLY TO TOWER STEEL WITHOUT INSULATORS, AS REQUIRED BY CROWN CASTLE GROUNDING STANDARDS.
12. INSTALL (2) SPARE #2 BARE TINNED SOLID BONDING JUMPERS AT EACH WALL OF TOWER ENCLOSURE WITH 6' OF LENGTH LEFT COILED INSIDE FOR FUTURE GROUNDING NEEDS.
13. TOWER GROUND RING MUST BE INSTALLED AND BACKFILLED WITH 95% COMPACTION PRIOR TO POURING TOWER FOUNDATION.

NOTICE:

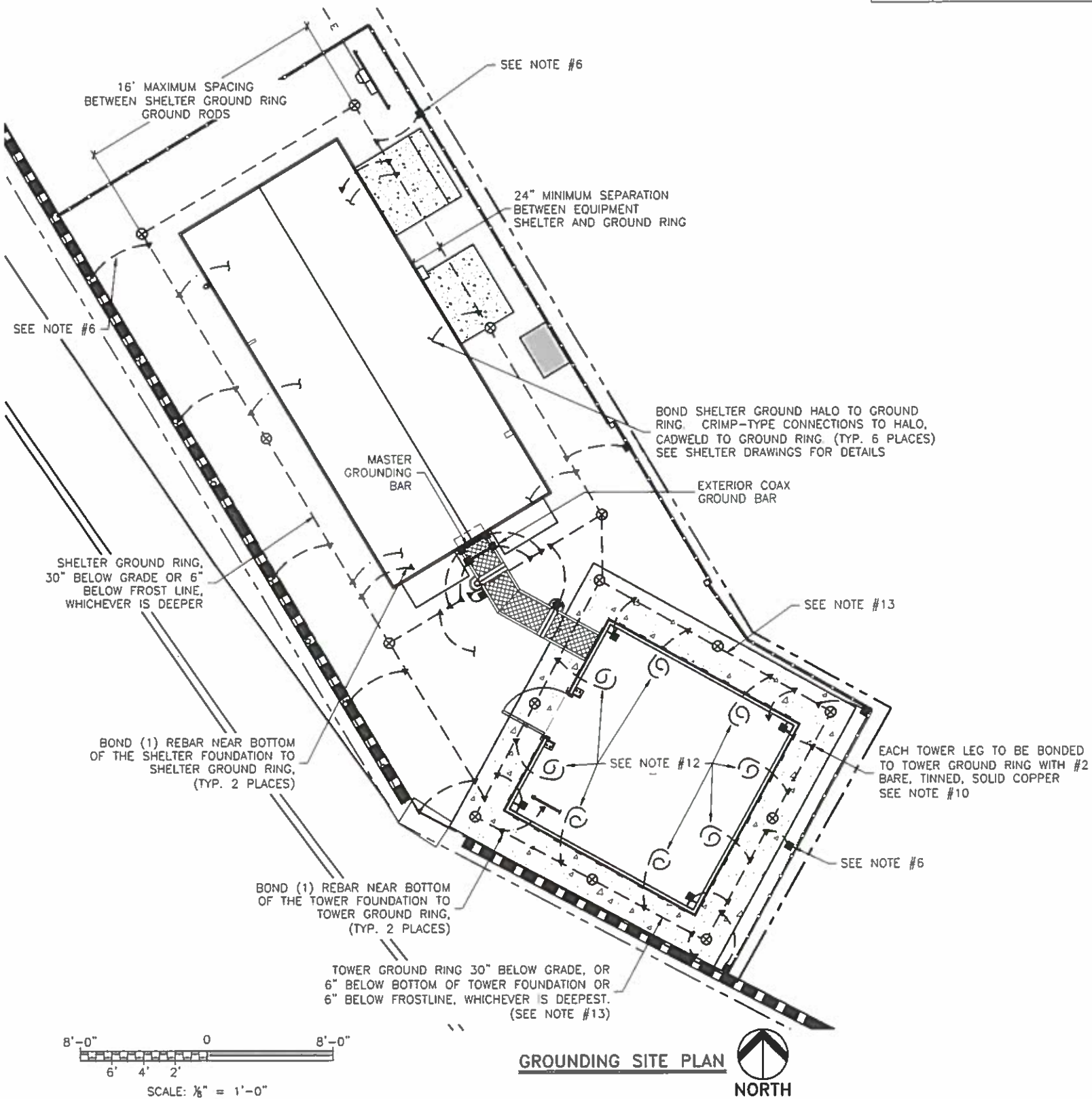
1. CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

ATTENTION:

CONTRARY TO NOTE #4 IN THE SCOPE OF WORK NOTES ON SHEET E1 OF THE CROWN CASTLE PORTION OF THE SITE DRAWINGS THERE SHALL BE ABSOLUTELY NO ATTEMPT OF ANY KIND WHATSOEVER BY ANY CONTRACTOR TO TEST THE SHORT CIRCUIT CURRENTS ASSOCIATED WITH THIS PROJECT!!!

GROUNDING LEGEND:

| | |
|-----|----------------------------------|
| ▲ | CADWELD CONNECTION |
| ■ | MECHANICAL CONNECTION |
| ⊗ | 5/8"X8' CU CLAD STEEL GROUND ROD |
| --- | #2 SOLID, TINNED, BARE COPPER |
| --- | #2 STRANDED, INSULATED, COPPER |
| --- | INTERIOR GROUND |



DESIGNED FOR:

verizon

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

| REV | DESCRIPTION | DATE | CHK | BY |
|-----|-------------------------------|----------|-----|-----|
| 0 | APPROVED FOR CONSTRUCTION | 05/27/16 | SBS | SR |
| 1 | REVISED PER NEW TOWER DESIGN | 11/11/16 | SBS | RT |
| 2 | REVISED PER LANDLORD COMMENTS | 11/29/16 | JG | SBS |
| 3 | REVISED PER LANDLORD COMMENTS | 02/13/17 | DC | SBS |

DESIGNED BY:



PROJECT NAME:

ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:

1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

SHEET TITLE:

GROUNDING SITE PLAN

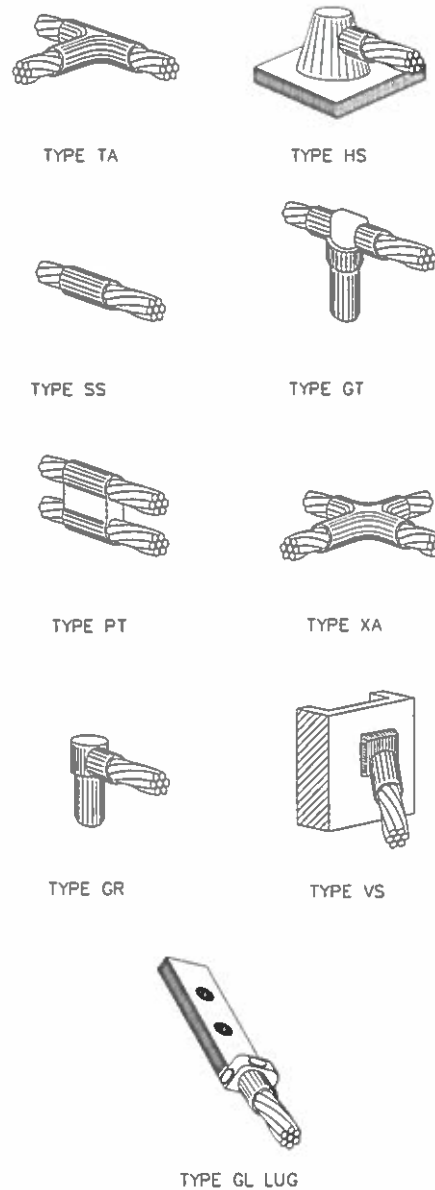
SAVE DATE:

2/13/2017 9:59 AM

SHEET NUMBER:

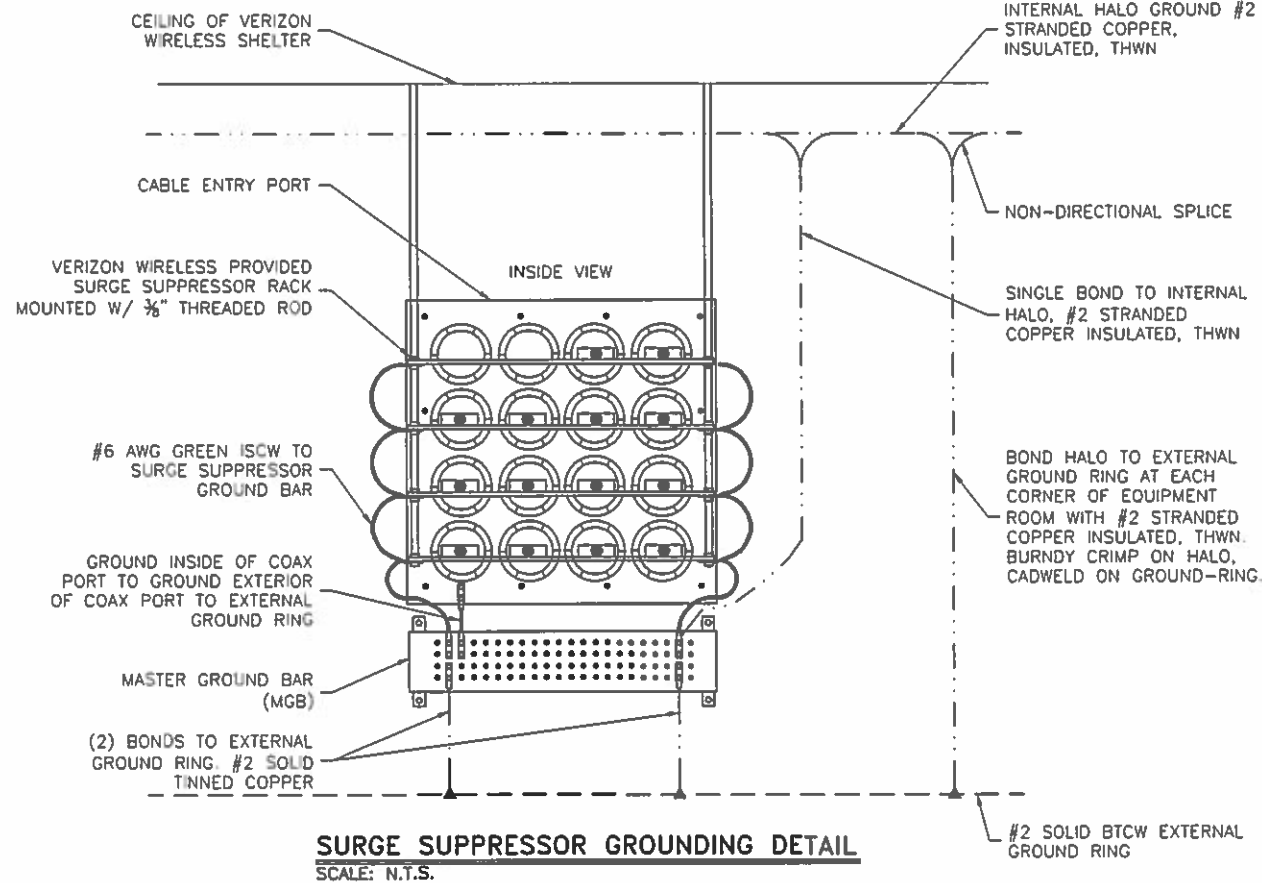
GD-4

| GROUNDING LEGEND: | |
|-------------------|----------------------------------|
| ▲ | CADWELD CONNECTION |
| ● | COAX GROUND KIT |
| ■ | MECHANICAL CONNECTION |
| ⊗ | 5/8"X8' CU CLAD STEEL GROUND ROD |
| — | #2 SOLID, TINNED, BARE COPPER |
| ... | #2 STRANDED, INSULATED, COPPER |
| — | INTERIOR GROUND |



NOTE:
CADWELD "TYPES" SHOWN ABOVE ARE EXAMPLES - CONSULT WITH PROJECT MANAGER FOR SPECIFIC TYPES OF CADWELDS TO BE USED FOR THIS PROJECT.

TYPICAL CADWELD & COMPRESSION CONNECTION DETAILS



NOTES:

- ALL HARDWARE BOLTS, NUTS & LOCK WASHERS SHALL BE STAINLESS STEEL CONNECTIONS SHALL BE BOLT, LOCK WASHER, BUS BAR, LUG & LOCK WASHER, IN THAT ORDER.
- CONNECTIONS TO STEEL SHALL HAVE A THOMAS & BETTS IDTW DRAGON TOOTH TRANSITION WASHER BETWEEN THE LUG, & STEEL. THE ORDER OF STEEL CONNECTIONS SHALL BE BOLT, LOCK WASHER, STEEL, DRAGON TOOTH WASHER, LUG, LOCK WASHER, NUT.
- KOPER SHIELD, ANTIOX, OR NO-OX, OR EQUIVALENT IS TO BE PLACED WHERE ALL DISSIMILAR METALS CONNECT.

| WIRE SIZE | BURNDY LUG | BOLT SIZE |
|-----------------|------------|---------------------|
| #6 | YA6C-2TC3B | 3/8"-16 NC S 2-BOLT |
| #2 AWG SOLID | YA3C-2TC3B | 3/8"-16 NC S 2-BOLT |
| #2 AWG STRANDED | YA2C-2TC3B | 3/8"-16 NC S 2-BOLT |
| #2/O AWG | YA26-2TC3B | 3/8"-16 NC S 2-BOLT |
| #4/O AWG | YA28-2N | 1/2"-16 NC S 2-BOLT |

2-HOLE LUG W/LONG BARREL FOR #6 STRANDED

GROUNDING CONDUCTOR

HEAT SHRINK (CLEAR)

BURNDY GROUND LUG, SEE TABLE FOR SIZE & MODEL

NUT

LOCK WASHER

LOCK WASHER

BOLT

BUSS BAR

LOCK WASHER

BARE WIRE TO BE NO-OXED AT BOTH ENDS

HEAT SHRINK

#6 STRANDED

GROUND LUG TO BUS BAR DETAIL
SCALE: N.T.S.

DESIGNED FOR:

verizon

4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE PARTNERS

AZ - CA - CO - ID - NM - NV - TX - UT

| REV | DESCRIPTION | DATE | CHK | BY |
|-----|-------------------------------|----------|-----|-----|
| 0 | APPROVED FOR CONSTRUCTION | 05/27/16 | SBS | SR |
| 1 | REVISED PER NEW TOWER DESIGN | 11/11/16 | SBS | RT |
| 2 | REVISED PER LANDLORD COMMENTS | 11/29/16 | JG | SBS |
| 3 | REVISED PER LANDLORD COMMENTS | 02/13/17 | DC | SBS |

DESIGNED BY:

SCOTT B. SIMMONS
109613
LICENSED PROFESSIONAL ENGINEER

2/13/17

PROJECT NAME:

ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:

**1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY**

SHEET TITLE:

GROUNDING DETAILS

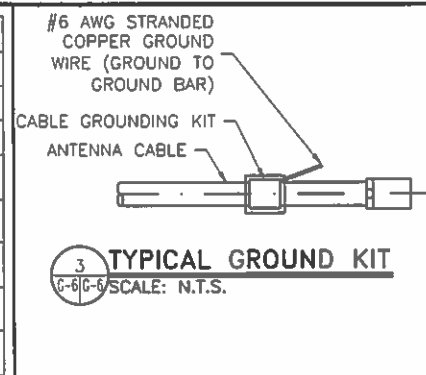
SAVE DATE:

2/13/2017 9:59 AM

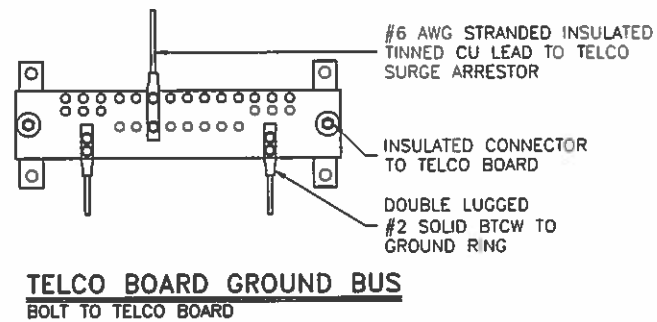
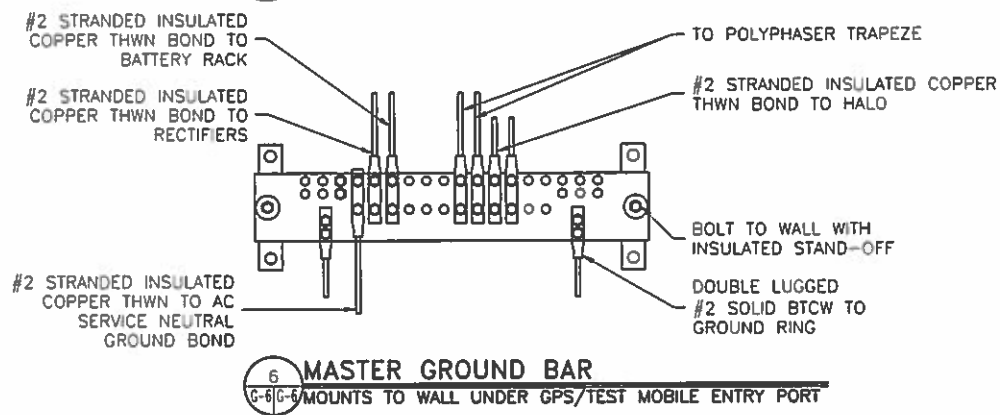
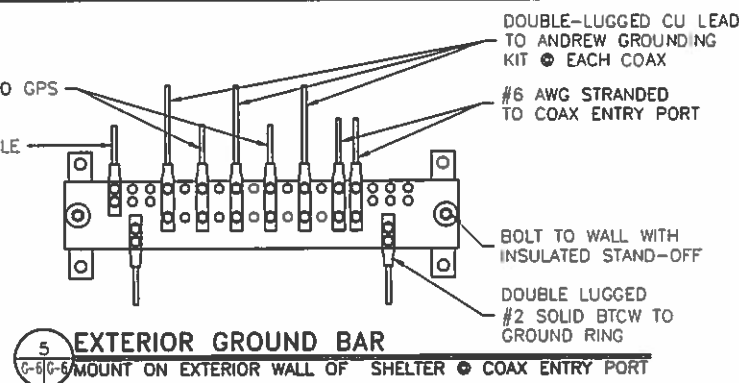
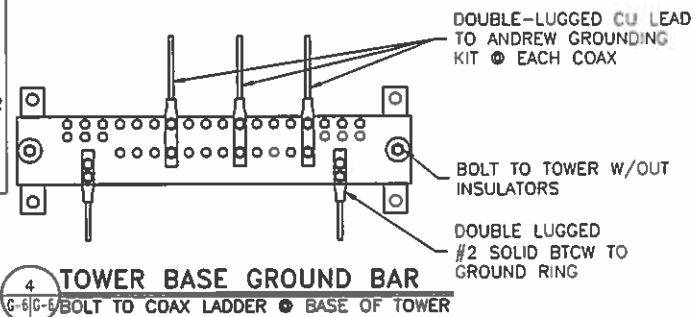
SHEET NUMBER:

GD-5

| GROUNDING LEGEND: | |
|-------------------|--|
| ▲ | CADWELD CONNECTION |
| ● | COAX GROUND KIT |
| ■ | MECHANICAL CONNECTION |
| ⊗ | 5/8"x8" CU CLAD STEEL GROUND ROD |
| --- | #2 SOLID, TINNED, BARE COPPER |
| --- | #2 STRANDED, INSULATED, COPPER INTERIOR GROUND |
| --- | COAX & JUMPERS |
| --- | #6 STRANDED, INSULATED COPPER THWN |

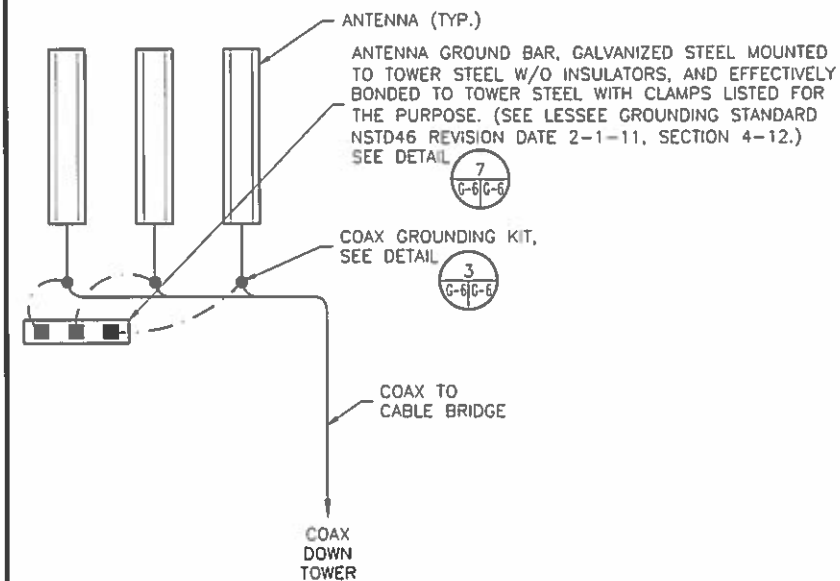


THEFT DETERRENT:
ALL EXTERIOR GROUND BARS TO BE GALVANIZED STEEL ATTACHED WITH TAMPER PROOF HARDWARE AND WITH ALARM CONNECTIONS PER LESSEE GROUNDING STANDARD NSTD46 REVISION DATE 2-1-11. SEE NOTES BELOW.

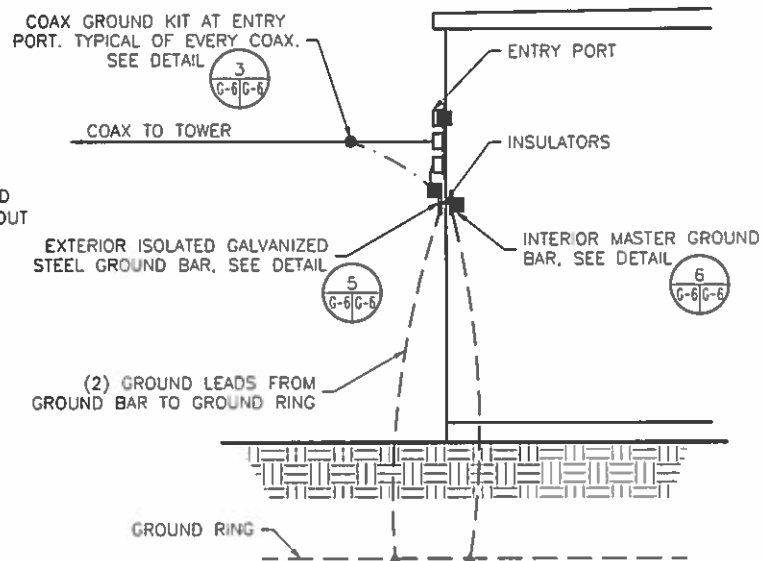
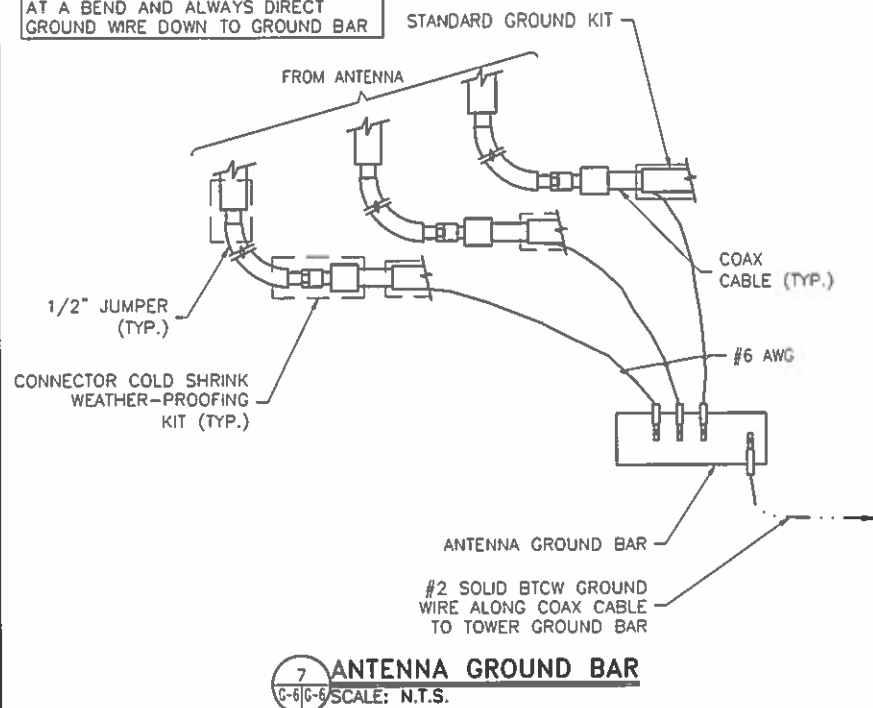


| NOTES: | |
|--------|--|
| 1 | ALL HARDWARE TO BE TAMPER PROOF STAINLESS STEEL PER NSTD46 REVISION DATE 2-1-11. |
| 2 | COAT ALL SURFACES WITH KOPR-SHEILD BEFORE MATING. |
| 3 | ALL LUGS SHALL BE 2-BOLT CONNECTIONS. |
| 4 | EXTERIOR BUS BARS: 4"x20"x1/4" GALVANIZED STEEL. |
| 5 | INTERIOR BUS BARS: 4"x20"x1/4" COPPER. |
| 6 | ALL LEADS TO MGB MUST BE LABELED ACCORDING TO NSTD46 REV 2-1-11 SECTION 3.8, FIG. 3.4. WHEN FUTURE REVISIONS ARE ISSUED THE CORRESPONDING INFORMATION FROM THE MOST RECENT REVISION SHALL BE USED. |
| 7 | EXTERIOR GROUND BARS SHALL HAVE ALARM CONNECTIONS FOR THEFT PROTECTION AS SPECIFIED IN NSTD46 REV DATE 2-1-11 SECTION 5.3. |

GROUNDING SCHEMATIC DETAILS
SCALE: N.T.S.



NOTE:
DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR



NOTICE:

- CONTRACTOR SHALL NOT SUBMIT BIDS OR PERFORM CONSTRUCTION WORK ON THIS PROJECT WITHOUT ACCESS TO THE CURRENT COMPLETE SET OF DRAWINGS LISTED IN THE TITLE-SHEET INDEX.

TYPICAL GROUNDING ELEVATION
SCALE: N.T.S.

DESIGNED FOR:
verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE
PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|-------------------------------|----------|----|-----|
| 0 | APPROVED FOR CONSTRUCTION | 05/27/16 | SR | SBS |
| 1 | REVISED PER NEW TOWER DESIGN | 11/11/16 | RT | SBS |
| 2 | REVISED PER LANDLORD COMMENTS | 11/29/16 | JG | SBS |
| 3 | REVISED PER LANDLORD COMMENTS | 02/13/17 | DC | SBS |

STATE OF TEXAS
SCOTT B. SIMMONS
109613
LICENSED PROFESSIONAL ENGINEER
2/13/17

PROJECT NAME:
ELP RIM
NEW 67'-2" CONCEALMENT TOWER
(OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:
1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

SHEET TITLE:
GROUNDING DETAILS

SAVE DATE:
2/13/2017 9:59 AM
SHEET NUMBER:
GD-6

MEMORANDUM

DATE: March 28, 2017

TO: The Honorable Mayor and City Council
Tommy Gonzalez, City Manager

FROM: Jeff Howell, Senior Planner

SUBJECT: PZST16-00030

The City Plan Commission (CPC), on March 9, 2017, voted 5-2 to recommend **DENIAL** of the special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site with a modified setback distance from a residential zoning district from the required three feet for every one foot of height to two feet for every one foot of height by El Paso City Code Section 20.10.455.E.

The CPC found that the special permit did not find that the three criteria for the waiver were met.

The Planning Division has received ten emails, one letter and a petition with 23 signatures in opposition to the special permit request. Three people spoke in opposition at the City Plan Commission meeting.

Property Owner: Jesse Salom Family Limited Partnership
Applicant: Global Signal Acquisitions IV, LLC d/b/a Crown Castle International
Representative: Romano & Associates, LLC

Attachments:
Appeal to the City Council
Staff Report
Email of opposition (received after City Plan Commission)
Email of opposition (received after City Plan Commission)

CITY CLERK DEPT.

2017 MAR 20 AM 9: 45 **APPEAL TO THE CITY COUNCIL**

March 20, 2017

Honorable Mayor and City Council
City of El Paso
801 Texas Avenue
El Paso, TX 79901

**RE: PZST16-00030 PZST16-00030 Crown Castle/Verizon Wireless PWSF at 1513
Sun Bowl Drive**

Honorable Mayor and City Council:

Our firm represents Crown Castle International (the "Applicant"). After a public hearing held on March 9, 2017, the City Plan Commission denied Applicant's request for modified setbacks to a Ground-Mounted Personal Wireless Facility in a C-2 zone at 1513 Sun Bowl Drive legally described as:

**Portion of Lots 18-½ to 20, Block 12, Mundy Heights Addition, City of
El Paso, El Paso County, Texas**

Applicant hereby requests the City Council to review the decision of the City Plan Commission and consider the request set out above. I am attaching a letter setting forth the reasons for believing their decision to be in error.

Very truly yours,

/s/ Michael Hutson

Michael Hutson
Ainsa Hutson Hester & Crews, LLP
5809 Acacia Circle
El Paso, TX 79912
Attorney For Applicant

Two (2) copies filed in City Clerk's Office on: March 20, 2017

CITY CLERK DEPT.

2017 MAR 20 AM 9:49

AINSA HUTSON HESTER & CREWS, LLP

ATTORNEYS AT LAW

5809 Acacia Circle · El Paso, Texas 79912

Tel: (915) 845-7864 · Fax: (915) 845-7800

Michael Hutson

Email: mhut@acaciapark.com

March 20, 2017

Honorable Mayor and City Council
City of El Paso
801 Texas Avenue
El Paso, TX 79901

RE: PZST16-00030 Crown Castle/Verizon Wireless PWSF at 1513 Sun Bowl Drive (the "Sun Bowl Site").

Honorable Mayor and City Council:

Our firm has been engaged to represent Crown Castle International (the "applicant") regarding the application for a modified setback for the construction of a Personal Wireless Service Facility ("PWSF"). At its March 9, 2017, meeting, the City Plan Commission voted to deny the above-referenced request submitted by applicant for modified setbacks for the proposed PWSF. When asked the rationale for the denial, the applicant was simply told that its application did not meet the criteria. By way of this letter, the applicant formally appeals this decision pursuant to Chapter 20.04.260 of the municipal code, on the grounds that the City Plan Commission did not properly apply the criteria specified within the code itself for evaluating such requests.

The proposed PWSF is needed to replace a site that existed on the west side of I-10, which was decommissioned and removed for the expansion of the I-10 corridor via TXDOT eminent domain. The decommissioning of this facility left Verizon Wireless with a significant, service-impacting gap in reliable wireless coverage in a high traffic area due to the immediate proximity of the UTEP campus and I-10. Currently, a temporary facility is in operation; however a permanent replacement site capable of covering an identical footprint and handling the high volume of voice and data traffic in this busy area is urgently needed.

Ground-Mounted PWSFs are a permitted use in the C-2 zone. As indicated in the Staff Report, the project meets all of the basic criteria for a PWSF. The applicant's application requested modified setbacks due to the difficulties finding a suitable location for the site that adequately replaces the coverage of the decommissioned site. Chapter 20.10.455.E.1.b of the municipal code sets forth three criteria that must be met for such reduced setbacks:

- i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
- ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is used by a third person or entity and located such that the

CITY CLERK DEPT.

2017 MAR 20 AM 9:49

applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

- iii. The applicant cannot use another PWSF antenna support structure that is located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas.

The applicant submitted specific responses to these questions that demonstrate satisfaction of each of these requirements, detailing its diligence in exhausting all alternatives to the site in question. After more than one year of exploring multiple options, the Sun Bowl site is the only commercially reasonable and technically feasible location available to close the significant gap in coverage and restore adequate service. Chapter 20.10.455.E.1.b of the municipal code only requires consideration of locations that are commercially reasonable and technically feasible to ensure a practical and grounded standard of judgment and to avoid creating barriers to the provision of needed wireless services within the City. The applicant considered all locations available and the Sun Bowl Site is the only commercially reasonable and technically feasible location available.

For the foregoing reasons, the applicant requests that the Council decide upon this appeal, and to rule that the City Plan Commission failed to comply with the municipal code by ruling against applicant's request.

We appreciate your consideration of this appeal.

Very truly yours,

/s/ Michael Hutson
Michael Hutson
Attorney for Applicant



City of El Paso – City Plan Commission Staff Report

REVISED

Case No: PZST16-00030
Application Type: Special Permit
CPC Hearing Date: March 9, 2017
Staff Planner: Jeff Howell, 915-212-1607, howelljb@elpasotexas.gov
Location: 1513 Sun Bowl Drive
Legal Description: Portion of Lots 18-½ to 20, Block 12, Mundy Heights Addition, City of El Paso, El Paso County, Texas
Acreage: 0.05-acre
Rep District: 8
Existing Zoning: C-2 (Commercial)
Existing Use: Church
C/SC/SP/ZBA/LNC: N/A
Request: Special Permit to allow a Personal Wireless Service Facility (PWSF)
Proposed Use: Ground-mounted PWSF
Property Owner: Jesse Salom Family Limited Partnership
Representative: Romano & Associates, LLC

SURROUNDING ZONING AND LAND USE

North: R-4/H (Residential/Historic) / Single-family dwellings
South: C-4/sc (Commercial/special contract) / Bus rental
East: C-2/H (Commercial/Historic) / Single-family dwellings, Gas Station
West: M-2 (Manufacturing) / Interstate

PLAN EL PASO DESIGNATION: G-2, Traditional Neighborhood (Walkable) (Central Planning Area)

NEAREST PARK: Mundy Park (1,145 feet)

NEAREST SCHOOL: Vilas Elementary School (2,081 feet)

NEIGHBORHOOD ASSOCIATIONS

Sunset Heights Neighborhood Association

El Paso Central Business Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on February 22, 2017. The Planning Division has received ten emails, one letter and a petition with 23 signatures in opposition to the special permit request.

APPLICATION DESCRIPTION

The applicant is requesting a special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site with a modified setback distance from a residential zoning district from the required three feet for every one foot of height to two feet for every one foot of height as required by El Paso City Code Section 20.10.455.E. The site plan shows a 2,470 sq. ft. lease area for a 67'-2" high structure with antennas and service equipment enclosure. The antennas and support structure will be camouflaged to resemble a tower similar to those found closer to the UTEP campus along Interstate 10, while the equipment will be screened by a wrought-iron fence within the lease area. The proposed PWSF meets PWSF separation and height requirements for location in a commercial district. The applicant opted to request a landscape buyout as permitted by the landscaping ordinance for PWSF facilities. Two nearest PWSF are 0.66 miles to the northeast and is located on Franklin Street and 0.67 miles to the northeast and is located on Oregon. An access easement within a driveway is proposed from Yandell Drive.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.10.455 PWSF, 20.04.320, Special Permit, and 20.04.150, Detailed Site Development Plan.

ANALYSIS

20.10.455 Personal Wireless Service Facility (PWSF)

E. C-1, C-2 and P-C Commercial Districts, S-D Special Development.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:

a. Setbacks.

i. A setback of three feet for each foot of height, measured from the PWSF antenna support structure base to any abutting property line of property in a residential or apartment zoning district, shall be required. In the case where a right-of-way or easement separates the property from a residential or apartment district, the width of such right-of-way or easement shall be included in meeting the setback requirement; provided, however, the setback from any abutting property line of property in a residential or apartment district shall never be less than one foot for each foot of height, measured from the PWSF antenna support structure base.

ii. When the property in which the PWSF is located abuts a parcel of land that is not in a residential or apartment zoning district, a setback of one foot for each foot of height, measured from the PWSF antenna support structure base to that property line, shall be required.

b. Modified Setbacks. The setback set forth in subsection (E)(1)(a)(i) may be reduced, but not below the following: one foot setback for each foot of height if the structure height is fifty feet or less; and two feet setback for each foot of height if the structure height is greater than fifty feet but no greater than seventy-five feet; if the city council, based on written evidence provided by the applicant, finds that:

i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is used by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

iii. The applicant cannot use another PWSF antenna support structure that is located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas.

The applicant has submitted proof that all 3 findings have been met, (see attachment 6).

g. Camouflage and Screening.

i. All Ground-Mounted PWSF Shall be Camouflaged. Camouflaging is a method of disguising or concealing the appearance of an object by changing its usual color, modifying its shape, or locating it in a structure that complements the natural setting, existing and surrounding structures. In the context of this section, camouflaging

includes, but is not limited to, making PWSF antenna support structures resemble man-made trees, locating PWSF antenna support structures in bell steeples or clock towers, or on similar alternative-design mounting structures.

ii. Metallic surfaces shall be painted to reduce glare and reflections. No exterior paint colors shall be used which have a light reflecting value (LRV) greater than forty percent. The LRV of a paint is available from paint manufacturers and it measures the amount of light reflected by a certain color.

iii. Screening of antennas on PWSF antenna support structures may include the use of existing parapets, walls, or similar architectural elements provided that it is painted and texturized to integrate with the architecture of the surrounding structure.

iv. Landscaping shall comply with all code requirements for landscaping.

h. Other Requirements. The following must accompany a request for a building permit:

i. A detailed plan showing the PWSF antenna support structure, antennas and equipment in relation to the surroundings including screening, fencing, camouflage, off-street parking, and access from the PWSF antennas support site to the nearest public street;

ii. A verification letter that all required FAA and FCC approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available upon request;

iii. Satisfactory completion of a certification of compliance for personal wireless service providers issued by the public safety technology office prior to actual use of the proposed facility accompanied by a verification letter that all required Federal Aviation Administration (FAA) and Federal Communications Commission (FCC) approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant; and

iv. The design of related support structures for new PWSF antenna support structures shall incorporate materials, colors, textures, screening, or camouflaging techniques that will blend them to the extent reasonably possible into the natural setting, existing and surrounding structures. The applicant will be required to provide photographs of predevelopment views versus post-development illustrations, at ninety-degree angles for a full three hundred sixty-degree radius, shown to scale. The building official shall review and consider any of the five items above to mitigate negative visual impacts created by the proposed PWSF antenna support structure and may require reasonable revisions necessary to bring the application into compliance with one or more of the five items above.

i. A six-foot high screening fence or wall of other than chain-link shall be constructed around the base of a PWSF antenna support structure to provide for security. The gate which provides access to the PWSF antenna support structure shall remain locked at all times except when being used for access by maintenance personnel.

j. The access driveway and off-street parking space for use by maintenance vehicles shall be paved as approved by the building official.

The application meets the requirements for PWSF.

20.04.320 Special permit approvals.

- A. Building and occupancy permits shall not be issued to any building or use identified in this title as requiring a special permit until after approval of such special permit by the city council.
- B. Building and occupancy permits shall not be issued for any building or use identified in this title as requiring an approved detailed site development plan as required by Article III, until such approval has been granted.
- C. No building or occupancy permit may be granted for the erection, rehabilitation, enlargement or demolition of any building in a designated historic area or for any building that is a designated historic landmark until prior approval has been granted by the historic landmark commission.
- D. The city council, after hearing and report by the city plan commission, may approve a special permit upon a finding that the proposed development meets the following minimum requirements necessary to protect the public health, safety and general welfare of the community:
 - 1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located; complies with any special standards applicable to the particular type of development being proposed, or to the particular area in which the development is proposed; complies with any special approvals required in connection with such development or area;
 - 2. The proposed development is in accordance with and in furtherance of the plan for El Paso, any special neighborhood plans or policies adopted by the city regarding the development area, or any approved concept plan;
 - 3. The proposed development is adequately served by and will not impose an undue burden upon the public improvements and rights-of-way by which it will be served or benefited, or which exist or are planned for installation within its boundaries or their immediate vicinity. A traffic impact study may be required to determine the effects of the proposed development on the public rights-of-way;
 - 4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development;
 - 5. The design of the proposed development mitigates substantial environmental problems;
 - 6. The proposed development provides adequate landscaping and/or screening where needed to reduce visibility to adjacent uses;
 - 7. The proposed development is compatible with adjacent structures and uses;
 - 8. The proposed development is not materially detrimental to the enjoyment or valuation of the property adjacent to the site.
- E. The applicant may request that the city plan commission waive one or more of the criteria based on its no applicability to the proposed development. The city plan commission, upon a recommendation of the planning official, shall make a determination on the no applicability of the criteria and shall render a finding based on such determination, and shall forward their recommendation to city council for final review and approval.

The application meets the requirements for special permit.

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Detailed Site Development Plan review is required as part of the special permit application.

20.04.150 Procedure.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.
1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
 2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
 3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and storm water drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
 4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
 5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff has reviewed the detailed site development plan, and verified that it meets all requirements of Sections 20.04.320, Special Permit, and 20.04.150 Detailed Site Development Plan.

Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-2, Traditional Neighborhood (Walkable): This sector includes the remainder of central El Paso as it existed through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in this Comprehensive Plan.

The purpose of the C-2 (Commercial) district is to provide for establishments providing goods or rendering services which are used in support of the community's trade and service establishments and serving multi-neighborhoods. It also permits intensities designed to be compatible with each other and to provide for a wide range of types of commercial activity, including light automobile related uses.

COMMENTS:

Texas State Historic Commission-SHPO

Thank you for the updated photo simulations provided on September 7, 2016 showing an example of the array stealth option developed in consultation with the City of El Paso. It is of the opinion of the Texas Historical Commission (THC) that the option provided reflects local artisanal tradition and is, therefore, an agreeable solution to minimize the impact of the visual effects of the proposed project.

Texas SHPO finds that the final design for the Sun Bowl tower, as reviewed in a letter dated September 8, 2016, has no adverse effect on historic properties. No further consultation for this project is needed, provided there are not any further modifications to the tower design.

City of El Paso- Historic Preservation

Parcel located in historic district, however the cell tower will be located outside the boundary of the historic district.

Planning and Inspections Department – Planning Division - Transportation

No objections to the special permit request.

Planning and Inspections Department – Plan Review

No objections to proposed special permit.

At the time of submittal for building permits the project will need to comply with all applicable provisions of the IBC, Municipal Code, and TAS.

Planning and Inspections Department - Landscaping Division

No objection to proposed special permit per submitted landscape buyout letter.

Planning and Inspections Department - Land Development

1. No objections to proposed special permit for PWSF.
2. Approval of the site plans by CPC constitutes a determination that the applicant is in compliance with the minimum provisions. Applicant is responsible for the adequacy of such plans, insuring that stormwater is in compliance with ordinances, codes, DSC, and DDM. Failure to comply may require the applicant to seek re-approval of the site plans from CPC.

Texas Department of Transportation

TxDOT approves this request and our utilities section as well as the ROW section have been working with the PWSF (cell tower) representatives to relocate the temporary tower currently on TxDOT ROW. TxDOT is requesting everyone involved to expedite the approval of this relocation.

Fire Department

EPFD has no objections.

Sun Metro

Sun Metro does not oppose this request.

El Paso Water Utilities

1. EPWater does not object to this request.

Water:

2. There is an existing 12-inch diameter water main extending along Main Street. This water main is available for service.
3. There is an existing 6-inch diameter water main extending along the Alley between Main Street and Mundy Avenue. This water main is available for service.
4. EPWater records indicate (1) 1-1/2" active service meter on the property with 1501 Sun Bowl Drive as the services address.

Sanitary Sewer:

5. There is an existing 8-inch diameter sanitary sewer main extending along the Alley between Main Street and Mundy Avenue. This main is available for service.

General:

6. EPWater requires a new service application to provide additional services to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and

drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

El Paso Water Utilities-Stormwater Engineering Division

EPW-Stormwater Engineering has reviewed the property described above and has no objections to the request. However, we recommend using principles of low impact & green infrastructure development (such as recessed landscaping, rainwater harvesting, and porous pavements) to reduce the amount of developed stormwater runoff.

El Paso Electric

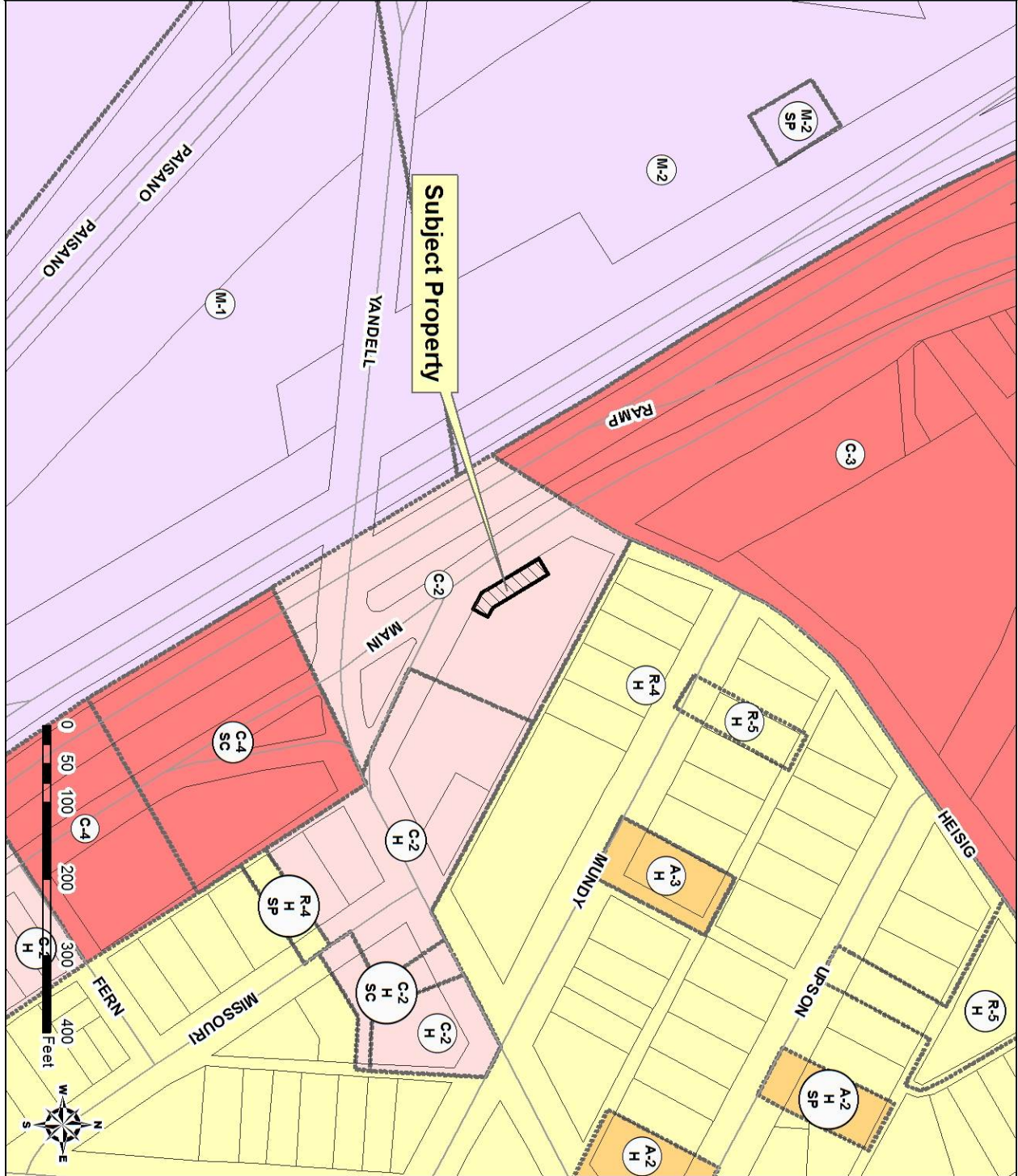
EPE has no comments as there does not appear to be electrical facilities within the area in question.

Attachments

1. Zoning Map
2. Aerial Map
3. Detailed Site Development Plan
4. Simulation Pictures
5. Landscape Buyout Request
6. Findings Analysis
7. Project Purpose Statement
8. Coverage Map
9. Email of Opposition
10. Email of Opposition
11. Email of Opposition
12. Email of Opposition
13. Email of Opposition
14. Email of Opposition
15. Email of Opposition
16. Email of Opposition
17. Email of Opposition
18. Email/Letter of Opposition
19. Letter of Opposition
20. Petition in Opposition

ATTACHMENT 1: ZONING MAP

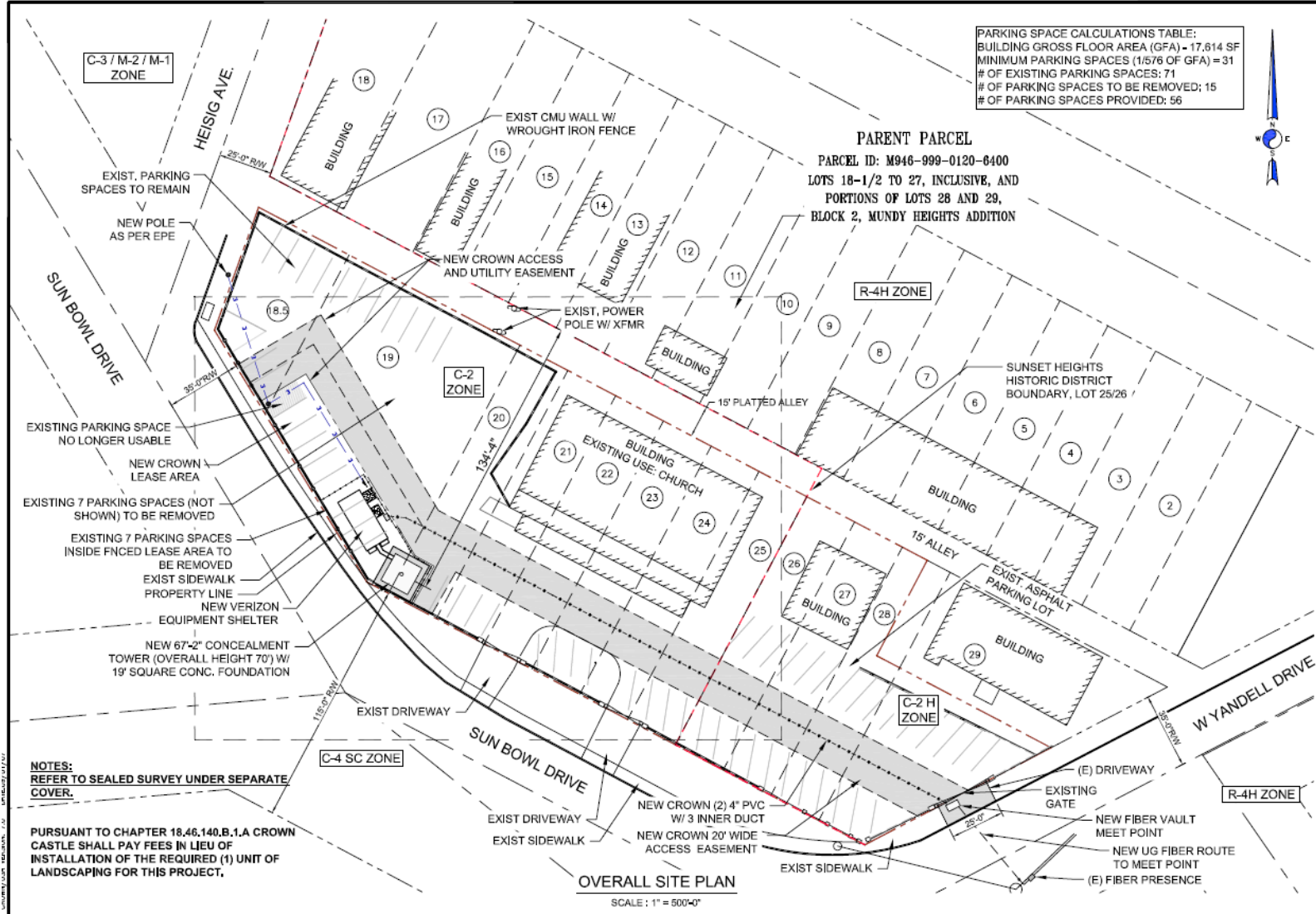
PZST16-00030



PZST16-00030



ATTACHMENT 3: DETAILED SITE DEVELOPMENT PLAN



CROWN CASTLE
 5350 N. 48TH STREET
 SUITE 305
 CHANDLER, AZ 85226

verizon
 4821 EUBANK NE
 ALBUQUERQUE, NM 87111

CLEAR WATER COMMUNICATIONS, INC.
 5327 TIMBER TRAIL
 SAN ANTONIO, TEXAS 78228
 clearwaterengineering@yahoo.com
 REGISTRATION NUMBER
 F-4080

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------------|
| 1 | 11-25-15 | PRELIM REVIEW |
| 2 | 03-12-16 | NEW TOWER DESIGN |
| 3 | 10-25-16 | MODIFIED TOWER DESIGN |
| 4 | 11-2-16 | PC |
| 5 | 12-08-16 | TOWER/COM SHEETS INSERT |
| 6 | 02-02-17 | RED LINES |
| 7 | 02-22-17 | CITY COMMENTS |

DRAWN BY: MJ
 CHECKED BY: MA
 DRAWING DATE: -

CARRIER NAME
 VERIZON

SITE NAME
 SUN BOWL DR./ELP RIM

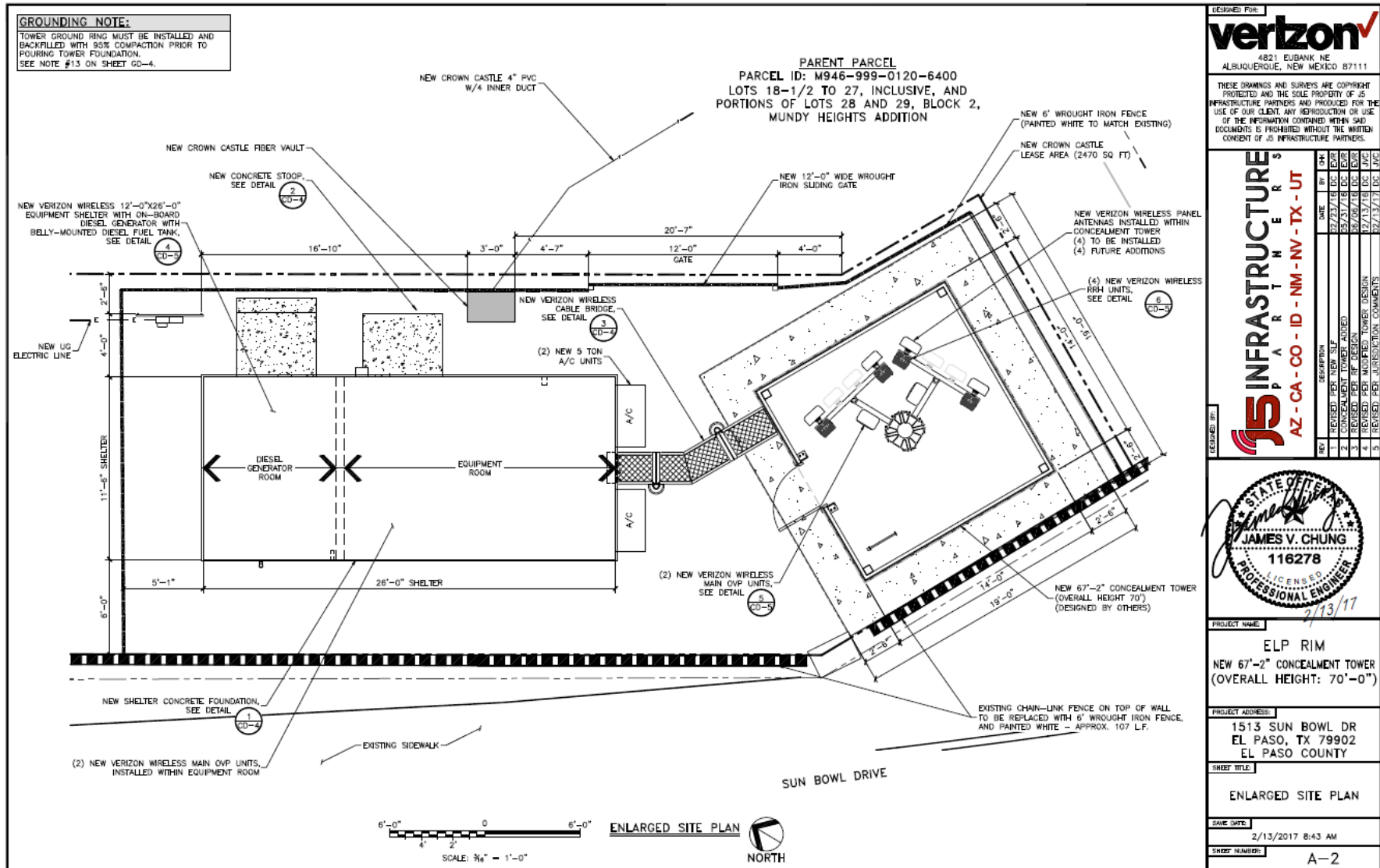
BUSINESS UNIT NUMBER
 821983

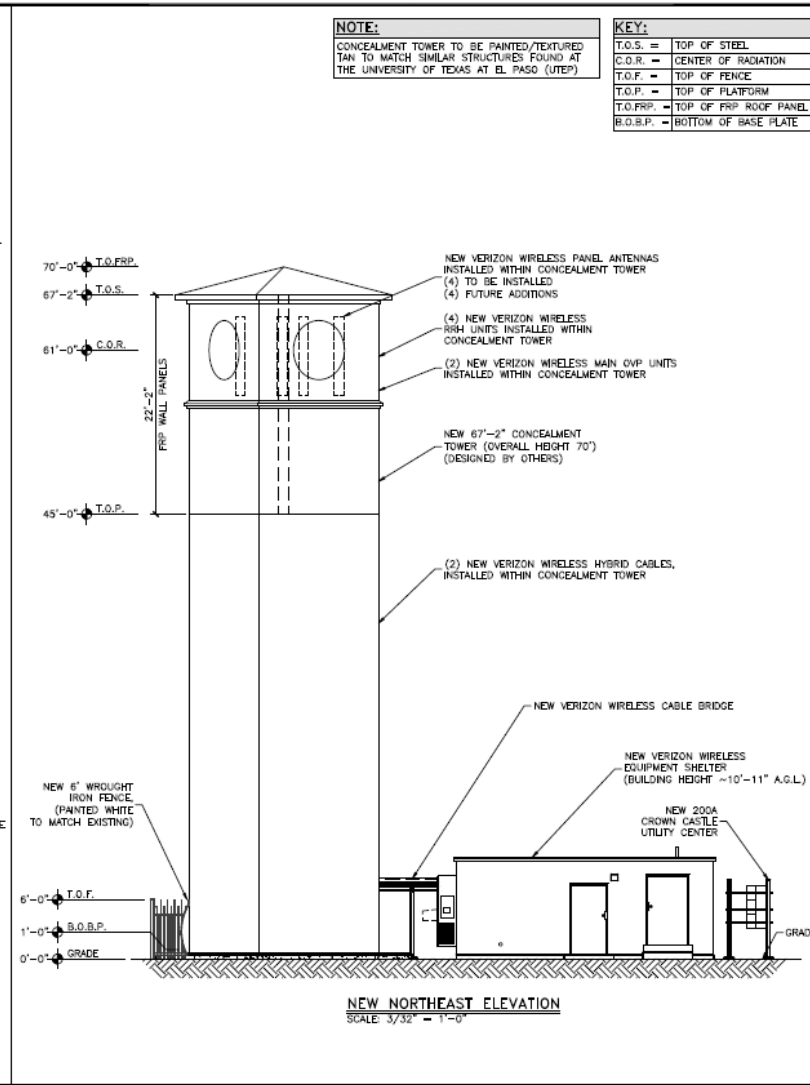
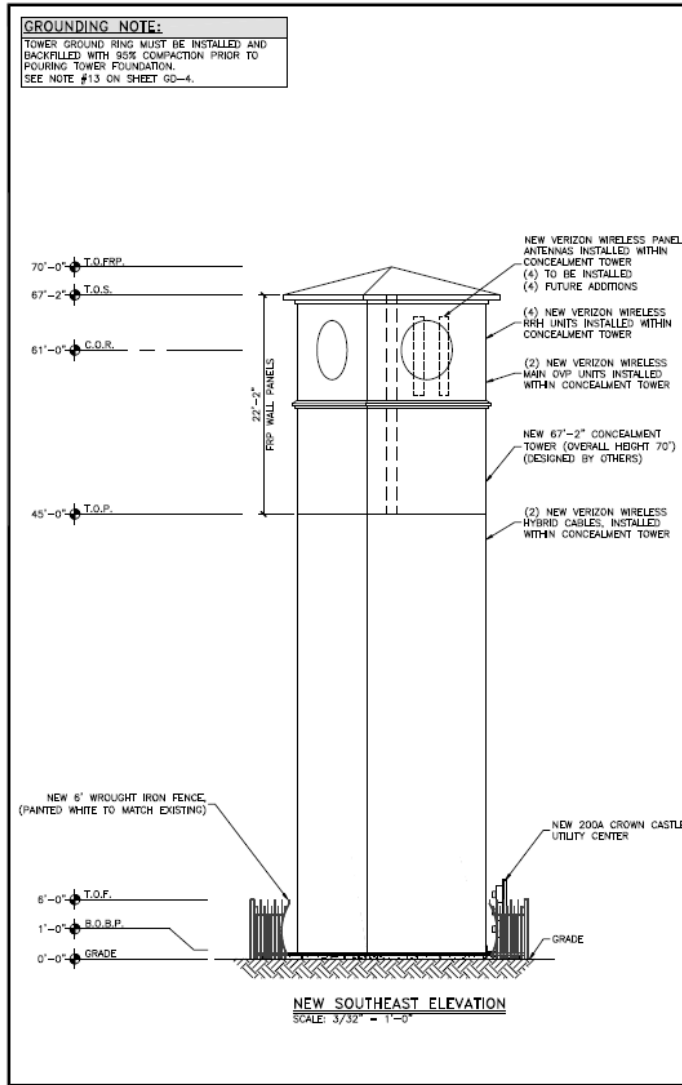
SITE ADDRESS
 1513 SUN BOWL DR.
 EL PASO, TX 79902

SHEET TITLE
 OVERALL SITE PLAN

SHEET NUMBER
 C-1

March 9, 2017





DESIGNED FOR:
verizon
4821 EUBANK NE
ALBUQUERQUE, NEW MEXICO 87111

THESE DRAWINGS AND SURVEYS ARE COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF J5 INFRASTRUCTURE PARTNERS AND PRODUCED FOR THE USE OF OUR CLIENT. ANY REPRODUCTION OR USE OF THE INFORMATION CONTAINED WITHIN SAID DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF J5 INFRASTRUCTURE PARTNERS.

J5 INFRASTRUCTURE PARTNERS
AZ - CA - CO - ID - NM - NV - TX - UT

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|-----------------------------------|----------|----|-----|
| 1 | REVISED PER NEW SET | 07/25/18 | DC | DC |
| 2 | REVISED PER RF DESIGN | 08/08/18 | DC | DC |
| 3 | REVISED PER MODIFIED TOWER DESIGN | 02/13/18 | DC | DC |
| 4 | REVISED PER JURISDICTION COMMENTS | 02/13/17 | DC | DC |

JAMES V. CHUNG
116278
LICENSED PROFESSIONAL ENGINEER
2/13/17

PROJECT NAME:
ELP RIM
NEW 67'-2" CONCEALMENT TOWER (OVERALL HEIGHT: 70'-0")

PROJECT ADDRESS:
1513 SUN BOWL DR
EL PASO, TX 79902
EL PASO COUNTY

SHEET TITLE:
SITE ELEVATION

SAVE DATE:
2/13/2017 8:43 AM

SHEET NUMBER:
A-3

ATTACHMENT 4: SIMULATION PICTURES



EXISTING



PROPOSED



EXISTING



PROPOSED



EXISTING



PROPOSED



EXISTING



PROPOSED



EXISTING



PROPOSED



EXISTING



PROPOSED

ATTACHMENT 5: LANDSCAPE BUYOUT REQUEST



Crown Castle
2055 S. Stearman Drive
Chandler, AZ 85286

December 8, 2016

Jeff Howell, Senior Planner
City of El Paso Planning & Inspections
801 Texas Ave.
El Paso, TX 79901

RE: PZPC15-0185
Crown Castle PWSF Application (821983 Sun Bowl Drive)
1513 Sun Bowl Drive

Dear Mr. Howell:

Pursuant to Chapter 18.46.140.B.1.a of the El Paso Municipal Code, Crown Castle shall pay \$5,000.00 in lieu of installing the required (1) unit of landscaping and irrigation for the proposed unmanned Personal Wireless Service Facility at this location. Crown Castle understands that said payment of \$5,000.00 must be submitted prior to the issuance of the building permit for this site.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Doug Bannion', with a stylized flourish at the end.

Doug Bannion
Portfolio Real Estate Manager – West Area
Crown Castle

ATTACHMENT 6: FINDINGS ANALYSIS

As part of its application, Crown Castle is petitioning City Council to approve a special exception for modified setbacks pursuant to Section 20.10.455.E.1.b of the Municipal Code. The property in question is too narrow to meet the 3:1 setback requirement from the adjacent residentially-zoned property to the northeast. As such, Crown is requesting approval for reduced 2:1 setbacks for an antenna support structure height of 67'-2". Page C-1 of the submitted plans shows the center of the proposed structure 134'-4" from the residential property line.

i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable

Crown Castle investigated several options prior to settling on the 1513 Sun Bowl Drive location:

- The Texas Department of Transportation has assumed control of much of the land in this area but will not allow a permanent site to be installed within its right-of-way nor will it permit the collocation of antennas on its light standards.
- Properties west of I-10 along Paisano Drive were pursued but ultimately disqualified for reasons tied to the historic nature of the area as well as environmental concerns due to its industrial past. While this area has industrial and commercial zoning, several city-designated historic properties exist and the Old Fort Bliss Historic District which is listed on the National Register of Historic Places comprises most of the area west of I-10 and south of Ruhlen Court. Since this land is significantly lower in elevation, a taller structure (100' minimum height, the same as the Ruhlen Court facility) would be required but the Texas Historical Commission would not authorize any facility, concealed or otherwise, due to their impact on the historic properties in the area. In addition, field surveys indicate that soils in this area are contaminated with petroleum and other chemical products due to a long history of industrial activity.
- A site on property owned by the University of Texas was ruled out due to the University's insistence on commercially unreasonable financial terms five times what market rates in this area dictate. In any event, a facility on University property would be directly adjacent to the proposed Sun Bowl Drive facility and face the same historic and design challenges.
- A C-4 commercial property to the along Main between Yandell and Fern is outside the Sunset Heights historic district and has less restrictive set back requirements, but even so the facility would need to be placed along the western edge which would make it equally prominent. In addition, this property is leased in its entirety to a bus company and the owner did not have any interest in working with Crown to place a facility which would interfere with the operations of existing tenants.

Outside of these options, which were considered by Crown prior to pursuing the 1513 Sun Bowl Drive property, there are no other properties in the area suitable for a facility which would provide adequate coverage along the I-10 corridor, onto UTEP campus, and into the Sunset Heights neighborhood. The commercial properties on the SE and SW corners of Yandell and Missouri would entail the same setback issues and camouflage questions as the proposed location and are also within the Sunset Height Historic District. As such, the 1513 Sun Bowl property is the only suitable property reasonably available for use in order to replace the decommissioned Ruhlen Court facility.

ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is used by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable

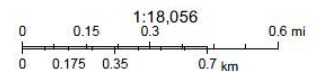
iii. The applicant cannot use another PWSF antenna support structure that is located such that the applicant is able to reasonable serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas.

The nearest existing PWSF antenna support structures are located 0.66 miles to the southeast at 527 Franklin Street and 0.67 miles to the northeast at 1900 Oregon Street. These two existing facilities are not suitable to mitigate the significant gap in service created by the decommission of the Ruhlen Court site. Verizon Wireless has considered these two locations but the topography of the area does not permit signal from these existing sites to seamlessly cover the I-10 corridor. In addition they are not situated in such a manner that would complement Finally, the high volume of voice and data traffic in this area from commuters and students necessitates a dedicated facility in the immediate area as the more distant surrounding sites cannot provide reliable coverage or handle the usage volume. As such, there is no technically feasible manner to provide adequate wireless service in this area other than the proposed facility at 1513 Sun Bowl Drive.

**821983 Sun Bowl Drive
Proposed Ground-Mounted PWSF
1513 Sun Bowl Drive**



December 21, 2016



ATTACHMENT 7: PROJECT PURPOSE STATEMENT

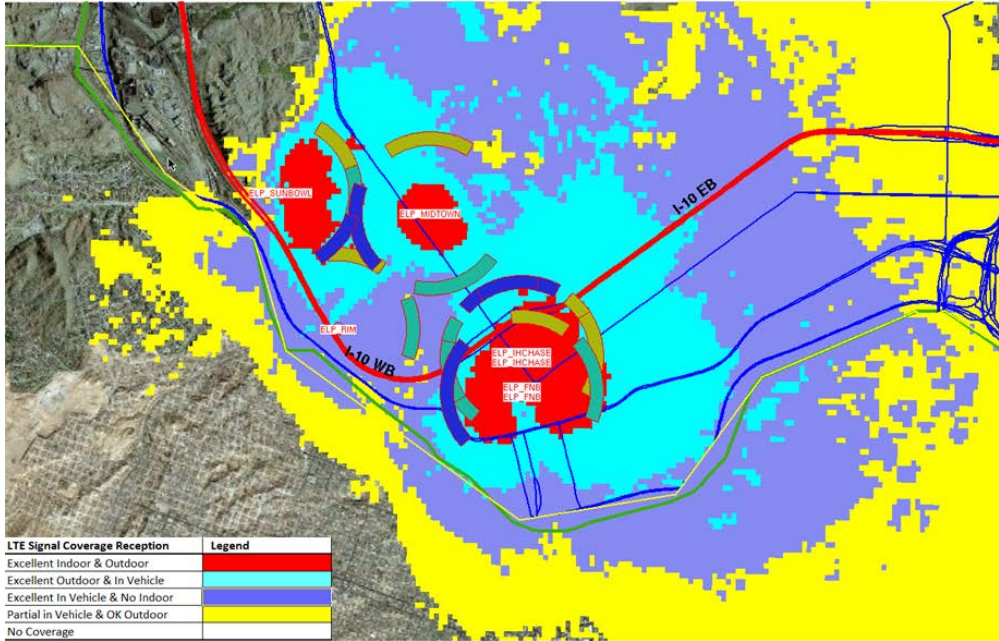
Crown Castle proposes to install a Ground-Mounted PWSF camouflaged as a monument at 1513 Sun Bowl Drive. The antenna support structure would be 67'-2" tall and be enclosed screening material to resemble surrounding architectural features. The entire facility will be situated within an approximately 23' by 52' wrought iron equipment enclosure as depicted in the accompanying engineering drawings and photo simulations. Verizon Wireless would install its antennas on the inside of the structure and its radio equipment within a pre-fabricated shelter to be installed within the Crown enclosure. The facility is designed with additional space to support a second carrier's antennas within the structure and ground equipment within the leased area in the future.

The purpose of this facility is to replace the PWSF that formerly existed at 118 Ruhlen Court on the west side I-10 which was decommissioned and removed because the property has been taken by the Texas Department of Transportation via eminent domain for the expansion of the I-10 corridor through this area. The decommissioning of the Ruhlen Court facility has left Verizon Wireless with a significant, service-impacting gap in reliable radio frequency coverage. The gap would impact students and faculty/staff on the south side of the UTEP campus, residents in the Sunset Heights neighborhood, commuters in both directions along the I-10 corridor west of downtown El Paso, and United States Border Patrol activities in the area. Please refer to the Significant Gap Statement prepared by Verizon Wireless RF Engineer Hamdi Alaaldin for a more detailed of the need for this facility.

This project is of utmost urgency and importance to Crown Castle and Verizon Wireless. Although a temporary facility has been set up in the Texas Department of Transportation right-of-way at the intersection of Main Drive and Yandell Drive, it is imperative that a permanent replacement site for Ruhlen Court site be built as soon as possible or thousands of El Paso residents, students, and commuters will suffer the effects of impaired wireless service along a critical stretch of I-10 and on the UTEP campus and surrounding neighborhoods. The US Border Patrol, a Verizon Wireless customer, will also be affected in this critical area. Crown and Verizon have exhausted all efforts for a suitable alternative in this vicinity due to the City's zoning restrictions, historical properties, and the topography of the area. The proposed PWSF at 1513 Sun Bowl is the last best option to remedy the imminent decommissioning of the temporary facility.

ATTACHMENT 8: COVERAGE MAP

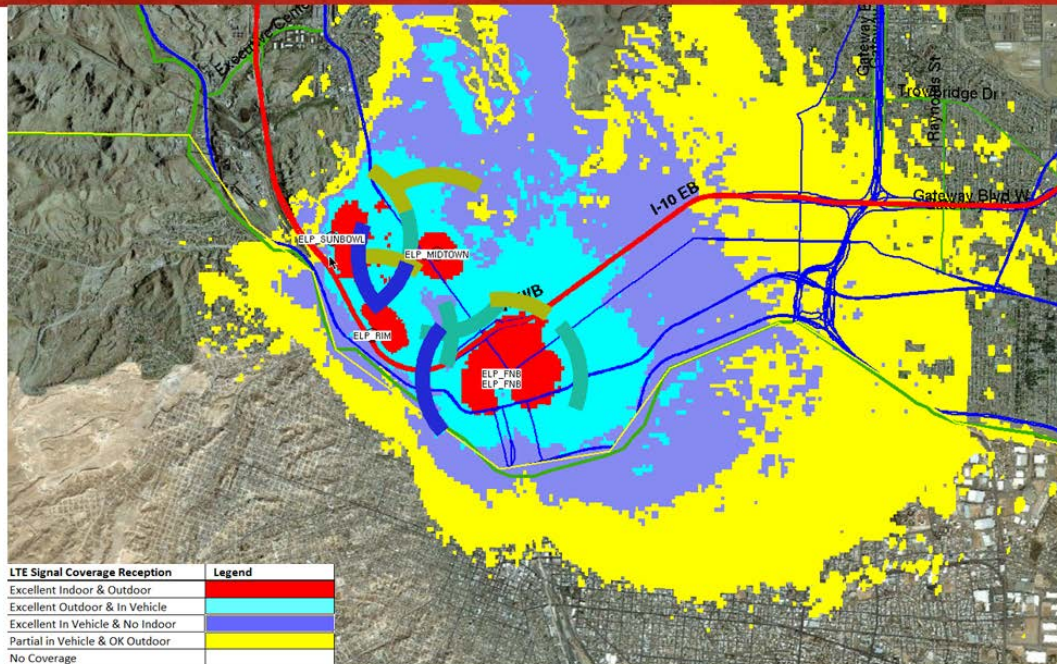
ELP_Rim surrounding sites coverage



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement. 2

EXISTING

ELP_Rim & surrounding sites coverage



Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement. 4

PROPOSED

ATTACHMENT 9: EMAIL OF OPPOSITION

Sent: Tue 3/7/2017 3:42 PM
To: Howell, Jeffrey B.

Dear Mr. Howell,

I have lived in Sunset Heights since the early 1970's. I am active in the Sunset Heights Neighborhood Improvement Association and the annual Tour of Historic Homes. Sunset Heights is among the 1st planned neighborhoods in the country.

I strongly oppose the proposed cell phone tower because we are trying to preserve the architectural integrity of the neighborhood.

As it is, the borders of Sunset Heights are being pushed back by downtown, businesses and UTEP. We are being sandwiched into a smaller and smaller footprint. While Sunset Heights welcomes the streetcar project bringing in the historical element of our early transit system, we DO NOT desire a cell phone tower.

One of the most impressive features of Sunset Heights is that we have a view of another country, which is rare and unique. Now with the proposed new cell phone tower, not only does it not blend in, in any way shape or form, it ruins the view of Juarez and our historic neighborhood.

Thank you for your consideration in stopping this proposed cell phone tower project.

Sincerely,

Hal Marcus

1319 N. Oregon

920-8133

ATTACHMENT 10: EMAIL OF OPPOSITION

Sent: Tue 3/7/2017 3:57 PM

To: Howell, Jeffrey B.

Dear Mr. Howell,

As a resident of Sunset Heights I oppose the new cell phone tower project in our neighborhood.

As an active member of the Sunset Heights Neighborhood Improvement Association we look to enhance the historical aspects of our neighborhood.

A 60 foot cell phone tower detracts from the historical nature of Sunset Heights.

Sunset Heights Neighborhood Improvement Association is strong.

Please share our voice loud and clear to any developers looking at us as an easy mark in an old neighborhood.

Thank you for your consideration.

Patricia Medici
1319 N. Oregon
526-7590

ATTACHMENT 11: EMAIL OF OPPOSITION

Sent: Tue 3/7/2017 5:13 PM
To: Howell, Jeffrey B.

Mr. Howell and City Plan Commission:

As a resident of a home built in 1908 I concur with the letter below written by Sito Negron, President of the Sunset Heights Neighborhood Improvement Association regarding our historic Sunset Heights Neighborhood and the cell tower proposal.

Thank you for your work on behalf of the City of El Paso. Perhaps more than anyone, you are keepers of the vision, safeguarding the work begun with the seminal City Plan of 1925. Particularly important to your work is protecting the integrity of our great neighborhoods, and ensuring that new ones match the careful design and spirit of the classic, pre-war city core in terms of serving both the immediate residents and the city as a whole. We all share the same desire - a healthy city both inside and out - and healthy neighborhoods, whatever their design characteristics, are an essential building block.

You are now reviewing an application for a cell tower in historic Sunset Heights, one of the city's first suburban neighborhoods, adjacent to Downtown El Paso and in the midst of a renewal. We are proud of our diversity of incomes, occupations, and ages, supporting homeowners and renters, professors and students, engineers and laborers, and everything in between. We aim to keep that while steadily reversing decades of slow deterioration in some of the structures.

The City's investment has helped. From the new playground at Mundy Park to the Trolley that will soon define the eastern edge of our neighborhood, Sunset Heights is on the rise. We appreciate this effort, which we have been part of, from renewing our work with relevant City departments to putting our own "skin in the game" in the form of volunteer hours for such projects as neighborhood cleanups and the Sunset Heights Tour of Homes.

Additionally, the City is investing in the entirety of the city core. The Trolley is but one example of the work not only specifically for Downtown but also in the surrounding neighborhoods. In addition to the City's investments in the downtown core, I-10 will be reconstructed soon, which will include highway aesthetics. UTEP, as well, has undergone a transformation, which includes highly visible public art (the Cloud).

With this as context, SHNIA is of the opinion that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

While the applicant's representative has come a long way from the initial design, for which we appreciate the work of City staff and the applicant representative, we are still concerned that 1) what it looks like on paper may not translate into reality, and 2) the scale.

This is a 60-foot tower, by far the largest structure around, and it sets a tone for the neighborhood. With careful placement and design such an object might add value. But this does not hit the mark. Aside from the question about the materials and design, the location, on the edge of the neighborhood and awkwardly placed in a parking lot, will not fool anyone into thinking that it belongs there.

Simply put, in our opinion, this product does not add value to the neighborhood. This is bigger than just Sunset Heights. Aside from the question of the aesthetic value, there is the larger question of how neighborhoods develop, and what say they have in major issues that affect them. How we are heard on this is an important indicator of how we and other neighborhoods will be heard in the future on major development issues. And make no mistake - this is a major issue. The tower, once placed, will certainly be there for perpetuity, limiting the potential of that property, and of the neighborhood as a whole.

Regarding the technical and zoning aspects, the tower is to be placed on a lot that is partially in the historic district and partially out of it. It is on the portion of the lot that is outside the district. Typically, a cell tower must have a 3-1 ratio distance from the closest home - 3 feet of setback for every foot of height. In this case, the applicant's representative is asking for a 2-1 setback. So they are asking for a waiver from the rules in order to place a tower in our neighborhood.

City code allows them to request this, and allows but does not require for it to be granted, if they meet certain requirements regarding whether they looked for other locations, and whether this location offers a benefit that cannot be gained from a different location.

We are a volunteer neighborhood group. The tower is being requested for Verizon by Crown Castle. They have been working on this for a long time, perhaps a year, and have significant expertise and brainpower that we cannot match. Nonetheless, we have significant questions about the due diligence performed, and whether they have met the qualifications to request this waiver.

Our concern is that in the end, they saw this as a cheaper alternative in a neighborhood that did not have the muscle to stop it. The benefits of a long-term lease will definitely accrue to the tower owner/operator, and to the person who is leasing them property. There can be no question about that.

There is little benefit that we can assess to the neighborhood, and we're not even certain there's a technical benefit to be gained for the rest of the city, although we understand that certainly will be argued.

Thank you for your consideration of our neighborhood request. Great cities are made up of great neighborhoods, and with all due respect to the other great neighborhoods in El Paso, we believe Sunset Heights is the greatest neighborhood of all. We appreciate your support to help us keep it that way.

Regards,

Sito Negron
President
Sunset Heights Neighborhood Improvement Association

Margie

ATTACHMENT 12: EMAIL OF OPPOSITION

Sent: Tue 3/7/2017 6:47 PM

To: Howell, Jeffrey B.

Dear City Plan Commission:

Thank you for your work on behalf of the City of El Paso. Perhaps more than anyone, you are keepers of the vision, safeguarding the work begun with the seminal City Plan of 1925. Particularly important to your work is protecting the integrity of our great neighborhoods, and ensuring that new ones match the careful design and spirit of the classic, pre-war city core in terms of serving both the immediate residents and the city as a whole. We all share the same desire - a healthy city both inside and out - and healthy neighborhoods, whatever their design characteristics, are an essential building block.

You are now reviewing an application for a cell tower in historic Sunset Heights, one of the city's first suburban neighborhoods, adjacent to [Downtown El Paso](#) and in the midst of a renewal. We are proud of our diversity of incomes, occupations, and ages, supporting homeowners and renters, professors and students, engineers and laborers, and everything in between. We aim to keep that while steadily reversing decades of slow deterioration in some of the structures.

The City's investment has helped. From the new playground at Mundy Park to the Trolley that will soon define the eastern edge of our neighborhood, Sunset Heights is on the rise. We appreciate this effort, which we have been part of, from renewing our work with relevant City departments to putting our own "skin in the game" in the form of volunteer hours for such projects as neighborhood cleanups and the Sunset Heights Tour of Homes.

Additionally, the City is investing in the entirety of the city core. The Trolley is but one example of the work not only specifically for Downtown but also in the surrounding neighborhoods. In addition to the City's investments in the downtown core, I-10 will be reconstructed soon, which will include highway aesthetics. UTEP, as well, has undergone a transformation, which includes highly visible public art (the Cloud).

With this as context, SHNIA is of the opinion that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

While the applicant's representative has come a long way from the initial design, for which we appreciate the work of City staff and the applicant representative, we are still concerned that 1) what it looks like on paper may not translate into reality, and 2) the scale.

This is a 60-foot tower, by far the largest structure around, and it sets a tone for the neighborhood. With careful placement and design such an object might add value. But this does not hit the mark. Aside from the question about the materials and design, the location, on the edge of the neighborhood and awkwardly placed in a parking lot, will not fool anyone into thinking that it belongs there.

Simply put, in our opinion, this product does not add value to the neighborhood. This is bigger than just Sunset Heights. Aside from the question of the aesthetic value, there is the larger question of how neighborhoods develop, and what say they have in major issues that affect them. How we are heard on this is an important indicator of how we and other neighborhoods will be heard in the future on major development issues. And make no mistake - this is a major issue. The tower, once placed, will certainly be there for perpetuity, limiting the potential of that property, and of the neighborhood as a whole.

Regarding the technical and zoning aspects, the tower is to be placed on a lot that is partially in the historic district and partially out of it. It is on the portion of the lot that is outside the district. Typically, a cell tower must have a 3-1 ratio distance from the closest home - 3 feet of setback for every foot of height. In this case, the applicant's representative is asking for a 2-1 setback. So they are asking for a waiver from the rules in order to place a tower in our neighborhood.

City code allows them to request this, and allows but does not require for it to be granted, if they meet certain requirements regarding whether they looked for other locations, and whether this location offers a benefit that cannot be gained from a different location.

We are a volunteer neighborhood group. The tower is being requested for Verizon by Crown Castle. They have been working on this for a long time, perhaps a year, and have significant expertise and brainpower that we cannot match. Nonetheless, we have significant questions about the due diligence performed, and whether they have met the qualifications to request this waiver.

Our concern is that in the end, they saw this as a cheaper alternative in a neighborhood that did not have the muscle to stop it. The benefits of a long-term lease will definitely accrue to the tower owner/operator, and to the person who is leasing them property. There can be no question about that.

There is little benefit that we can assess to the neighborhood, and we're not even certain there's a technical benefit to be gained for the rest of the city, although we understand that certainly will be argued.

Thank you for your consideration of our neighborhood request. Great cities are made up of great neighborhoods, and with all due respect to the other great neighborhoods in El Paso, we believe Sunset Heights is the greatest neighborhood of all. We appreciate your support to help us keep it that way.

Regards,

Brenda J. Sotomayor
Sunset Heights Neighborhood Improvement Association

ATTACHMENT 13: EMAIL OF OPPOSITION

Sent: Wed 3/8/2017 10:38 AM
To: Howell, Jeffrey B.

Dear City Plan Commission:

Thank you for your work on behalf of the City of El Paso. Perhaps more than anyone, you are keepers of the vision, safeguarding the work begun with the seminal City Plan of 1925. Particularly important to your work is protecting the integrity of our great neighborhoods, and ensuring that new ones match the careful design and spirit of the classic, pre-war city core in terms of serving both the immediate residents and the city as a whole. We all share the same desire - a healthy city both inside and out - and healthy neighborhoods, whatever their design characteristics, are an essential building block.

You are now reviewing an application for a cell tower in historic Sunset Heights, one of the city's first suburban neighborhoods, adjacent to Downtown El Paso and in the midst of a renewal. We are proud of our diversity of incomes, occupations, and ages, supporting homeowners and renters, professors and students, engineers and laborers, and everything in between. We aim to keep that while steadily reversing decades of slow deterioration in some of the structures.

The City's investment has helped. From the new playground at Mundy Park to the Trolley that will soon define the eastern edge of our neighborhood, Sunset Heights is on the rise. We appreciate this effort, which we have been part of, from renewing our work with relevant City departments to putting our own "skin in the game" in the form of volunteer hours for such projects as neighborhood cleanups and the Sunset Heights Tour of Homes.

Additionally, the City is investing in the entirety of the city core. The Trolley is but one example of the work not only specifically for Downtown but also in the surrounding neighborhoods. In addition to the City's investments in the downtown core, I-10 will be reconstructed soon, which will include highway aesthetics. UTEP, as well, has undergone a transformation, which includes highly visible public art (the Cloud).

With this as context, SHNIA is of the opinion that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

While the applicant's representative has come a long way from the initial design, for which we appreciate the work of City staff and the applicant representative, we are still concerned that 1) what it looks like on paper may not translate into reality, and 2) the scale.

This is a 60-foot tower, by far the largest structure around, and it sets a tone for the neighborhood. With careful placement and design such an object might add value. But this does not hit the mark. Aside from the question about the materials and design, the location, on the edge of the neighborhood and awkwardly placed in a parking lot, will not fool anyone into thinking that it belongs there.

Simply put, in our opinion, this product does not add value to the neighborhood. This is bigger than just Sunset Heights. Aside from the question of the aesthetic value, there is the larger question of how neighborhoods develop, and what say they have in major issues that affect them. How we are heard on this is an important indicator of how we and other neighborhoods will be heard in the future on major development issues. And make no mistake - this is a major issue. The tower, once placed, will certainly be there for perpetuity, limiting the potential of that property, and of the neighborhood as a whole.

Regarding the technical and zoning aspects, the tower is to be placed on a lot that is partially in the historic district and partially out of it. It is on the portion of the lot that it outside the district. Typically, a cell tower must have a 3-1 ratio distance from the closest home - 3 feet of setback for every foot of height. In this case, the applicant's representative is asking for a 2-1 setback. So they are asking for a waiver from the rules in order to place a tower in our neighborhood.

City code allows them to request this, and allows but does not require for it to be granted, if they meet certain requirements regarding whether they looked for other locations, and whether this location offers a benefit that cannot be gained from a different location.

We are a volunteer neighborhood group. The tower is being requested for Verizon by Crown Castle. They have been working on this for a long time, perhaps a year, and have significant expertise and brainpower that we cannot match. Nonetheless, we have significant questions about the due diligence performed, and whether they have met the qualifications to request this waiver.

Our concern is that in the end, they saw this as a cheaper alternative in a neighborhood that did not have the muscle to stop it. The benefits of a long-term lease will definitely accrue to the tower owner/operator, and to the person who is leasing them property. There can be no question about that.

There is little benefit that we can assess to the neighborhood, and we're not even certain there's a technical benefit to be gained for the rest of the city, although we understand that certainly will be argued.

Thank you for your consideration of our neighborhood request. Great cities are made up of great neighborhoods, and with all due respect to the other great neighborhoods in El Paso, we believe Sunset Heights is the greatest neighborhood of all. We appreciate your support to help us keep it that way.

Regards,
Yelena Kapilevich
Resident of Sunset Heights and member of SHNA

ATTACHMENT 14: EMAIL OF OPPOSITION

Sent: Wed 3/8/2017 5:22 PM
To: Howell, Jeffrey B.
Cc: Rik Villarreal

Dear Mr. Howell,

I hope my email finds you well, Sir, and thank you for the work that you do in our great City of El Paso and our for our neighborhoods.

The reason for my communication today, is in regards to the proposed application for the installation of a cell tower in our incredible and historic neighborhood of Sunset Heights, which we consider a corridor to downtown El Paso.

My husband and I live in Sunset Heights and are very concerned that the cell tower has little or no benefit to our neighborhood. We feel that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

Thank you for your consideration of our concerns in this matter. Sunset Heights is one awesome neighborhood with great potential to enhance the city even more than it already does and we are excited to be part of that.

Best regards,
Donna and Rik Villarreal
Concerned Citizens of Sunset Heights Neighborhood

ATTACHMENT 15: EMAIL OF OPPOSITION

Sent: Wed 3/8/2017 4:26 PM

To: Howell, Jeffrey B.

Dear Mr. Howell,

Please know that I, as a resident of Sunset Heights, am opposed to the waiving of normal restrictions on the location of cell towers in order for Verizon to place a tower on the edge of our historic neighborhood. The aesthetic damage is real. The city has worked hard and invested a great deal of money into improving the aesthetic appeal of the downtown area and other city locations, while UTEP has followed suit to design one of the most beautiful university campuses in the nation. Why allow Verizon to now impose on us a crass commercial tower, of 60 feet, and of very questionable value to any El Paso resident, but of fine value to the powerful business interests who will gain by expansion, and do not live here?

My family has owned property in Sunset Heights since 1970, and I find the imposition of the tower, without regard to the opinion or position of local residents impacted by its ugly shadow and profile, to be offensive and distressing. The Sunset Hts. Neighborhood Improvement Association, which I serve currently as secretary, has struggled for months to have our voice heard on this issue. The decision making process has been obscure and we have not felt any interest from the city regarding our position.

This is the larger issue, beyond aesthetic concerns here on this unusual site, a place of historic juxtaposition of the US and Mexico, a site that truly makes El Paso one of the most unique border towns in the country. The larger issue is that residents feel, at least I do, that the city is running rough shod over residential interests, in order to serve commercial interests.

We do not want this tower here, the design is ugly, jarring, and will not minimize the intrusion, and we do not believe the tower needs to be here. The established rules should certainly not be waived in order to accommodate the intrusion of this commercial structure, which will limit future planning for this site. Please do not support this project.

Thank you for your time,
Mary C.D. Wells
Homeowner & Taxpayer
1423 Hawthorne St.

ATTACHMENT 16: EMAIL OF OPPOSITION

Sent: Wed 3/8/2017 9:16 PM
To: Howell, Jeffrey B.

Dear City Plan Commission:

It is our understanding that you will be reviewing an application for a cell tower in historic Sunset Heights. We have lived in Sunset Heights for the last ten years, and we both have offices in downtown El Paso. We have remodeled two historic homes in Sunset Heights, one of which is our current home at 1100 Los Angeles. The home was built by Henry Trost in 1904, and we are happy that its rich history is celebrated through a thoughtful renovation.

We see ongoing investment in the neighborhood, including the "repurposed" Vilas Elementary School, other home renovations, and appropriate in-fill development. As development in the city's core continues, we expect further personal investment by those living in the neighborhood and new families who want to live near downtown.

We are writing to personally express our opposition to the proposed cell tower in Sunset Heights. As proposed, it does not meet the standards of historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

While we appreciate the push from City staff for and the applicant's willingness to modify the design of the cell tower, we are still concerned with the design and scale of the proposed tower. As SHNIA has conveyed in their letter, the proposed cell tower is 60 ft tall, which is by far the largest structure around. With careful placement and design, such an object might add value; however, we believe this will have the opposite effect. It could be viewed in such a way that repels interested home owners, causing a divestment in the neighborhood. We also support the technical points of opposition as presented by SHNIA that must be considered.

Thank you for your service and commitment to El Paso,
Beto & Amy O'Rourke

1100 Los Angeles
El Paso, TX 79902
915-497-6754

ATTACHMENT 17: EMAIL OF OPPOSITION

Sent: Thu 3/9/2017 8:05 AM
To: Howell, Jeffrey B.
Cc: sito.negron@gmail.com

Mr. Howell,

The Kern Place Association supports the Sunset Heights Neighborhood Improvement Association in opposition to the proposed cell tower in their historic neighborhood. The proposed 60ft tower will have a 2-1 setback vs the typical 3-1 setback. We are against the granting of this waiver.


We are always concerned with the granting of zoning waivers without soliciting sufficient feedback from the affected neighborhood associations and residents.

Thank you,
Charlie Intebi
President - Kern Place Association

ATTACHMENT 18: EMAIL/LETTER OF OPPOSITION

Sent: Wed 3/8/2017 11:42 AM

To: Howell, Jeffrey B.; District #8

Message  verizon cell tower protest letter.pdf (545 KB)

Dear sir/madam,

Please find attached a protest letter regarding the Verizon cell tower that will be reviewed at the City Plan Commission meeting tomorrow. I have lovingly renovated my home on Upson Drive for the last 6 years. During that time I have been required to adhere to the historical aesthetic requirements set by the city for this neighborhood. As citizens we should not be held to one standard while companies with money and influence are allowed to skirt those same requirements. I am very much opposed to placing a cell tower in/around our neighborhood and ask that you carefully consider what this will do for the aesthetics of our neighborhood.

Thank you in advance for your consideration.

Nadia Powell
655 Upson Drive
El Paso, TX. 79902

March 8, 2017

Dear City Plan Commission:

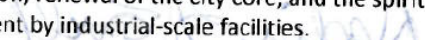
Thank you for your work on behalf of the City of El Paso. Perhaps more than anyone, you are keepers of the vision, safeguarding the work begun with the seminal City Plan of 1925. Particularly important to your work is protecting the integrity of our great neighborhoods, and ensuring that new ones match the careful design and spirit of the classic, pre-war city core in terms of serving both the immediate residents and the city as a whole. We all share the same desire - a healthy city both inside and out - and healthy neighborhoods, whatever their design characteristics, are an essential building block.

You are now reviewing an application for a cell tower in historic Sunset Heights, one of the city's first suburban neighborhoods, adjacent to Downtown El Paso and in the midst of a renewal. We are proud of our diversity of incomes, occupations, and ages, supporting homeowners and renters, professors and students, engineers and laborers, and everything in between. We aim to keep that while steadily reversing decades of slow deterioration in some of the structures.

The City's investment has helped. From the new playground at Mundy Park to the Trolley that will soon define the eastern edge of our neighborhood, Sunset Heights is on the rise. We appreciate this effort, which we have been part of, from renewing our work with relevant City departments to putting our own "skin in the game" in the form of volunteer hours for such projects as neighborhood cleanups and the Sunset Heights Tour of Homes.

Additionally, the City is investing in the entirety of the city core. The Trolley is but one example of the work not only specifically for Downtown but also in the surrounding neighborhoods. In addition to the City's investments in the downtown core, I-10 will be reconstructed soon, which will include highway aesthetics. UTEP, as well, has undergone a transformation, which includes highly visible public art (the Cloud).

With this as context, SHNIA is of the opinion that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.



While the applicant's representative has come a long way from the initial design, for which we appreciate the work of City staff and the applicant representative, we are still concerned that 1) what it looks like on paper may not translate into reality, and 2) the scale.

This is a 60-foot tower, by far the largest structure around, and it sets a tone for the neighborhood. With careful placement and design such an object might add value. But this does not hit the mark. Aside from the question about the materials and design, the location, on the edge of the neighborhood and awkwardly placed in a parking lot, will not fool anyone into thinking that it belongs there.

Simply put, in our opinion, this product does not add value to the neighborhood. This is bigger than just Sunset Heights. Aside from the question of the aesthetic value, there is the larger question of how neighborhoods develop, and what say they have in major issues that affect them. How we are heard on this is an important indicator of how we and other neighborhoods will be heard in the future on major

development issues. And make no mistake - this is a major issue. The tower, once placed, will certainly be there for perpetuity, limiting the potential of that property, and of the neighborhood as a whole.

Regarding the technical and zoning aspects, the tower is to be placed on a lot that is partially in the historic district and partially out of it. It is on the portion of the lot that is outside the district. Typically, a cell tower must have a 3-1 ratio distance from the closest home - 3 feet of setback for every foot of height. In this case, the applicant's representative is asking for a 2-1 setback. So they are asking for a waiver from the rules in order to place a tower in our neighborhood.

City code allows them to request this, and allows but does not require for it to be granted, if they meet certain requirements regarding whether they looked for other locations, and whether this location offers a benefit that cannot be gained from a different location.

We are a volunteer neighborhood group. The tower is being requested for Verizon by Crown Castle. They have been working on this for a long time, perhaps a year, and have significant expertise and brainpower that we cannot match. Nonetheless, we have significant questions about the due diligence performed, and whether they have met the qualifications to request this waiver.

Our concern is that in the end, they saw this as a cheaper alternative in a neighborhood that did not have the muscle to stop it. The benefits of a long-term lease will definitely accrue to the tower owner/operator, and to the person who is leasing them property. There can be no question about that.

There is little benefit that we can assess to the neighborhood, and we're not even certain there's a technical benefit to be gained for the rest of the city, although we understand that certainly will be argued.

Thank you for your consideration of our neighborhood request. Great cities are made up of great neighborhoods, and with all due respect to the other great neighborhoods in El Paso, we believe Sunset Heights is the greatest neighborhood of all. We appreciate your support to help us keep it that way.

Regards,



Nadia Powell

Member

Sunset Heights Neighborhood Improvement Association

ATTACHMENT 19: LETTER OF OPPOSITION

PEARLproperties

1100 Montana, Suite 206
El Paso, TX 79902
915.532.6419
management@pearlelpasso.com
www.pearlelpasso.com

3/7/17

Dear Mr. Howell,

Sunset Heights is the gateway to Downtown and also one of the City's most important historic neighborhoods. The construction of a cell tower would be extremely detrimental to both Sunset Heights and El Paso, as a whole.

Sunset Heights seethes with history. It's the location of outstanding Trost architecture and the Trost Home. Pancho Villa lived at the Alamo Mansion. Villa's neighbors watched battles of the Mexican Revolution unfold from their balconies. And Chinese immigrants barred from the country by the Chinese Exclusion Act clandestinely entered the United States from Mexico through the neighborhoods' network of underground tunnels.

These things matter, especially if El Paso truly aims to revitalize Downtown and become a world-class heritage tourism location, which could be a powerful source of economic development. The City has already invested enormous resources into aesthetics and historic preservation—for example the installation of "The Cloud" at Sun Bowl; the beautification of Union Plaza Train Depot; and the restoration of our historic streetcars, rather than replacing them with less-expensive modern replicas. In anticipation of future tourism, three downtown buildings are being renovated or converted into hotels with support from state and federal tax credits for historic preservation. All City actions should support these revitalization efforts, not undermine them by consigning the edges of Downtown's first suburb to becoming an industrial zone.

Furthermore, the cell tower structure is out of scale with the neighborhood. At sixty feet, it will dwarf everything around it, including the light poles on the highway, and interfere with the historic view of Mexico. City requirements for a 3-1 ratio distance from buildings to cell towers exist for a reason; this setback requirement should not be waived in a valuable residential neighborhood that is visible from I-10 and adjacent to UTEP and Downtown.

Our company owns a number of apartment buildings in the neighborhood, so we have a stake in Sunset Heights' wellbeing. I am also a member of the Public Art Commission and Building and Standards Commission, an advisory board member of the Tom Lea Institute, and I formerly served on the Board of Directors for El Paso Opera, so I am also personally invested in El Paso's success and progress.

If you have any questions, please feel free to call to discuss them with me, my cell number is 915.491.9492 and my email is stefanie@pearlelpasso.com. Thank you for your consideration.

Best regards,



Stefanie Uribarri
General Manager
Pearl Properties

ATTACHMENT 20: PETITION OF OPPOSITION

SUN SET HEIGHTS NEIGHBORHOOD IMPROVEMENT ASSOCIATION

We oppose the construction of a new cell tower and associated facilities in Sunset Heights because:

1. Sunset Heights is more than 100 years old and was one of the first planned subdivisions in the United States;
2. It is adjacent to Downtown El Paso, which the City has focused its resources on redeveloping;
3. As proposed, the 60-foot cell tower structure, located on the edge of the neighborhood and visible to thousands of people who pass on the freeway daily, is not consistent with the neighborhood's unique and historic architecture;
4. The structure, along with generators and other components of the facility, will contribute to the appearance of an industrial zone, undermining the value of Sunset Heights for its residents and the City.

PETITION TO OPPOSE THE CONSTRUCTION OF A NEW CELL TOWER AND ASSOCIATED FACILITIES IN SUNSET HEIGHTS HISTORIC DISTRICT

| Name/Nombre | Address/Direccion | Date/ Fecha | Signature/Firma |
|--------------------------|----------------------|-------------|-------------------|
| Hal MARCUS | 1319 N. Oregon | Jan 18 2017 | Hal Marcus |
| Harry Schulte | 1116 Los Angeles | 1/18/2017 | Harry Schulte |
| Marc Wells | 1423 Hawthorne | 1/18/17 | Marc Wells |
| Luis "Sito" Negron | 501 Randolph | 1/18/17 | Luis Negron |
| Cesar D. Gomez | 1209 RANOCITA | 1/18/17 | Cesar Gomez |
| David Fong | 1429 Fenzel | 1/18/17 | David Fong |
| Margie Margarita Bricker | 1029 Upsan Dr. | 1/18/2017 | Margarita Bricker |
| David Khan | 1425 Fenzel St | 1/18/2017 | David Khan |
| Patricia Medici | 1319 N. OREGON 79902 | 1-18-17 | Patricia Medici |
| Jose Angel Mendez | 504 Prospect 79902 | 1-18-17 | Jose Angel Mendez |
| Roger M. Gonzalez | 415 W. Jandell 79902 | 1-18-17 | Roger M. Gonzalez |
| Nadia Powell | 1555 URBANDR 79902 | 2/8/17 | Nadia Powell |
| Freel Swans | 3801 O'Keefe E | 2/8/17 | Freel Swans |
| Kelly Blough | 1029 Upsan 79902 | 2/8/17 | Kelly Blough |
| Isaac Harder | 716 Prospect | 2/6/17 | Isaac Harder |

Signer of this petition making oath that each signature is that of person it purports to be and circulated petition:

(Printed Name)

(Signature)

Sworn to and subscribed before me, by the said

This the _____ day of _____

20 17 to verify

Which, witness my hand and seal the office.

Signature Below:

Presented Name of officer administering oath:

Title of office administering oath:

SUN SET HEIGHTS NEIGHBORHOOD IMPROVEMENT ASSOCIATION

We oppose the construction of a new cell tower and associated facilities in Sunset Heights because:

1. Sunset Heights is more than 100 years old and was one of the first planned subdivisions in the United States;
2. It is adjacent to Downtown El Paso, which the City has focused its resources on redeveloping;
3. As proposed, the 60-foot cell tower structure, located on the edge of the neighborhood and visible to thousands of people who pass on the freeway daily, is not consistent with the neighborhood's unique and historic architecture;
4. The structure, along with generators and other components of the facility, will contribute to the appearance of an industrial zone, undermining the value of Sunset Heights for its residents and the City.

PETITION TO OPPOSE THE CONSTRUCTION OF A NEW CELL TOWER AND ASSOCIATED FACILITIES IN SUNSET HEIGHTS HISTORIC DISTRICT

| Name/Nombre | Address/Direccion | Date/ Fecha | Signature/Firma |
|-----------------|-------------------|-------------|-----------------|
| Mike Smith | 519 Prospect | 3/3/17 | [Signature] |
| Gabriel Solis | 508 Prospect | 3/3/17 | [Signature] |
| MATT MOORE | 600 Prospect | 3/3/17 | [Signature] |
| Michael Pitte | 519 1/2 Prospect | 3/3/17 | [Signature] |
| TONOS TINAJERO | 508 Prospect | 3/3/17 | [Signature] |
| Jesus Moroyo | 1516 Corto | 3/3/17 | [Signature] |
| Sebastian | 520 Prospect | 3/3/17 | [Signature] |
| Mariza Martinez | 504 Prospect | 3/5/17 | [Signature] |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

Signer of this petition making oath that each signature is that of person it purports to be and circulated petition:

(Printed Name)

(Signature)

Sworn to and subscribed before me, by the said

This the day of

20 17 to verify

Which, witness my hand and seal the office.

Signature Below:

Presented Name of officer administering oath:

Title of office administering oath:

Petition to Eliminate All Cell Phone Towers in Sunset Heights

We, the residents of Sunset Heights and supporters demand that no new cell phone towers be constructed in the neighborhood of Sunset Heights and that all existing cell phone towers be removed from the neighborhood of Sunset Heights.

| NAME | ARE YOU A RESIDENT OF SUNSET HEIGHTS? | SIGNATURE |
|--------------------|--|--------------------|
| <i>[Signature]</i> | ✓ | <i>[Signature]</i> |
| Al Lipovsek | NO | Al Lipovsek |
| Bob Winton | NO | |
| Brian | NO | |
| LILIANA MUNGUIA | NO YES | <i>[Signature]</i> |
| CLAUS SCHMIDHOFER | YES | <i>[Signature]</i> |
| Crystal Valverde | NO | Crystal Valverde |
| Alex Sandoval | NO | <i>[Signature]</i> |
| Emanuel Soto | NO | <i>[Signature]</i> |
| DEMETRIO GONZALEZ | NO | <i>[Signature]</i> |
| Joseph Carlson | NO | <i>[Signature]</i> |
| Cristina Lizaraga | NO | <i>[Signature]</i> |
| <i>[Signature]</i> | NO | Patrick Craig |
| Lydia Hernandez | NO | <i>[Signature]</i> |
| Kalie Apodaca | NO | Kalie Apodaca |
| Javier Salinas | NO | <i>[Signature]</i> |
| Roy Dominguez | NO | <i>[Signature]</i> |
| VICTOR SOTO | yes | VICTOR SOTO |
| Mike Mendrano | yes | <i>[Signature]</i> |


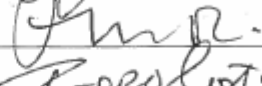
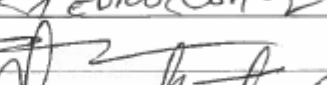
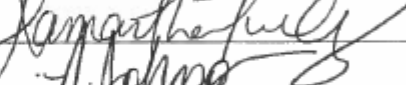
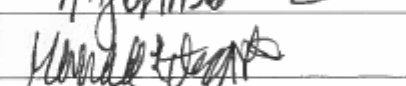
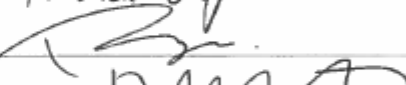
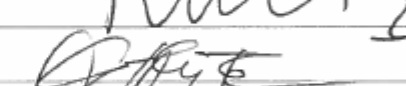
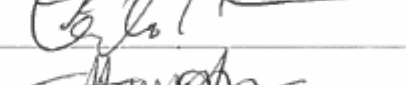
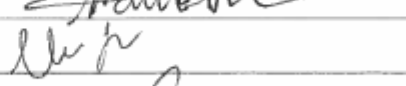
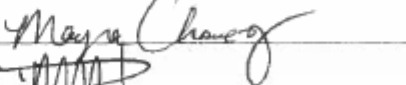






Petition to Eliminate All Cell Phone Towers in Sunset Heights

We, the residents of Sunset Heights and supporters demand that no new cell phone towers be constructed in the neighborhood of Sunset Heights and that all existing cell phone towers be removed from the neighborhood of Sunset Heights

| NAME | ARE YOU A RESIDENT OF SUNSET HEIGHTS? | SIGNATURE |
|---------------------------|--|--------------------|
| Ricardo Villalva | yes | Ricardo Villalva |
| Susana Vega | Yes | Susana Vega |
| Sandra Vega | Yes | Sandra Vega |
| Brandon Johnson | NO | Brandon B. Johnson |
| Ruben Badillo | NO | Ruben Badillo |
| Terry Johnson | no | Terry Johnson |
| Thomás DeSantos | no | Thomás DeSantos |
| Patricia Medici | yes | Patricia Medici |
| Mary C.D. Wells | YES! | Mary C.D. Wells |
| Sergio Contreras | Yes | Sergio Contreras |
| FRANK V. SALAZAR | YES | Frank V. Salazar |
| ARTURO T. MORENO | Yes | Arturo T. Moreno |
| Kelly Blough | yes | Kelly Blough |
| Olivia Pineda | NO | Olivia Pineda |
| Jose A. Mendez | NO | Jose A. Mendez |
| Mary Bourdon MARY GOURDON | NO | Mary Bourdon |
| Julien Castillo | NO | Julien Castillo |
| Carolina Martinez | NO | Carolina Martinez |
| Mary E Moore | NO | Mary E Moore |

Petition to Eliminate All Cell Phone Towers in Sunset Heights

neighborhood of Sunset Heights and that all existing cell phone towers be removed from the neighborhood of Sunset Heights.

| NAME | ARE YOU A RESIDENT OF SUNSET HEIGHTS? | SIGNATURE |
|-------------------|--|--|
| Yolanda Valencia | |  |
| MARIA NEVAREZ | |  |
| Geetha Kovitz | |  |
| Emma Perez | Yes |  |
| Samantha Turner | Yes |  |
| Nancy Johnson | NO |  |
| Marcy Angeles | NO |  |
| Ramona M. Canales | Yes |  |
| Robert Martinez | Yes |  |
| Anthony Flores | No |  |
| Carlos Diaz | Yes |  |
| Masud Rahman | Yes |  |
| Nezaryn Heylarian | Yes |  |
| Mayra Chavez | Yes |  |
| Daisy Martinez | Yes |  |
| Ryan Kerr | Yes |  |
| | | |
| | | |
| | | |

Sent: Thursday, March 09, 2017 2:03 PM
To: OSS Help
Subject: Website Visitor Message

Name: Omar Silva

Email: omar.brenda@gmail.com

Phone: 9155323287

Comments: To Whom it may concern:

I urge the City Plan Commission to deny PZST16-00030 at 1513 Sun Bowl Drive for Special Permit to allow a Personal Wireless Service Facility (PWSF). I do not agree with allowing a waiver for a 3-1 setback. If approved, please stick to a 2-1 setback to avoid the structure from being as imposing and unnecessary as possible.

Regards,
Omar F. Silva
215 Lawton Dr.

Howell, Jeffrey B.

From:
Sent: Wednesday, March 15, 2017 9:00 AM
To: Howell, Jeffrey B.
Subject: cell tower

Dear City Plan Commission:

Thank you for your work on behalf of the City of El Paso. Perhaps more than anyone, you are keepers of the vision, safeguarding the work begun with the seminal City Plan of 1925. Particularly important to your work is protecting the integrity of our great neighborhoods, and ensuring that new ones match the careful design and spirit of the classic, pre-war city core in terms of serving both the immediate residents and the city as a whole. We all share the same desire - a healthy city both inside and out - and healthy neighborhoods, whatever their design characteristics, are an essential building block.

You are now reviewing an application for a cell tower in historic Sunset Heights, one of the city's first suburban neighborhoods, adjacent to Downtown El Paso and in the midst of a renewal. We are proud of our diversity of incomes, occupations, and ages, supporting homeowners and renters, professors and students, engineers and laborers, and everything in between. We aim to keep that while steadily reversing decades of slow deterioration in some of the structures.

The City's investment has helped. From the new playground at Mundy Park to the Trolley that will soon define the eastern edge of our neighborhood, Sunset Heights is on the rise. We appreciate this effort, which we have been part of, from renewing our work with relevant City departments to putting our own "skin in the game" in the form of volunteer hours for such projects as neighborhood cleanups and the Sunset Heights Tour of Homes.

Additionally, the City is investing in the entirety of the city core. The Trolley is but one example of the work not only specifically for Downtown but also in the surrounding neighborhoods. In addition to the City's investments in the downtown core, I-10 will be reconstructed soon, which will include highway aesthetics. UTEP, as well, has undergone a transformation, which includes highly visible public art (the Cloud).

With this as context, SHNIA is of the opinion that the proposed cell tower does not meet the standards we have set for historic preservation, neighborhood preservation, renewal of the city core, and the spirit of the rules meant to protect neighborhoods from encroachment by industrial-scale facilities.

While the applicant's representative has come a long way from the initial design, for which we appreciate the work of City staff and the applicant representative, we are still concerned that 1) what it looks like on paper may not translate into reality, and 2) the scale.

This is a 60-foot tower, by far the largest structure around, and it sets a tone for the neighborhood. With careful placement and design such an object might add value. But this does not hit the mark. Aside from the question about the materials and design, the location, on the edge of the neighborhood and awkwardly placed in a parking lot, will not fool anyone into thinking that it belongs there.

Simply put, in our opinion, this product does not add value to the neighborhood. This is bigger than just Sunset Heights. Aside from the question of the aesthetic value, there is the larger question of how neighborhoods develop, and what say they have in major issues that affect them. How we are heard on this is an important indicator of how we and other neighborhoods will be heard in the future on major development issues. And make no mistake - this is a major issue. The tower, once placed, will certainly be there for perpetuity, limiting the potential of that property, and of the neighborhood as a whole.

Regarding the technical and zoning aspects, the tower is to be placed on a lot that is partially in the historic district and partially out of it. It is on the portion of the lot that is outside the district. Typically, a cell tower must have a 3-1 ratio distance from the closest home - 3 feet of setback for every foot of height. In this case, the applicant's representative is asking for a 2-1 setback. So they are asking for a waiver from the rules in order to place a tower in our neighborhood.

City code allows them to request this, and allows but does not require for it to be granted, if they meet certain requirements regarding whether they looked for other locations, and whether this location offers a benefit that cannot be gained from a different location.

We are a volunteer neighborhood group. The tower is being requested for Verizon by Crown Castle. They have been working on this for a long time, perhaps a year, and have significant expertise and brainpower that we cannot match. Nonetheless, we have significant questions about the due diligence performed, and whether they have met the qualifications to request this waiver.

Our concern is that in the end, they saw this as a cheaper alternative in a neighborhood that did not have the muscle to stop it. The benefits of a long-term lease will definitely accrue to the tower owner/operator, and to the person who is leasing them property. There can be no question about that.

There is little benefit that we can assess to the neighborhood, and we're not even certain there's a technical benefit to be gained for the rest of the city, although we understand that certainly will be argued.

Thank you for your consideration of our neighborhood request. Great cities are made up of great neighborhoods, and with all due respect to the other great neighborhoods in El Paso, we believe Sunset Heights is the greatest neighborhood of all. We appreciate your support to help us keep it that way.

Regards,

Jorge Becerril
Sunset Heights resident



[Click here to Reply or Forward](#)



Recommendation/Public Input

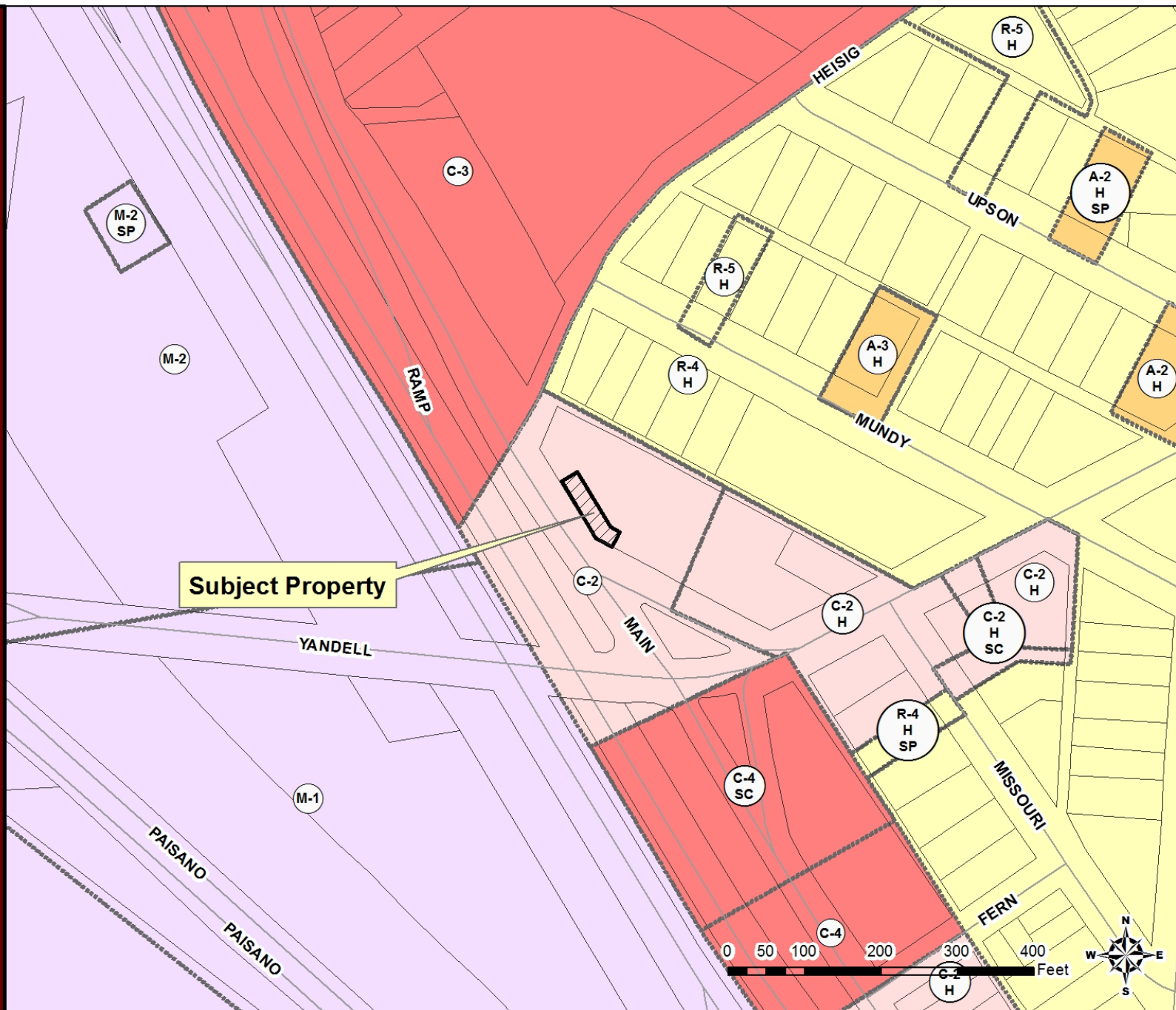
- Planning Division recommendation: Approval
- CPC Vote: Denial Recommendation (5-2)
- Public Input: The Planning Division has received ten emails, one letter and a petition with 23 signatures in opposition to the Special Permit request. Three people spoke in opposition at the City Plan Commission meeting. Two additional emails were received in opposition after the CPC meeting.

Strategic Goal #3 Promote the Visual Image of El Paso

- 3.1 Provide business friendly permitting and inspection processes
- 3.2 Improve the visual impression of the community

PZST16-00030

2



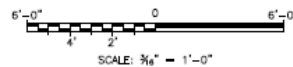
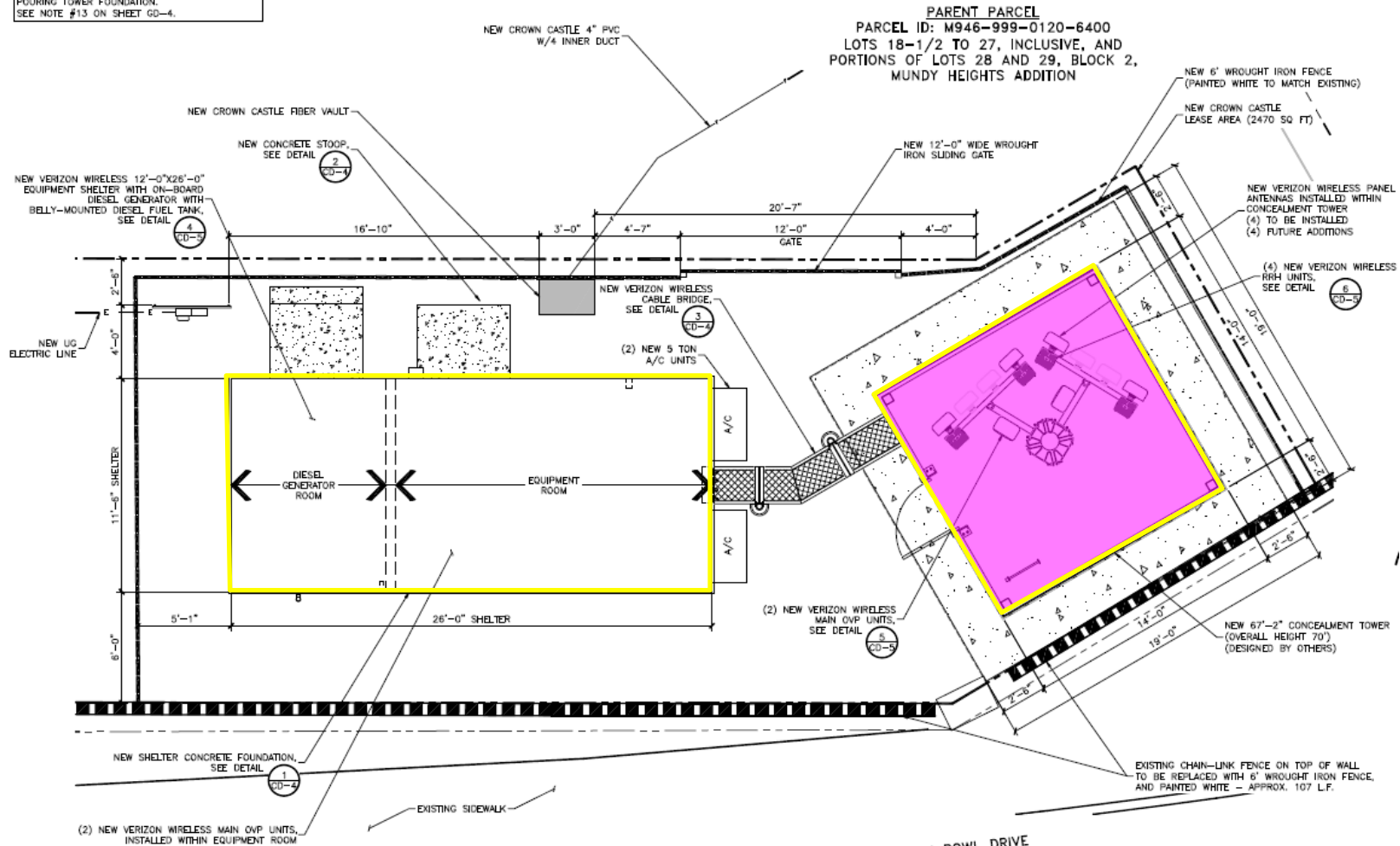
PZST16-000030

3



**GROUNDING NOTE:**

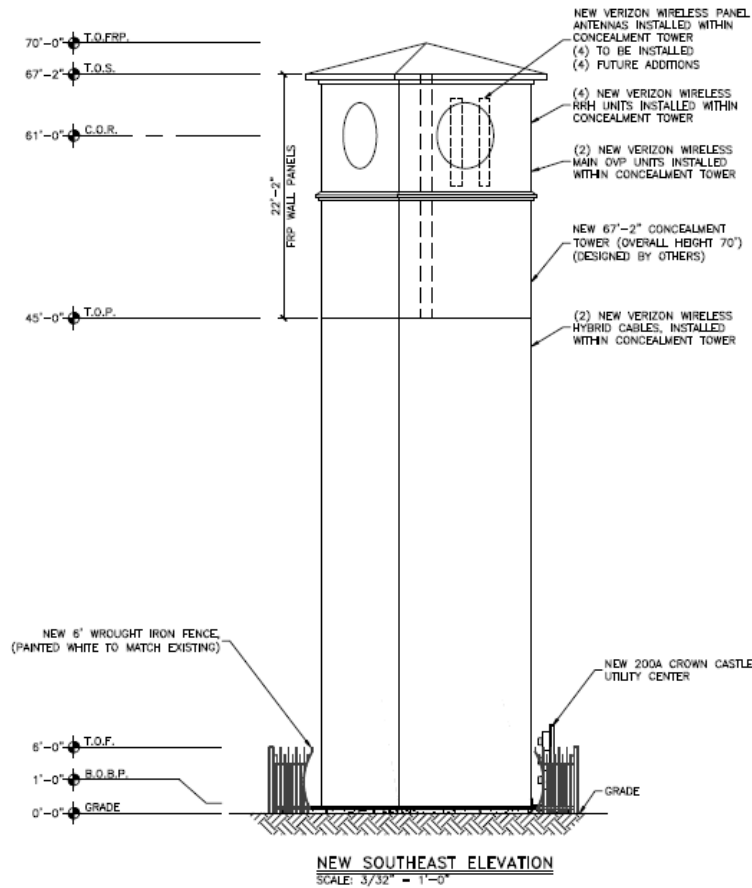
TOWER GROUND RING MUST BE INSTALLED AND BACKFILLED WITH 95% COMPACTION PRIOR TO POURING TOWER FOUNDATION. SEE NOTE #13 ON SHEET GD-4.

**ENLARGED SITE PLAN****NORTH***"Delivering Outstanding Services"*



GROUNDING NOTE:

TOWER GROUND RING MUST BE INSTALLED AND BACKFILLED WITH 95% COMPACTION PRIOR TO POURING TOWER FOUNDATION. SEE NOTE #13 ON SHEET GD-4.

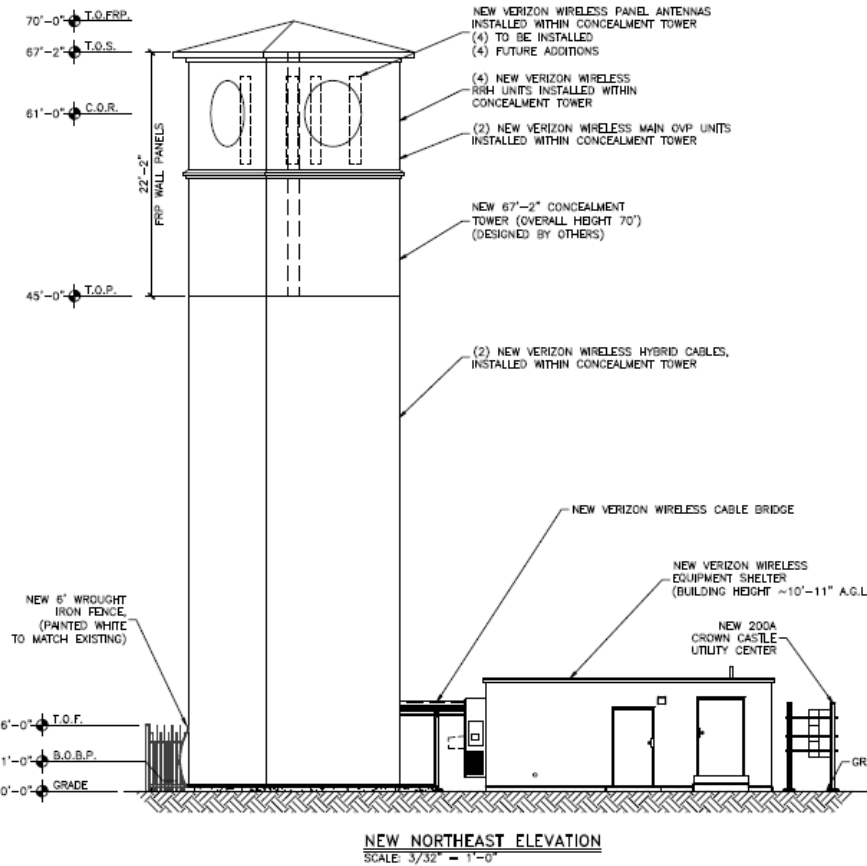


NOTE:

CONCEALMENT TOWER TO BE PAINTED/TEXTURED TAN TO MATCH SIMILAR STRUCTURES FOUND AT THE UNIVERSITY OF TEXAS AT EL PASO (UTEP)

KEY:

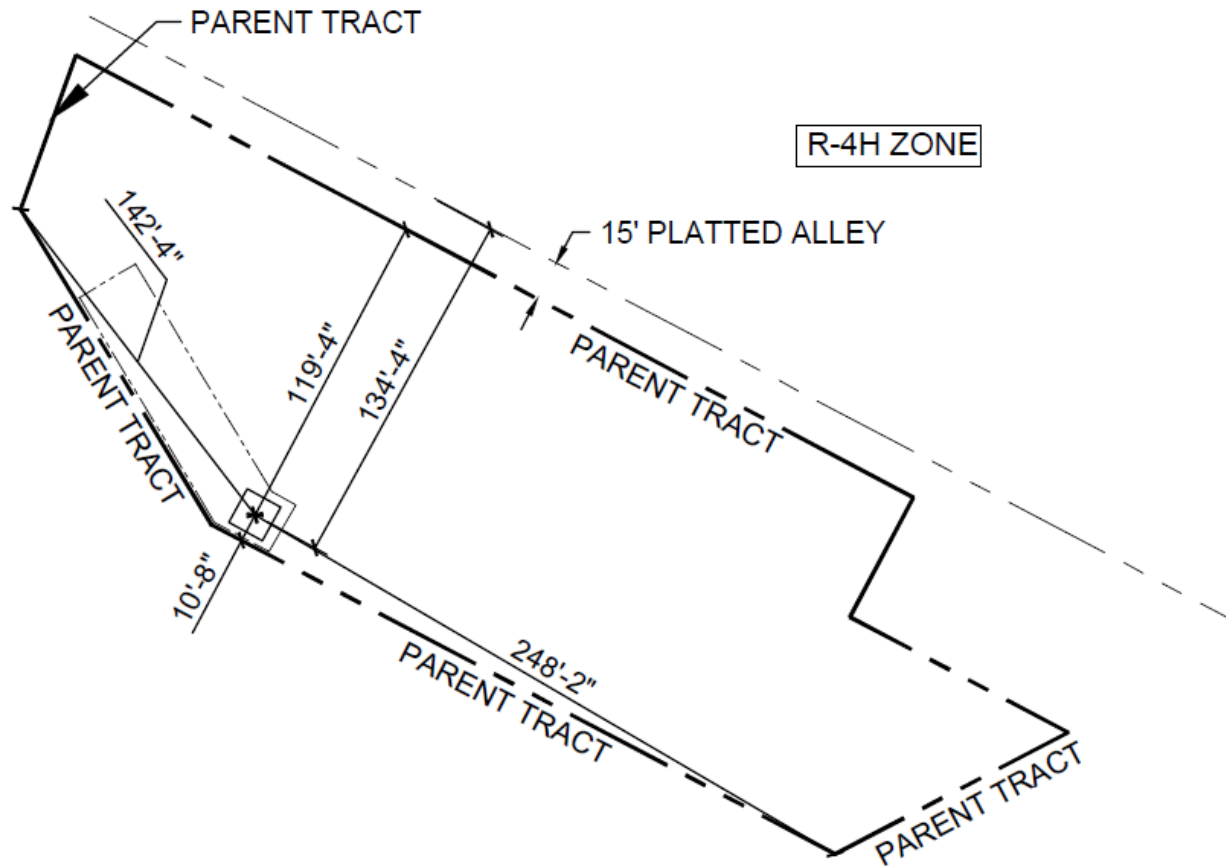
| | |
|------------|-----------------------|
| T.O.S. = | TOP OF STEEL |
| C.O.R. = | CENTER OF RADIATION |
| T.O.F. = | TOP OF FENCE |
| T.O.P. = | TOP OF PLATFORM |
| T.O.FRP. = | TOP OF FRP ROOF PANEL |
| B.O.B.P. = | BOTTOM OF BASE PLATE |





| | TOWER CENTER TO PARENT PROPERTY LINE | LEASE BOUNDARY TO PARENT PROPERTY LINE |
|-----------|---|---|
| NORTHEAST | 119'-4" | 109'-0" |
| SOUTHEAST | 248'-2" | 236'-10" |
| SOUTHWEST | 10'-8" | 1'-1" |
| NORTHWEST | 142'-4" | 39'-3" |

*134'-4" TO NEAREST RESIDENTIAL (R-4H) PROPERTY LINE



BEFORE



**CROWN
CASTLE**

**821983 SUN BOWL DR.
SITE PHOTOGRAPH
EAST ELEVATION FROM MISSOURI**

AFTER



BEFORE



AFTER



BEFORE



AFTER



BEFORE



AFTER





**CROWN
CASTLE**

17 821983 SUN BOWL DR.
SITE PHOTOGRAPH
NORTHEAST ELEVATION FROM MUNDY DR.

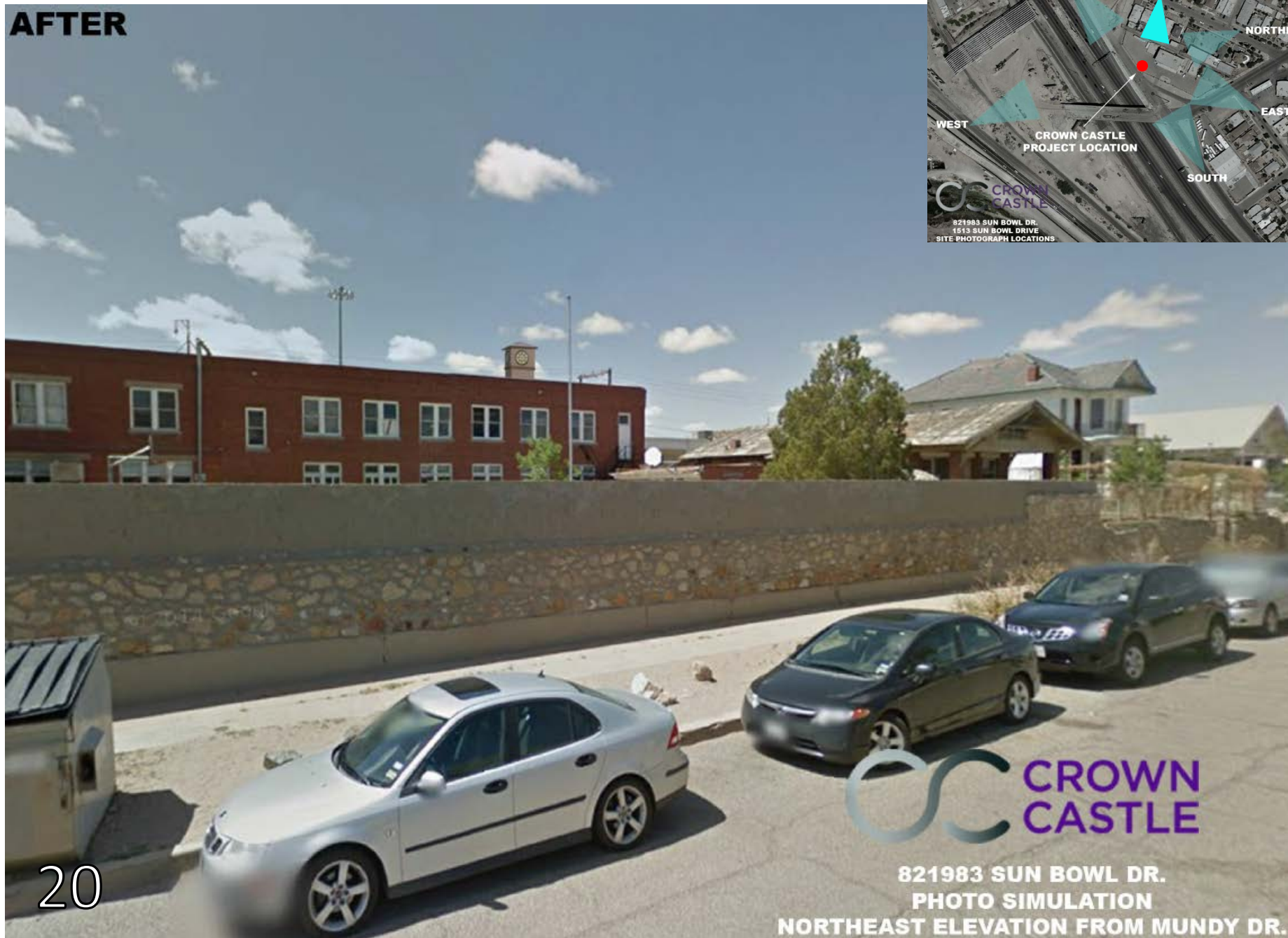


18 821983 SUN BOWL DR.
PHOTO SIMULATION
NORTHEAST ELEVATION FROM MUNDY DR.

BEFORE

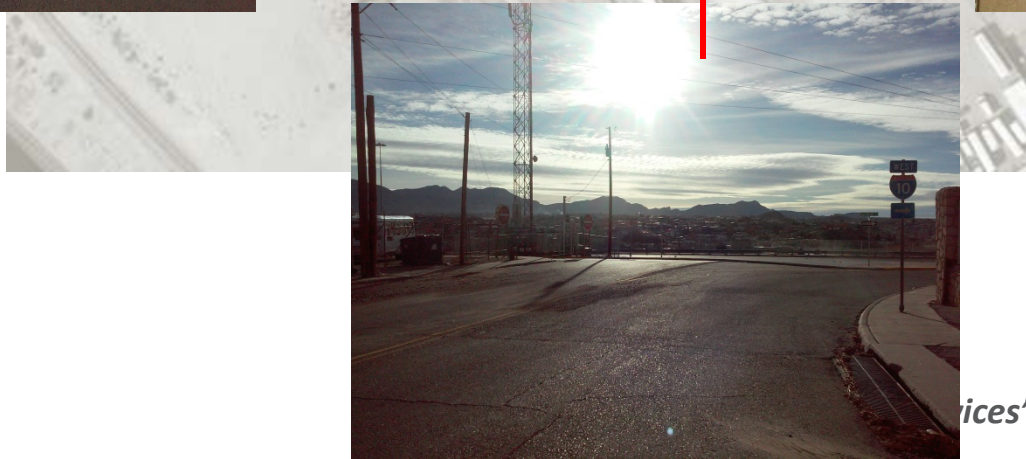
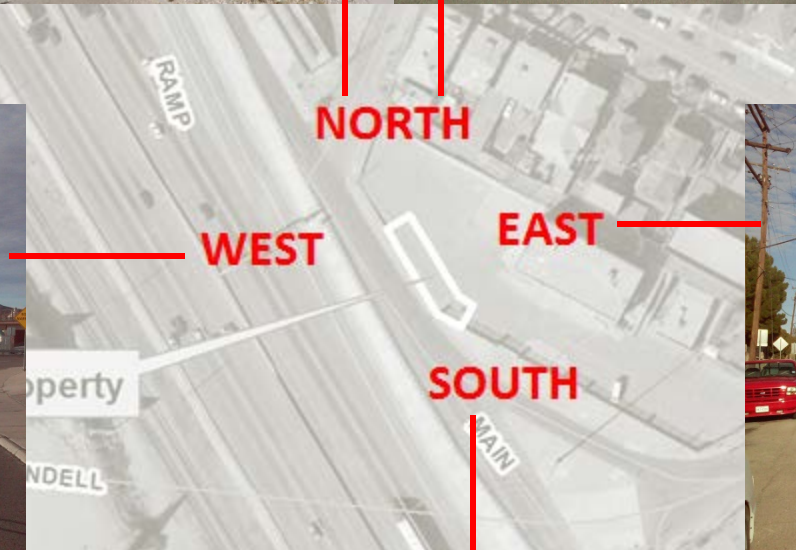


AFTER



20

**CROWN
CASTLE**
821983 SUN BOWL DR.
1613 SUN BOWL DRIVE
PHOTO SIMULATION
NORTHEAST ELEVATION FROM MUNDY DR.



PZST16-00030

22

