

**CITY OF EL PASO, TEXAS
AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM**

DEPARTMENT: Planning and Inspections Department, Planning Division

AGENDA DATE: Introduction: April 19, 2016
Public Hearing: May 17, 2016

CONTACT PERSON/PHONE: Larry Nichols, (915) 212-1550, nicholslf@elpasotexas.gov
Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov

DISTRICT(S) AFFECTED: 2

SUBJECT:

An Ordinance granting Special Permit No. PZST16-00002, to allow for a Ground-mounted 68' Personal Wireless Service Facility on the property described as a portion of Lots 1 and 2, Block 109, Morningside Heights, 4801 Dyer Street, City of El Paso, El Paso County, Texas, Pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 4801 Dyer Street. Property Owner: Mohammed Farokhnia. PZST16-00002 (**District 2**)

BACKGROUND / DISCUSSION:

On March 10, 2016, the CPC reviewed and recommended approval of the special permit request.

PRIOR COUNCIL ACTION:

There is no prior City Council action on this special permit application.

AMOUNT AND SOURCE OF FUNDING:

N/A

BOARD / COMMISSION ACTION:

City Plan Commission (CPC) – Approval Recommendation (5-1).

*****REQUIRED AUTHORIZATION*****

LEGAL: (if required) N/A

FINANCE: (if required) N/A

DEPARTMENT HEAD: Larry F. Nichols
Director, Planning and Inspection Department

APPROVED FOR AGENDA:

CITY MANAGER: _____ **DATE:** _____

ORDINANCE

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST16-00002, TO ALLOW FOR A GROUND-MOUNTED 68' PERSONAL WIRELESS SERVICE FACILITY ON THE PROPERTY DESCRIBED AS A PORTION OF LOTS 1 AND 2, BLOCK 109, MORNINGSIDE HEIGHTS, 4801 DYER STREET, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Mohammed Farokhnia property owner and **Dallas MTA, LP d/d/a Verizon Wireless** have applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for the construction and installation of a ground-mounted Personal Wireless Service Facility (PWSF) that is 68 foot tall and camouflaged as a palm tree; and

WHEREAS, the Section 20.10.455 allows for a ground-mounted personal wireless service facility by Special Permit; and

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and

WHEREAS, the City Plan Commission has recommended approval of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320 of the El Paso City Code.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows, is in a **C-4 (Commerical)** Zone District: *Portion of Lots 1 and 2, Block 109, Morningside Heights, 4801 Dyer Street, City of El Paso, El Paso County, Texas*; and as more particularly described be metes and bounds on the attached Exhibit "A"; and
2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted 68-foot tall personal wireless service facility on the property described in Paragraph 1 of this Ordinance; and

3. Furthermore, the City Council makes the following findings to reduce below one-half mile the minimum separation distance between ground-mounted PWSF antenna support structures:

- i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
- ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
- iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
- iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
- v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

4. That this Special Permit is issued subject to the development standards in **C-4 (Commercial)** District regulations and is subject to the approved Detailed Site Development Plan signed by the Property Owner and the Applicant, the City Manager and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "A" and is incorporated herein by reference for all purposes; and

5. That if at any time the Property Owner or Applicant fail to comply with any of the requirements of this Ordinance, **Special Permit No. PZST16-00002** shall be subject to termination; construction or occupancy shall be discontinued; and the Property Owner or Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal equitable remedy; and

6. That the Property Owner and Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filled with the Zoning Administrator and the Executive Secretary to the City Plan Commission before building permits are issued.

ADOPTED this ____ day of _____, 2016.

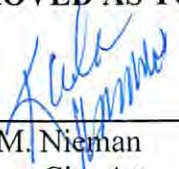
THE CITY OF EL PASO

Oscar Leeser
Mayor

ATTEST:

Richarda Duffy Momsen
City Clerk

APPROVED AS TO FORM:

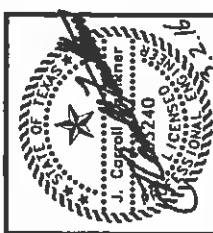


Karla M. Nieman
Assistant City Attorney

APPROVED AS TO CONTENT:

Larry F. Nichols, Director
Planning & Inspections Department

AGREEMENT



Verizon
ELP - TRUMAN

SET ISSUED FOR	DATE
REV. 20 REVIEW	05/04/15
REV. 03 REVIEW	05/19/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/19/16

TITLE SHEET
T1

SCOPE OF WORK
CONSTRUCTION OF PROPOSED ANTENNAS AND RADIO EQUIPMENT ON A PROPOSED 62'-0" VERIZON WIRELESS MONOPILL TOWER (TOTAL HEIGHT 88'-0" AGL) ALONG WITH SUPPORTED RADIO EQUIPMENT IN PROPOSED EQUIPMENT CABINET.

SHEET INDEX

T1	TITLE SHEET
C1	GENERAL NOTES
C2	CIVIL NOTES
SUR1	SITE SURVEY
C3.1	OVERALL SITE PLAN
C3.2	DETAILED SITE PLAN
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C3.4	RF INFORMATION
C3.5	ANTENNA PLAN
C3.6	ANTENNA GROUNDING PLAN
C4	CONSTRUCTION DETAILS
C5	ICE BRIDGE DETAILS
C5.1	ENTRY PORT DETAILS
C6	SIGN DETAILS
C7	MASONRY WALL DETAILS
C8	CHAIN LINK GATE DETAIL
S1	STRUCTURAL NOTES
S2	FOUNDATION PLANS & DETAILS
E1	ELECTRICAL & GROUNDING NOTES
E2	SITE UTILITY ROUTING PLAN
E2.1	COMPOUND UTILITY ROUTING PLAN
E2.2	UTILITY DIAGRAM & DETAILS
E2.3	ELECTRICAL ONE LINE DIAGRAM
E3	SITE GROUNDING PLAN & DETAILS
E4	GROUNDING SYSTEM DIAGRAMS
E5	GROUNDING DETAILS

ATTACHMENTS
RF EQUIPMENT SPECIFICATIONS
GENERATOR/BUSSEL BELLY TANK SPECIFICATION
ELP - TRUMAN SITE SURVEY BY CLAUSEN LAND SURVEYING
SHEET 1 FINAL, DATED: 05/07/2015

APPROVALS

VERIZON WIRELESS PROJECT MANAGER _____ DATE _____
VERIZON WIRELESS RF ENGINEER _____ DATE _____

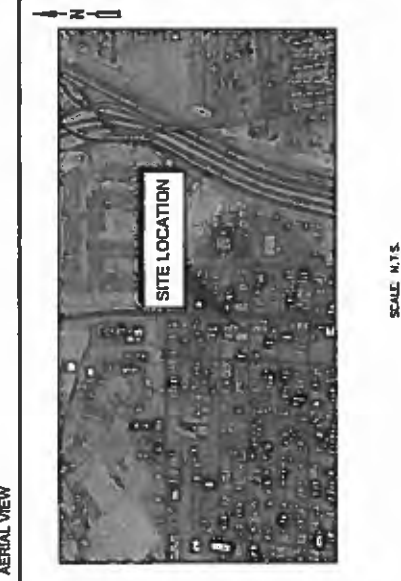
Landlord Approved _____ Date _____

ELP - TRUMAN

NEW BUILD - RAW LAND

SITE LOCATION
EL PASO
EL PASO COUNTY, TEXAS

SITE ADDRESS
4801 DYER STREET
EL PASO, TEXAS 79930



PROJECT TEAM

CPE CONTACT
CPE TELECOM
CONTACT: PROJECT MANAGER
204 TX AVE., SUITE A
ROUND ROCK, TX 78664
PHONE: 512.278.5850
FAX: 512.632.7680

VERIZON WIRELESS CM
CONTACT: JEFF DEWALT
MOBILE: 505.250.0004
EMAIL: JEFF.DEWALT@VERIZONWIRELESS.COM

PERMITTING
COUNTY: EL PASO
OCCUPANCY: NOT FOR HABITATION
CODE: 2009 IRC
ZONING: C4 COMMERCIAL
USE: UNANNOUNCED TELECOMMUNICATIONS FACILITY

PROPERTY OWNER
INDIVIDUAL FAROHHAA
525 CANYON SPRINGS DR
EL PASO, TEXAS 79912
PHONE: 915.383.8709

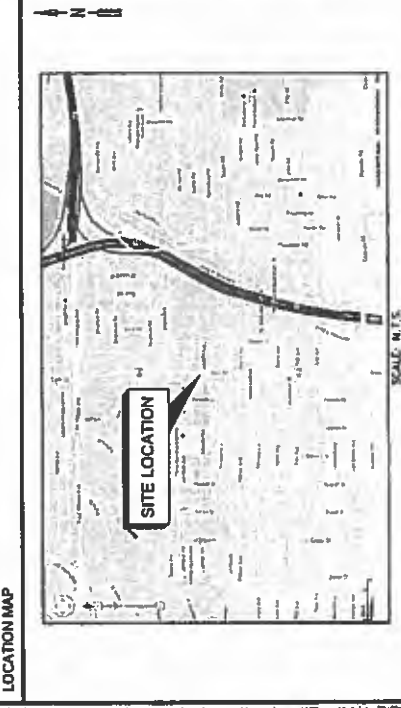
ENGINEER
CPE TELECOM
CONTACT: JARROLD FALKNER, PE
204 TEXAS AVE. SUITE A
ROUND ROCK, TEXAS 78664
PHONE: 512.278.5850
FAX: 512.632.7680

TOWER OWNER
VERIZON WIRELESS
120 W. EDWANA DRIVE
TEMPE, ARIZONA 85343

SURVEYOR
CLAUSEN LAND SURVEYING
CONTACT: CHRISTIAN CLAUSEN, R.P.L.S.
5328 COUNTRY OAKS DRIVE
EL PASO, TX 79932
PHONE: 915.355.9482
EMAIL: SURVEYOR@CLAUSENLAND.COM


LEGAL PARCEL NUMBER/LEGAL DESCRIPTION
UNDIVIDED PARCEL THE WEST 120 FEET OF LOTS 1 AND 2
BLOCK 109, AND A CORNER MAP OF MORNINGSTAR HEIGHTS ADDITION
VOLUME 11, PAGE 33 WARRANTY DEED INST/89038432
REC. MAY 21, 1999 CITY OF EL PASO EL PASO COUNTY, TEXAS

DRIVING DIRECTIONS
FROM EL PASO INTL AIRPORT: TAKE AIRPORT RD N TOWARDS LIBERTY EXPY/701
TURN LEFT ON LIBERTY EXPY/701
EXIT FRED WILSON AVE (BEFORE HWY 54)
TURN LEFT ON DYER STREET
DESTINATION WILL BE ON YOUR LEFT





METEOR AVENUE, SUITE A
 DES MOINES, IOWA 50319
 P 515.281.2000
 F 515.281.2000
 WWW.CFAMERICA.COM



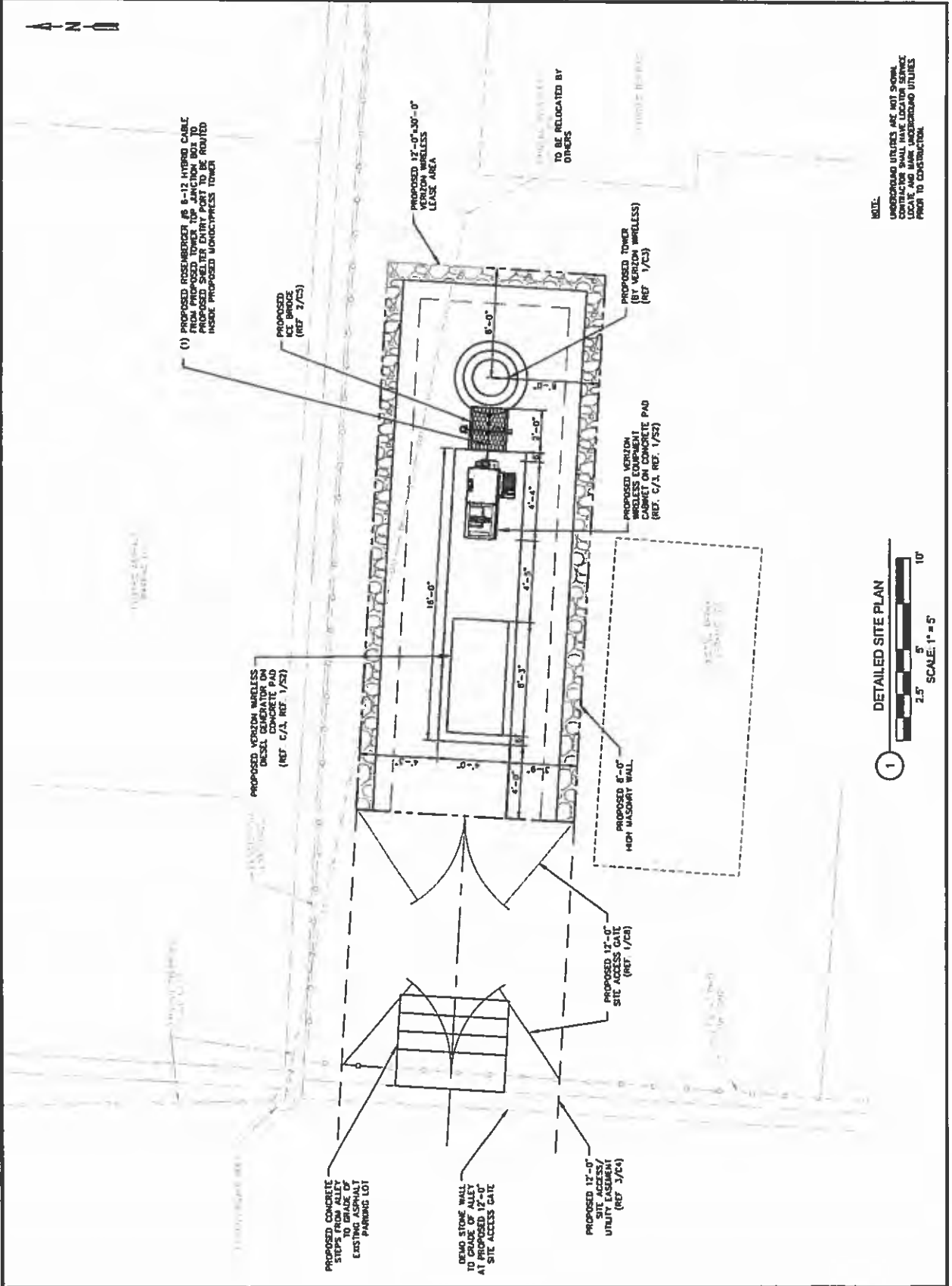
 ELP - TRUMAN

SET ISSUED FOR	DATE
ISSUE FOR REVIEW	02/08/15
ISSUE FOR REVIEW	02/19/15
CONSTRUCTION	02/20/15
REV 0	02/01/16
REV 1	02/19/16
REV 2	02/19/16

NO.	DATE	DESCRIPTION
0	02/01/16	ISSUE FOR REVIEW
1	02/01/16	CHANGE UP TO 3 ON C11
2	02/01/16	ISSUE FOR REVIEW

**DETAILED
 SITE
 PLAN**

C2.1





J. Carron
 LICENSE NO. 1740
 STATE OF MISSOURI
 MECHANICAL ENGINEERING
 1001 N. GARDEN ST.
 ST. LOUIS, MO 63102
 TEL: 314.433.1111
 WWW.CARRONENGINEERING.COM

Verizon

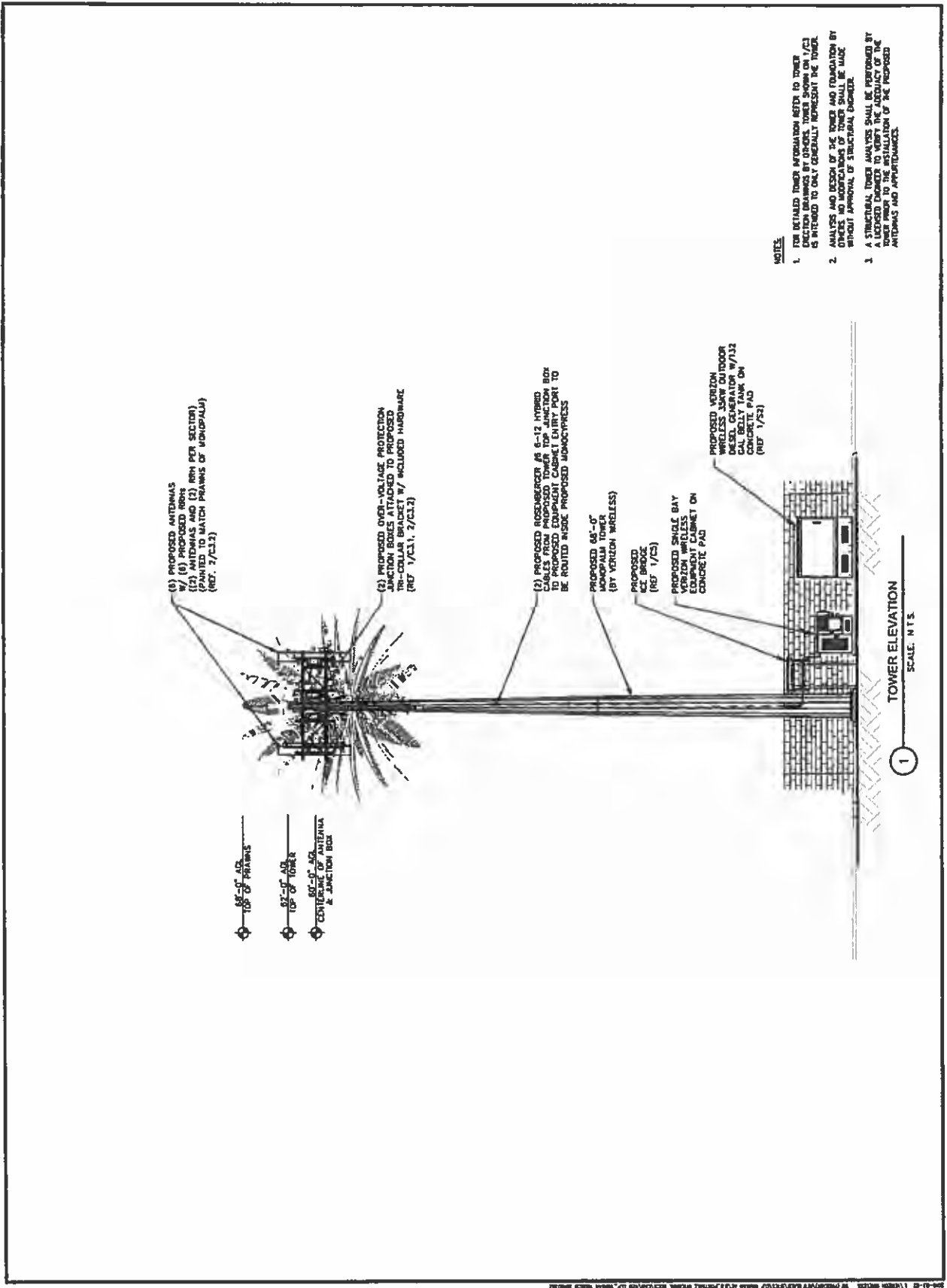
ELP - TRUMAN

SET ISSUED FOR	DATE
DESIGN REVIEW	05/09/15
DESIGN REVIEW	05/15/15
CONSTRUCTION	10/20/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/27/16

NO.	DATE	DESCRIPTION
0	02/01/16	ISSUE COMMENTS
1	02/02/16	CHANGE REF TO J ON C3.1
2	02/26/16	ISSUE COMMENTS

**TOWER
ELEVATION**

C3



- NOTES:**
- FOR DETAILED TOWER INFORMATION REFER TO TOWER ELEVATION DRAWINGS BY OTHERS. TOWER SHOWN ON 1/C3 IS INTENDED TO ONLY GENERALLY REPRESENT THE TOWER.
 - ANALYSIS AND DESIGN OF THE TOWER AND FOUNDATION BY OTHERS. NO MODIFICATIONS OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
 - A STRUCTURAL TOWER ANALYSIS SHALL BE PERFORMED BY A LICENSED ENGINEER TO VERIFY THE ACCURACY OF THE TOWER PRIOR TO THE INSTALLATION OF THE PROPOSED ANTENNAS AND APPURTENANCES.



16
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J. Carroll Walker, Inc.
 10000 W. 10th Street
 Overland Park, KS 66211
 P: 913-666-8200
 F: 913-666-8204
 www.jcw.com

ELP - TRUMAN



SET ISSUED FOR DATE
 NO. OF SHEETS 02/20/15
 NO. OF REVIEWS 02/20/15
 NO. OF REVISIONS 10/30/15
 CONSTRUCTION 02/20/15
 REV 0
 REV 1 02/11/16
 REV 2 02/25/16

NO.	DATE	DESCRIPTION
0	02/20/15	ISSUED FOR CONSTRUCTION
1	10/30/15	REVISED PER COMMENTS
2	02/25/16	REVISED PER COMMENTS

RF INFORMATION

C3.1

MINIMUM COAX BENDING RADIUS CHART

SIZE	MODEL NUMBER	MIN. BENDING RADIUS
1/2"	LD4	3.00"
7/8"	AV45	10.00"
1-3/8"	AV47	15.00"

MINIMUM WAVEGUIDE BENDING RADIUS CHART

SIZE	MODEL NUMBER	MIN. BENDING RADIUS
-	E63	21.00"

MINIMUM CABLE BENDING RADIUS CHART

MANUFACTURER	SIZE	MODEL NUMBER	MIN. BENDING RADIUS
ROSENBERGER	#6 8-12	HYBRID FEEDER	21.11"
ROSENBERGER	#6 2-4	HYBRID FEEDER	14.68"
ROSENBERGER	#6 1-1	HYBRID FEEDER	16.31"

TRANSMISSION LINE BENDING RADIUS CHARTS

2

ELEVATION (A.G.L.)	AZIMUTH (DEG)	DOWN TILT	DESIGNATION	EQUIPMENT MAKE/MODEL	USE	QTY	FEED LINES SIZE	TYPE	LENGTH
60'-0"	A	2'	ALPHA-1	QUMTEL - 056858-3-105	U700C	1	1/2"	JUMPER	6'
60'-0"	A	-	ALPHA-2	-	-	-	-	-	-
60'-0"	A	-	ALPHA-3	-	-	-	1/2"	-	-
60'-0"	A	2'	ALPHA-4	QUMTEL - 056858-3-105	AWS	1	1/2"	JUMPER	6'
60'-0"	B	5'	BETA-1	QUMTEL - 056858-3-105	U700C	1	1/2"	JUMPER	6'
60'-0"	B	-	BETA-2	-	-	-	-	-	-
60'-0"	B	-	BETA-3	-	-	-	-	-	-
60'-0"	B	5'	BETA-4	QUMTEL - 056858-3-105	AWS	1	1/2"	JUMPER	6'
60'-0"	C	240'	GAMMA-1	QUMTEL - 056858-3-102	U700C	1	1/2"	JUMPER	6'
60'-0"	C	-	GAMMA-2	-	-	-	-	-	-
60'-0"	C	-	GAMMA-3	-	-	-	-	-	-
60'-0"	C	240'	GAMMA-4	QUMTEL - 056858-3-102	AWS	1	1/2"	JUMPER	6'
60'-0"	-	-	RRH	RRH	U700C	3	#6 8-12	HYBRID	15'
60'-0"	-	-	RRH	RRH	AWS	3	#6 8-12	HYBRID	15'
60'-0"	-	-	J-BOL	COMASCOPE - RCBC-3315-PF-48	U700C/AWS	2	#6 8-12	HYBRID	60'

REFERENCE ANTENNA PLANS ON SHEET CL2 FOR MOUNT INFORMATION

PROPOSED APPURTENANCE CHART

1



ELP - TRUMAN

Verizon

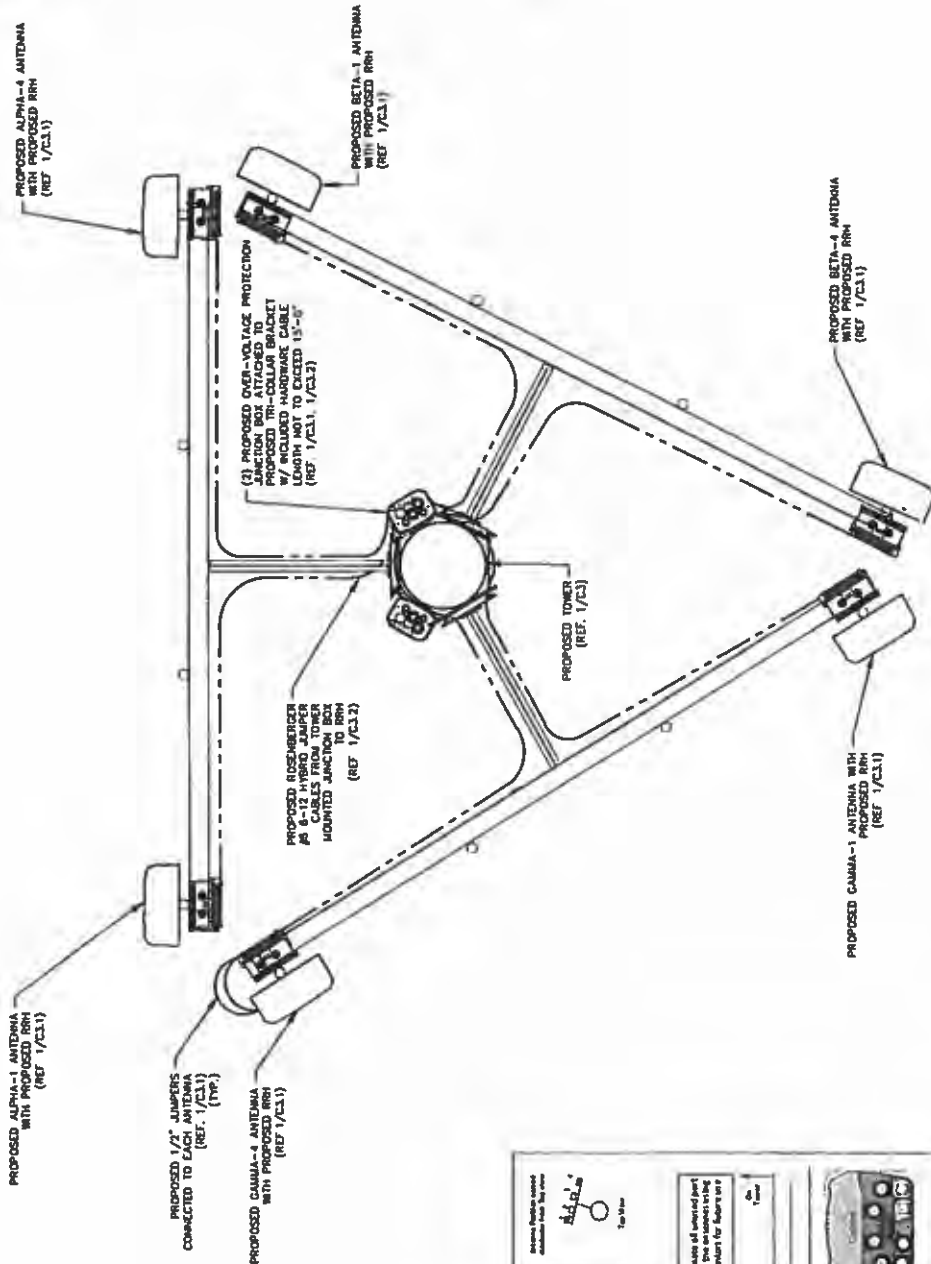
SET ISSUED FOR	DATE
MOE 2014 REVIEW	05/20/15
BOE 2014 REVIEW	05/25/15
CONSTRUCTION	10/20/15
REV. 1	07/07/16
REV. 2	07/09/16
REV. 3	07/26/16

NO.	DATE	DESCRIPTION
1	10/20/15	ISSUE FOR CONSTRUCTION
2	07/20/16	CHANGE WIP TO 5 ON G11
3	07/20/16	ISSUE FOR CONSTRUCTION

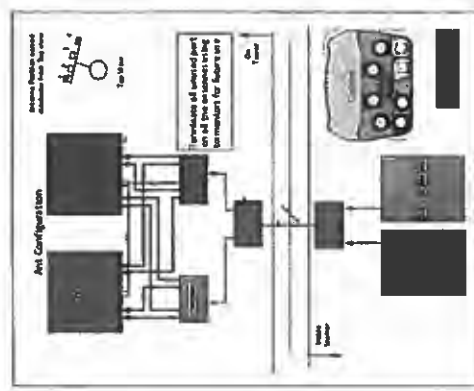
ANTENNA PLAN

C3.2

NAME	QTY	MANUFACTURER	PART #	DESCRIPTION
SECTOR MOUNT	1	SABRE	C10-858-801	(3) ROUND NUMBER 1-ARMS JAW TO COLLAR BRACKET
ANTENNA	6	SABRE	C10-900-107	2 ANTENNA PER JAW
WIP COLLAR BRACKET	1	SABRE	C10-113-300	JAW-BOLT BUSH



2 PROPOSED ANTENNA PLAN (60'-0" AGL) SCALE: N.T.S.



1 WIRING DIAGRAM SCALE: N.T.S.



800 TICAL AVENUE, SUITE A
 TAMPA, FLORIDA 33611
 P: 813.271.8000
 F: 813.271.8000
 PO BOX 1191888
 TAMPA, FL 33611
 WWW.TIAGROUP.COM



ELP - TRUMAN

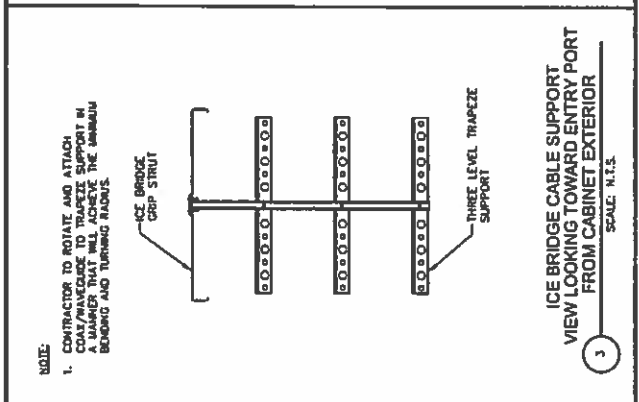
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0	07/07/16	ISSUED FOR CONSTRUCTION
1	07/19/16	ISSUED FOR CONSTRUCTION
2	07/26/16	ISSUED FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
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1	07/19/16	ISSUED FOR CONSTRUCTION
2	07/26/16	ISSUED FOR CONSTRUCTION

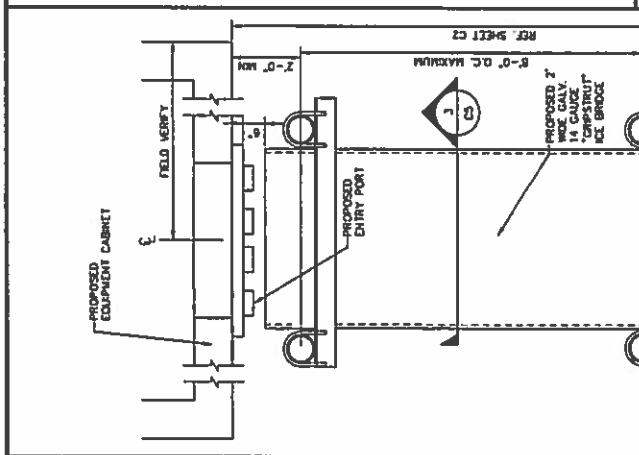
ICE BRIDGE
 DETAILS

C5

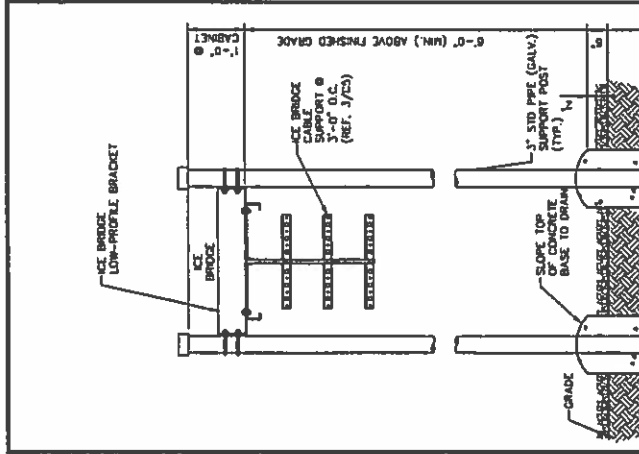
THIS SPACE HAS BEEN
 INTENTIONALLY LEFT BLANK



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ICE BRIDGE PLAN
 SCALE: N.T.S.



NOTE:
 1. CONCRETE BASE: 5,000 PSI 28-DAY COMPRESSIVE STRENGTH MIN.



IN TEXAS SERVICE DATE A
 TELECOM
 P. 512.778.1200
 WWW.TXSTATESEAL.COM



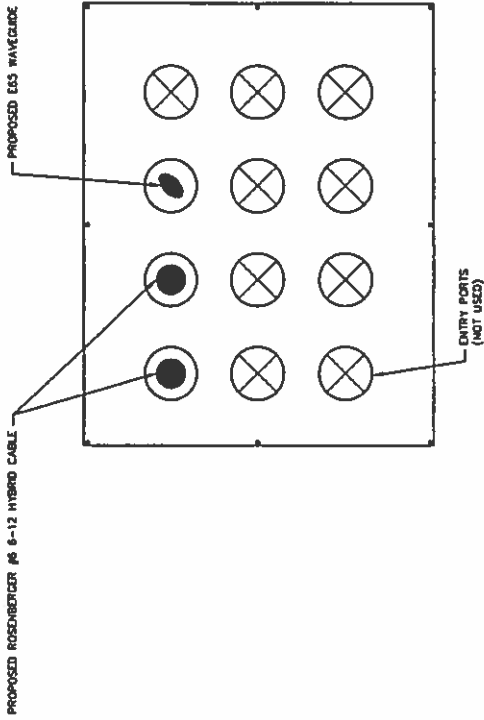
ELP - TRUMAN

SET ISSUED FOR
 BOX 204 REVIEW 05/06/15
 BOX 205 REVIEW 05/15/15
 CONSTRUCTION 10/20/15
 REV. 0 02/19/16
 REV. 1 02/19/16
 REV. 2 02/26/16

NO.	DATE	DESCRIPTION
0	02/02/16	ZONING COMMENTS
1	02/02/16	CHANGE USE TO 3.01 C3.1
2	02/02/16	ZONING COMMENTS

ENTRY PORT
 DETAILS

C5.1



ENTRY PORT DETAILS

SCALE: N.T.S.

1

NOTE 1. REFER TO 1/C3.1 FOR COAX CABLE INFORMATION.

INFORMATION
THIS IS A VERIZON WIRELESS
ANTENNA SITE

SITE ID:
FOR INFORMATION, CALL:
800-264-6620

8"x12" INFORMATION CONTACT SIGN

- HATCHED AREAS TO BE GREEN.
- SIGN TO BE LOCATED AT SITE ENTRANCE
- GATE TEXT TO BE BLACK ON WHITE
- BACKGROUND.

1 EMERGENCY CONTACT SIGN
SCALE: N.T.S.

Federal Communications Commission
Tower Registration Number

1 2 3 4 5 6 7

Placed in accordance with Federal Communications Commission rules on antenna tower registration (47CFR17.4(g)).

8"x12" FCC TOWER REGISTRATION SIGN

- NOTE:
- CONTRACTOR TO VERIFY FCC REGISTRATION NUMBER WITH VERIZON WIRELESS ON PRIOR TO INSTALLATION.

2 FCC/ASR POSTING
SCALE: N.T.S.

NOTICE

GUIDELINES FOR WORKING IN RADIOFREQUENCY ENVIRONMENTS (RFE) AWARENESS TRAINING

- ALL PERSONNEL ENTERING THIS SITE MUST BE AUTHORIZED
- OBEY ALL POSTED SIGNS
- ASSUME ALL ANTENNAS ARE ACTIVE.
- BEFORE WORKING ON ANTENNAS, NOTIFY OWNERS AND DISABLE APPROPRIATE TRANSMITTERS.
- MAINTAIN MINIMUM 3 FEET CLEARANCE FROM ALL ANTENNAS.
- DO NOT STOP IN FRONT OF ANTENNAS.
- USE PERSONAL RF MONITORS WHILE WORKING NEAR ANTENNAS.
- NEVER OPERATE TRANSMITTERS WITHOUT SHIELDS DURING NORMAL OPERATION.
- DO NOT OPERATE BASE STATION ANTENNAS IN EQUIPMENT ROOM.

- SIGN TO BE LOCATED AT MAIN-ENTRY POINT TO ANTENNAS
- BACKGROUND.

3 EME GUIDELINES SIGN
SCALE: N.T.S.

SAFETY RULES:

- ALL SIGNS MUST BE ALUMINUM UNLESS NOTED OTHERWISE.
- ALL SIGNS SHALL COMPLY WITH REQUIREMENTS AS SET FORTH IN THIS SPEC., AND 233.1, AND 233.2, AND AND 233.1-2007.
- ALL NECESSARY MATERIALS TO BE DELIVERED AND ACQUIRED AS WELL AS PERMITS AND APPROVALS AND LOCATION.
- SAFETY SIGNS MUST BE CLEARLY LOCATED AND CLEARLY VISIBLE.
- SAFETY SIGNS MUST BE PROMINENTLY LOCATED PRIOR TO TESTING OF ELECTRONIC EQUIPMENT FOR COMMISSIONING THE EQUIPMENT.
- UNLESS NOTED OTHERWISE, ALL SIGN BACKGROUNDS TO BE WHITE.
- TEXT IS TO BE BLACK.

NOTICE

Radio frequency fields beyond this point may exceed the FCC general public exposure limits. Carry all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

- HATCHED AREAS TO BE BLUE
- SIGN TO BE LOCATED ON TOWER NEAR BELOW ACCESS NOTICE SIGN

4 RF EXPOSURE NOTICE
SCALE: N.T.S.

CAUTION

Beyond this point: Radio frequency fields at this site exceed the FCC rules for human exposures. Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

- HATCHED AREAS TO BE YELLOW
- SIGN TO BE LOCATED ON TOWER NEAR CLIMBING ACCESS.

5 RF EXPOSURE CAUTION
SCALE: N.T.S.

WARNING

Beyond this point: Radio frequency fields at this site exceed the FCC rules for human exposures. Failure to obey all posted signs and site guidelines for working in radio frequency environments could result in serious injury.

- HATCHED AREAS TO BE RED
- SIGN TO BE LOCATED ON TOWER NEAR CLIMBING ACCESS.

6 RF EXPOSURE WARNING
SCALE: N.T.S.

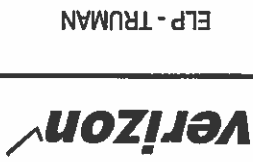
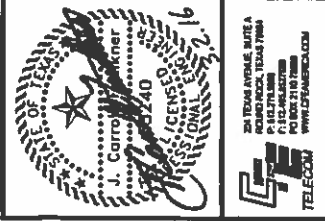
RED FILL
YELLOW FILL
WHITE FILL
BLUE FILL

DIESEL

10"x10" HAZMAT DIAMOND SELF ADHESIVE VINYL

- (1) SIGN TO BE LOCATED NEAR OR ON FUEL TANK.

7 DIESEL FUEL HAZMAT WARNING
SCALE: N.T.S.



DATE
08/15/13

DATE
09/15/13

DATE
10/20/13

DATE
02/01/14

DATE
02/19/14

DATE
02/26/13

NO. | DATE | REVISIONS

1	02/01/14	CHANGE COMMENTS
2	02/01/14	CHANGE COMMENTS
3	02/26/13	CHANGE COMMENTS

SIGN
DETAILS

C6



241 N. MAIN ST. SUITE 4
 MEMPHIS, TENNESSEE 38102
 P. 901.278.5800
 F. 901.278.5770
 WWW.ETELCOM.COM



ELP - TRUMAN

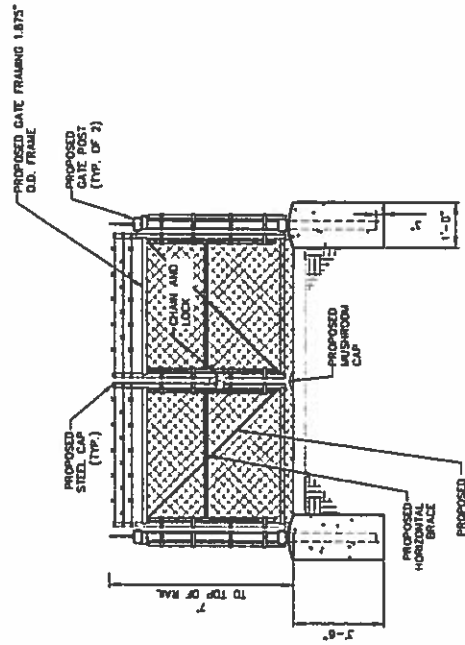
SET ISSUED FOR
 DATE 02/09/13
 FOR 20% REVIEW 05/15/13
 FOR 50% REVIEW 09/20/13
 CONSTRUCTION 02/01/16
 REV. 0
 REV. 1 02/19/16
 REV. 2 02/26/16

NO.	DATE	DESCRIPTION
0	02/09/13	ISSUE FOR 20% COMMENTS
1	02/19/16	CHANGE WIP TO 5 ON C311
2	02/26/16	ISSUE FOR 50% COMMENTS

CHAIN LINK
 GATE DETAIL

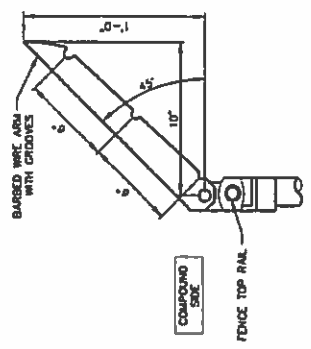
C8

- NOTES:**
1. ALL MATERIALS TO BE GALVANIZED.
 2. MAXIMUM POST SPACING SHALL BE 10'-0".
 3. CONCRETE SHALL HAVE 5000 PSI MINIMUM 28-DAY COMPRESSIVE STRENGTH.
 4. ALL POST TO BE SCHEDULE 40 PIPE.

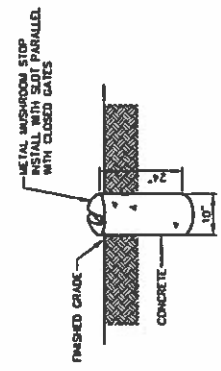


1 CHAIN LINK GATE DETAIL
 SCALE: N.T.S.

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3 EXTENSION ARMS
 SCALE: N.T.S.



2 MUSHROOM STOP DETAIL
 SCALE: N.T.S.



301 TEXAS AVENUE, SUITE A
 HOUSTON, TEXAS 77002
 P: 281-462-1100
 F: 281-462-1101
 TELECOM: 281-462-1102
 WWW.JJWALKER.COM



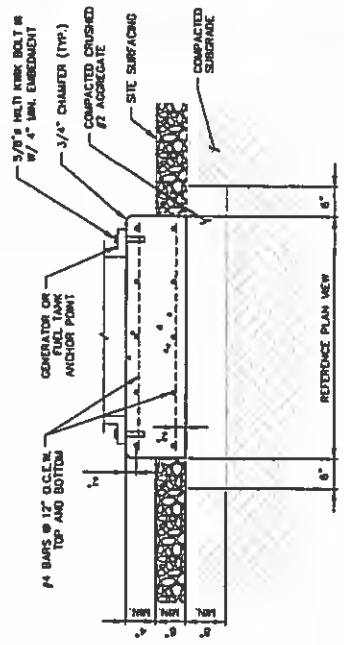
ELP - TRUMAN

NO.	DATE	DESCRIPTION
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2	02/10/15	REVISED FOR COMMENTS
3	02/10/15	REVISED FOR COMMENTS
4	02/10/15	REVISED FOR COMMENTS
5	02/10/15	REVISED FOR COMMENTS
6	02/10/15	REVISED FOR COMMENTS
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17	02/10/15	REVISED FOR COMMENTS
18	02/10/15	REVISED FOR COMMENTS
19	02/10/15	REVISED FOR COMMENTS
20	02/10/15	REVISED FOR COMMENTS

NO.	DATE	DESCRIPTION
1	02/09/15	ISSUED FOR PERMITS
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3	02/10/15	REVISED FOR COMMENTS
4	02/10/15	REVISED FOR COMMENTS
5	02/10/15	REVISED FOR COMMENTS
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19	02/10/15	REVISED FOR COMMENTS
20	02/10/15	REVISED FOR COMMENTS

FOUNDATION
 PLANS & DETAILS

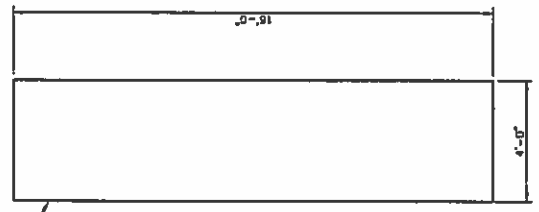
S2



PROPOSED GENERATOR
 AND CABINET PAD SECTION
 SCALE: N.T.S.

2

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10\"/>

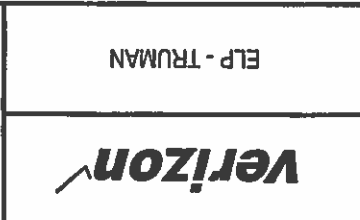
- NOTES:
1. REFERENCE CIVIL DRAWINGS FOR PLAN NORTH.
 2. FINISHED FLOOR ELEVATION OF SLAB SHALL BE LEVEL AND 4\"/>

PROPOSED
 EQUIPMENT CABINET & GENERATOR
 PAD PLAN
 SCALE: N.T.S.

1



33240
 J. Carlos Mulliner
 ELECTRICAL ENGINEER
 LICENSE NO. 16166
 STATE OF TEXAS



NO.	DATE	DESCRIPTION
0	05/04/15	SET ISSUED FOR
1	07/07/14	REV 0
2	07/07/14	REV 1
3	07/07/14	REV 2

ELECTRICAL & GROUNDING NOTES

E1

1.1 GENERAL

A. CONTRACTOR SHALL PROVIDE ALL TYPES OF LABOR AND MATERIALS TO MAKE A COMPLETE INSTALLATION OF ELECTRICAL WORK, AS SHOWN ON DRAWINGS, AND AS NECESSARY FOR COMPLETE SYSTEMS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

- MAIN POWER BRANCH/FEEDERS AS REQUIRED.
- BRANCH FEEDER FOR POWER AND LIGHTING.
- ALL ELECTRICAL CONDUITS AND CONDUIT FITTINGS.
- ALL LIGHTING FIXTURES AND LAMPS.
- ALL COMMUNICATION TIGHT CONTACT SYSTEMS.
- LIGHTNING SURGE PROTECTION DEVICES.
- ANTENNA AND EQUIPMENT BRACKETING.

1.2 ELECTRICAL REQUIREMENTS

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL ADMINISTRATIVE CODES, STATE AND NFPA IEC.
- ALL WORK SHALL BE COMPLETED BY A CERTIFIED MASTERS ELECTRICIAN.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF NATIONAL STANDARDS.
- AFTER INSTALLATION TEST ALL CONDUCTORS FOR SHORTS AND GROUND SURGE ENERGIZING.
- EXTERIOR LIGHTING SHALL COMPLY WITH OUTDOOR LIGHTING ORDINANCE AND THE MOST STRICT PROTECTION A.E.I.

1.3 GUARANTEE

- THE CONTRACTOR SHALL FURNISH A WRITTEN CONTRACT GUARANTEEING ALL MATERIALS, EQUIPMENT AND LABOR FURNISHED BY CONTRACTOR TO BE FREE OF ALL DEFECTS FOR A PERIOD OF ONE YEAR FROM AND AFTER THE DATE OF FINAL ACCEPTANCE OF ELECTRICAL WORK BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING THE SUPPLIED GUARANTEED ITEMS. SUCH WORK SHALL BE REPLACED WITHOUT COST TO THE OWNER.

1.4 FEDERAL SWITCHES, METERING EQUIPMENT

- MAKE ARRANGEMENTS WITH OWNERS AS NEEDED TO BRING IN BRANCH FEEDERS FOR ELECTRICAL SERVICE AS SHOWN ON DRAWINGS. PAY ALL FEES AND CHARGES TO THE OWNER.
- PROVIDE METER AS SHOWN ON DRAWINGS.

1.5 ELECTRICAL CONSTRUCTION

- ELECTRICAL CONSTRUCTION SHALL COMPLY WITH ACCORDANCE WITH UNDERWRITERS LABORATORIES (UL) LISTED AND MANUFACTURED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2014 (NEC) AND 70-2011 (NFPA).
- ALL ELECTRICAL WORK SHALL BE MANUFACTURED BY UL LISTED AND MANUFACTURED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2014 (NEC) AND 70-2011 (NFPA).
- CONDUCTORS SHALL BE TYPE "THHN/THWN" INSULATION.
- INSTALL CONDUCTORS IN CLEAN, DRY CONDUITS USE UL APPROVED PULLING LUBRICANT WHERE REQUIRED.
- USE #12 AS MINIMUM CONDUCTOR SIZE FOR POWER SYSTEMS. ALL CONTROL WIRING SHALL BE STRANDED AND THERMALLY RATED WITH COMPATIBLE LUGS.
- MAKE CONNECTION, SPICES AND TAPS ONLY IN APPROVED BOXES AND FITTINGS. FOR SMALL BRANCH CIRCUIT CONDUCTORS, FIRST TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS. FOR LARGE CONNECTIONS, TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS. FOR LARGE CONNECTIONS, TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS. FOR LARGE CONNECTIONS, TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS.

1.6 CONDUIT

- PROVIDE A COMPLETE ASSEMBLY OF CONDUIT, BUNDLES OR BUNCHES WITH FITTINGS, INCLUDING, BUT NOT LIMITED TO, CONNECTORS, SPLICES, COUPLERS, UNIONS, ELBOWS, BUSHINGS, EXPANSION FITTINGS, OTHER COMPONENTS AND ACCESSORIES AS REQUIRED. CONDUITS AND CONDUIT BUNDLES MUST BE COMPRESSION TYPE FOR BONDING REQUIREMENTS.
- FITTINGS SHALL BE DESIGNED AND APPROVED FOR THE SPECIFIC USE INTENDED. PROVIDE INSULATED TIGHTS OR BUSHINGS FOR ALL CONDUITS. GROUNDING BUSHINGS SHALL ALSO HAVE INSULATED TIGHTS.
- MINIMUM CONDUIT SIZE IN ALL CLASSES SHALL BE 1/2" UNLESS MINIMUM SIZE IS SPECIFIED TO BE LARGER FOR SPECIFIC SYSTEMS SPECIFIED ELSEWHERE IN THE SPECIFICATIONS OR ON THE DRAWINGS.
- ROD STEEL CONDUIT SHALL BE HEAVY-WALL STEEL TUBE WITH METALLIC CORROSION-RESISTANT COATING ON INTERIOR AND EXTERIOR. HOT-DIPPED GALVANIZED STEEL CONDUIT SHALL BE USED UNLESS OTHERWISE SPECIFIED. GALVANIZED STEEL CONDUIT SHALL BE USED UNLESS OTHERWISE SPECIFIED.
- UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC.
- AS A MINIMUM, CONDUIT SIZES SHALL BE IN ACCORDANCE WITH NEC. CONDUIT FIT REQUIREMENTS REGARDLESS OF SIZE SCHEDULE OR CONDUIT FIT REQUIREMENTS. CONDUIT FITS SHALL BE USED UNLESS OTHERWISE SPECIFIED. CONDUIT FITS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

1.7 CONDUIT INSTALLATION

- ANCHOR CONDUIT WITH HANGERS, CONDUIT STRAPS OR OTHER DEVICES SPECIFICALLY DESIGNED FOR THE PURPOSE. WIRE TIES SHALL NOT BE PERMITTED. USE TRAPPEZOIDAL HANGERS FOR MULTIPLE PARALLEL CONDUIT BUNDLES.
- ALL CONCRETE INSERTS SHALL BE GALVANIZED OR COBALT PLATED. MINIMUM HANGERS, TRAPPEZOIDAL HANGERS AND RODS SHALL BE PRIME PAINTED.
- INSTALL HORIZONTAL RUNS OF CONDUIT TO PROVIDE A NATURAL DRAIN TO PREVENT MOISTURE COLLECTING IN THE PROTECTS OR TRAPS.
- CONDUIT ENDS UNLESS CONDUIT IS INSTALLED TO PREVENT FOREIGN OBJECTS FROM ENTERING CONDUIT.
- FITTINGS AND CONDUIT SHALL BE APPROVED FOR GROUNDING PURPOSES OR SHALL BE APPROVED WITH A COPPER GROUNDING CONNECTION OF PROPER APPROPRIATE LEAVE TERMINATION OF SUCH JUNCTIONS EXPOSED.
- INSTALL 1/2" (50) POUND WELON PULL COBBS IN BUNCH-IN RACEWAYS.
- INSTALL OXYGEN, FILL BOXES AND ELBOWS AS REQUIRED TO ACCOMPLISH A HORIZONTAL BONDING OF THE SYSTEMS.
- CONDUITS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANT BARRIERS SHALL BE FIRE STOPPED USING APPROVED METHODS TO MAINTAIN THE FIRE RESISTANT RATING.

1.8 JUNCTION AND PULL BOXES

- USE GALVANIZED PULL AND JUNCTION BOXES THAT COMPLY WITH NEC AS TO SIZE AND CONSTRUCTION.
- FOR JUNCTION AND PULL BOXES, USE BOXES NOT LESS THAN 4" SQUARE AND 1 1/2" DEEP WITH REMOVABLE COVERS.
- IN SET BACKS OR OUTDOORS, USE CAST ALUMINUM OR CAST IRON BOXES WITH THREADED HUBS AND CASKETS COVERS.
- INSTALL JUNCTION AND PULL BOXES IN ACCESSIBLE LOCATIONS. POSITION BOXES SO COVERS CAN BE REMOVED.
- INSTALL BOXES ON CONCEALED CONDUITS WITH COVERS FLUSH WITH FINISH SURFACE.
- USE LUGS CONTAINERS.
- ALL ELECTRICAL EQUIPMENT AND WIRING WITHIN (5) FEET SHALL BE CLASS 1 DIVISION 1.
- ELECTRICAL WIRING AND EQUIPMENT (5) FEET TO (10) FEET SHALL BE CLASS 1 DIVISION 2.

1.9 PANELBOARD CONSTRUCTION

- PANEL BOARDS SHALL CONSIST OF A CABINET, INTERIOR AND CIRCUIT BREAKERS AND SHALL BE MANUFACTURED IN ACCORDANCE WITH UNDERWRITERS LABORATORIES (UL) LISTED AND MANUFACTURED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2014 (NEC) AND 70-2011 (NFPA).
- ALL ELECTRICAL WORK SHALL BE MANUFACTURED BY UL LISTED AND MANUFACTURED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-2014 (NEC) AND 70-2011 (NFPA).
- CONDUCTORS SHALL BE TYPE "THHN/THWN" INSULATION.
- INSTALL CONDUCTORS IN CLEAN, DRY CONDUITS USE UL APPROVED PULLING LUBRICANT WHERE REQUIRED.
- USE #12 AS MINIMUM CONDUCTOR SIZE FOR POWER SYSTEMS. ALL CONTROL WIRING SHALL BE STRANDED AND THERMALLY RATED WITH COMPATIBLE LUGS.
- MAKE CONNECTION, SPICES AND TAPS ONLY IN APPROVED BOXES AND FITTINGS. FOR SMALL BRANCH CIRCUIT CONDUCTORS, FIRST TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS. FOR LARGE CONNECTIONS, TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS. FOR LARGE CONNECTIONS, TEST CONNECTIONS TO BE MADE IN APPROVED BOXES AND FITTINGS.

2.1 GENERAL

A. GROUNDING SHALL BE INSTALLED PER VERIZON WIRELESS MTD 48 STANDARDS AND GUIDELINES FOR COMMUNICATIONS SITES.

2.2 CONNECTIONS

- ALL EXTERNAL GROUNDING CONNECTIONS SHALL BE MADE BY THE END USER. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS. ALL CONNECTIONS SHALL BE MADE BY THE END USER. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL INTERNAL GROUNDING AND BONDING CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL INTERNAL GROUNDING AND BONDING CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL INTERNAL GROUNDING AND BONDING CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.

2.3 DISSEMBLY METALS

- BONDING OF TWO DISSIMILAR METALS MAY RESULT IN GALVANIC CORROSION. A REACTION THAT OCCURS AT THE JUNCTION OF DISSIMILAR METALS WHEN THEY ARE EXPOSED TO MOISTURE. THE DEGREE AND RATE OF CORROSION DEPENDS ON THE RELATIVE POSITION OF THE METALS IN THE ELECTROCHEMICAL SERIES.
- THE SAME METAL SHALL BE USED THROUGHOUT THE SYSTEM WHEN EXTERNALLY WELDED CONNECTIONS OF DIFFERENT METALS WHEN WELD MATERIAL IS AVAILABLE FOR THE METALS BONDING.
- COPPER CONDUCTORS SHALL NOT BE INSTALLED ON ALUMINUM ROOFING OR OTHER UNLESS USING COPPER-BONDING MATERIALS SPECIFICALLY APPROVED FOR THESE TWO METALS TO MAKE THE CONNECTION. ALUMINUM CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL INTERNAL GROUNDING AND BONDING CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.

2.4 GROUNDING RODS

- GROUNDING RODS SHALL BE CORROSION RESISTANT. 1/2" DIA. OF 1/2" DIA. AND OF THE SAME SIZE AND LOCATIONS INDICATED. GROUNDING RODS SHALL BE DRIVEN FULL LENGTH VERTICALLY IN UNDISTURBED EARTH.
- GROUNDING RODS SHALL BE LOCATED 50 AS TO AVOID THE TOWER FOUNDATION.
- IF ROD IS ENCOUNTERED, GROUNDING RODS MAY BE DRIVEN AT AN OBLIQUE ANGLE TO THE HORIZONTAL. THE OBLIQUE ANGLE SHALL BE SUCH THAT THE ROD IS DRIVEN FULL LENGTH VERTICALLY IN UNDISTURBED EARTH. THE OBLIQUE ANGLE SHALL BE SUCH THAT THE ROD IS DRIVEN FULL LENGTH VERTICALLY IN UNDISTURBED EARTH.
- GROUNDING RODS SHALL BE LOCATED 50 AS TO AVOID THE TOWER FOUNDATION.

2.5 GROUNDING BARS

- ALL EXTERIOR GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED.
- GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED. GROUNDING BARS SHALL BE GALVANIZED.
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2.6 GROUNDING SYSTEMS

- GROUNDING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.6 IN VERIZON WIRELESS MTD 48 (DATED 9-1-13).
- GROUNDING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.6 IN VERIZON WIRELESS MTD 48 (DATED 9-1-13).
- GROUNDING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.6 IN VERIZON WIRELESS MTD 48 (DATED 9-1-13).
- GROUNDING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 2.6 IN VERIZON WIRELESS MTD 48 (DATED 9-1-13).

2.7 TEST PROCEDURE

- GROUNDING TEST MUST BE PERFORMED PRIOR TO FINAL CONNECTION AND GROUND CONNECTION TO EXISTING SITE COMMON GROUNDING ELECTRICAL SYSTEM.

GROUNDING LEGEND

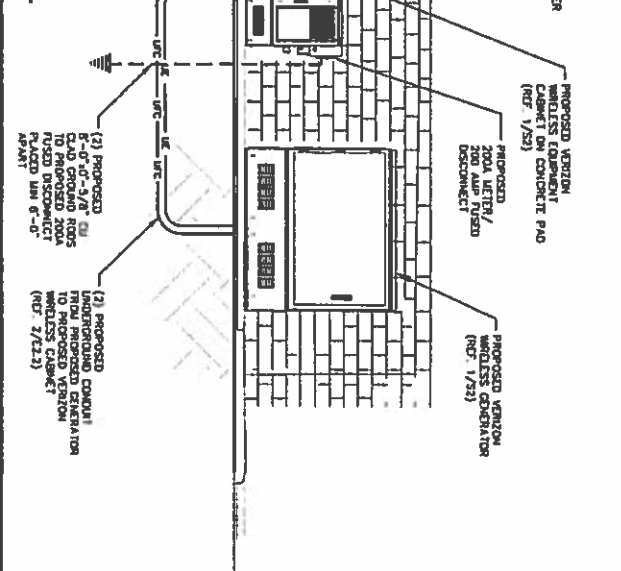
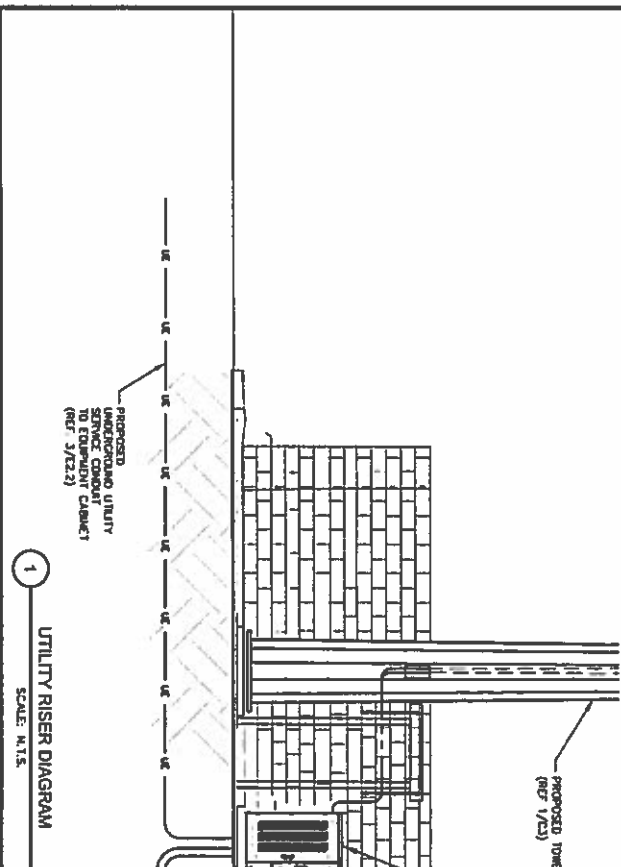
—	GROUND BAR
•	ELECTRICAL WELD CONNECTION
▲	MECHANICAL CONNECTION (2-HOLE LUG, CONDUIT GROUND CLAMP, ETC.)
⊥	GROUND ROD WITH EXOTHERMIC WELD
⊥	GROUND ROD WITH EXOTHERMIC WELD
⊥	TEST WELL
⊥	OPEN ROD
---	2" THICK SOLID BARE COPPER GROUND (EXTERIOR)

2.8 CABLES

- ALL EXTERIOR GROUNDING CABLES SHALL BE STANDARD #12 AWG SOLID BARE COPPER WIRE UNLESS INDICATED OTHERWISE ON DRAWINGS.
- WHERE THE DIRECTION OF THE CONDUIT MUST CHANGE, IT SHALL BE MADE BY THE CONTRACTOR. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL CONDUITS SHALL BE MECHANICALLY SUPPORTED.
- ALL CONDUITS USED AS RACEWAYS FOR GROUNDING CONDUCTORS SHALL BE INSTALLED WITH LUGS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- PROVIDE WIRE PROTECTION PIPES AT ALL GROUND WIRE AT GRADE LEVEL.

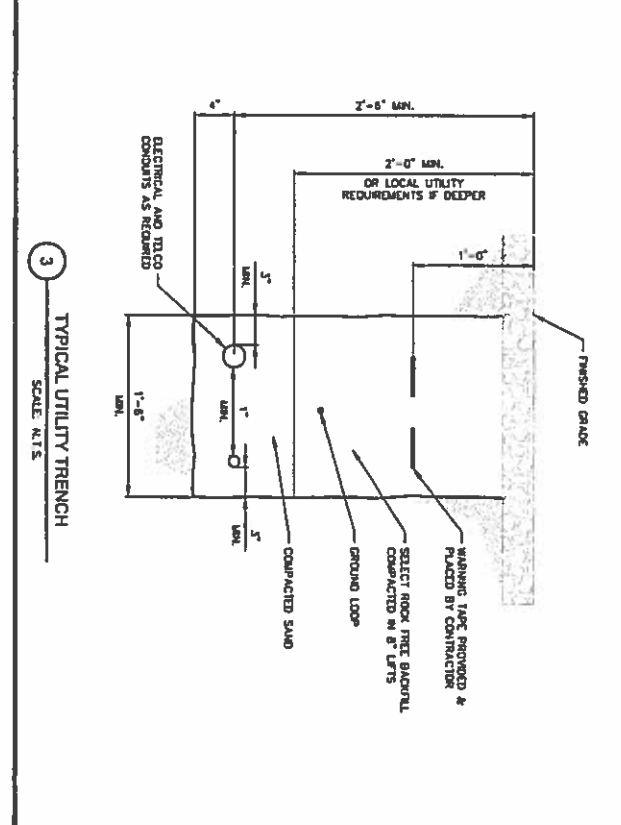
2.9 GROUNDING BOND


- THE GROUND BOND ENVELOPING THE BUILDING SHALL BE A MINIMUM SIZE OF #12 AWG SOLID COPPER CONDUCTOR IN DIRECT CONTACT WITH THE GROUNDING SYSTEM. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.
- ALL EXTERIOR GROUNDING BONDING SHALL BE GALVANIZED. GROUNDING BONDING SHALL BE GALVANIZED. GROUNDING BONDING SHALL BE GALVANIZED. GROUNDING BONDING SHALL BE GALVANIZED.
- ON THE EXTERIOR, A COMPLETE ENCLOSED ELECTRICAL SYSTEM SHALL BE PROVIDED. PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONNECTIONS.




- NOTES**
1. ALL UNDERGROUND PRIMARY CABLE SHALL BE MARKED WITH YELLOW WIRELESS MARKING TAPE PROVIDED BY UTILITY COMPANY.
 2. THE WIRELESS TAP SHALL BE PLACED IN THE CENTER OF THE WIRELESS GENERATOR AND WIRELESS EQUIPMENT CABINET BELOW FINISHED GRADE WHILE BACKFILLING ELECTRICAL TRENCH.
 3. SELECTED BACKFILL OF ROCK-FREE SOIL SHALL BE PLACED IN 6 INCH LAYERS AT A TIME AND EACH LAYER WELL TAMPED.
 4. SCHEDULE 40 PVC MAY BE USED ON HORIZONTAL RUNS UNDER COOL DRY CONDITION. SCHEDULE 40 PVC SHALL BE USED ON VERTICAL AREAS AND ON VERTICAL RUNS. CONDUIT SHALL BE INSTALLED BY CONTRACTOR.
 5. ALL CONDUIT BENDS SHALL BE LOW SWEPT TYPE.
 6. ALL WIRES TERMINATING AT THE CONDUIT MUST BE STRANDED.

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ELP - TRUMAN



STATE OF MISSOURI
J. Carroll
2010
LICENSED PROFESSIONAL ENGINEER
3, 2, 16

SET ISSUED FOR

DATE	DESCRIPTION
06/26/15	FOR DR REVIEW
06/26/15	FOR DR REVIEW
10/20/15	CONSTRUCTION
02/01/16	REV. 1
02/19/16	REV. 2
02/28/16	REV. 2

REVISIONS

NO.	DATE	DESCRIPTION
0	02/20/16	ISSUE CONTRACT
1	02/19/16	CHANGE PER TO 5\"/>

UTILITY DIAGRAM & DETAILS

E2.2.2



204 TEXAS AVENUE, SUITE 4
 FORT WORTH, TEXAS 76102
 P.O. BOX 118758
 WASHINGTON, D.C. 20036-1875
 TELECOM

verizon

ELP - TRUMAN

SET ISSUED FOR DATE

NO. 1	DATE	DESCRIPTION
1	02/08/15	REVISED
2	02/09/15	NOTED REVISION
3	02/20/15	CONSTRUCTION
4	02/20/15	REV 0
5	02/19/15	REV 1
6	02/28/15	REV 2

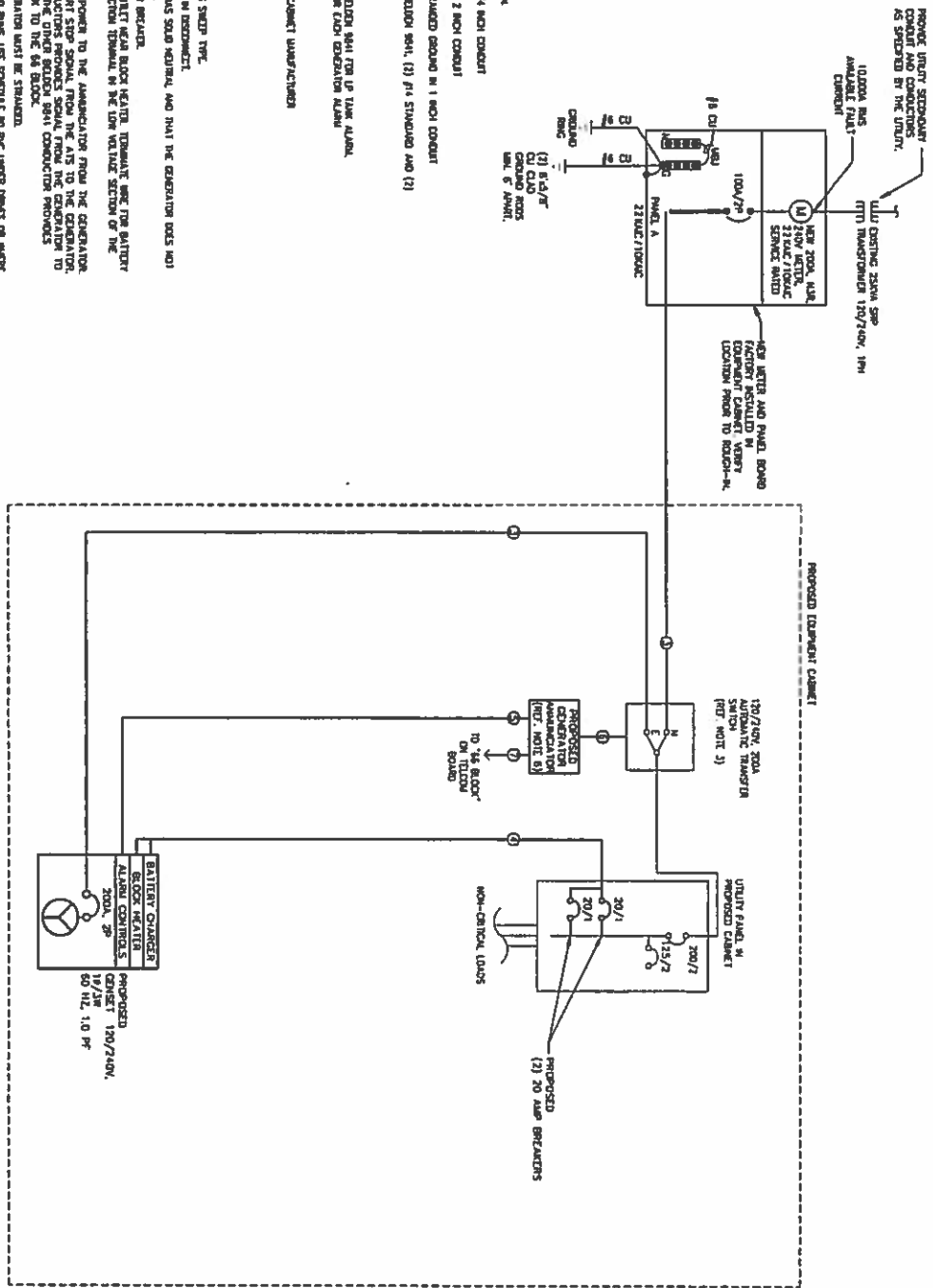
REVISIONS

NO.	DATE	DESCRIPTION
0	02/08/15	ISSUE FOR ZONING COMMENTS
1	02/09/15	QUICK AIR TO J. DA SILL
2	02/09/15	ZONING COMMENTS

ELECTRICAL
 ONE LINE
 DIAGRAM

E2.3

ONE LINE ELECTRICAL DIAGRAM
 N.T.S.



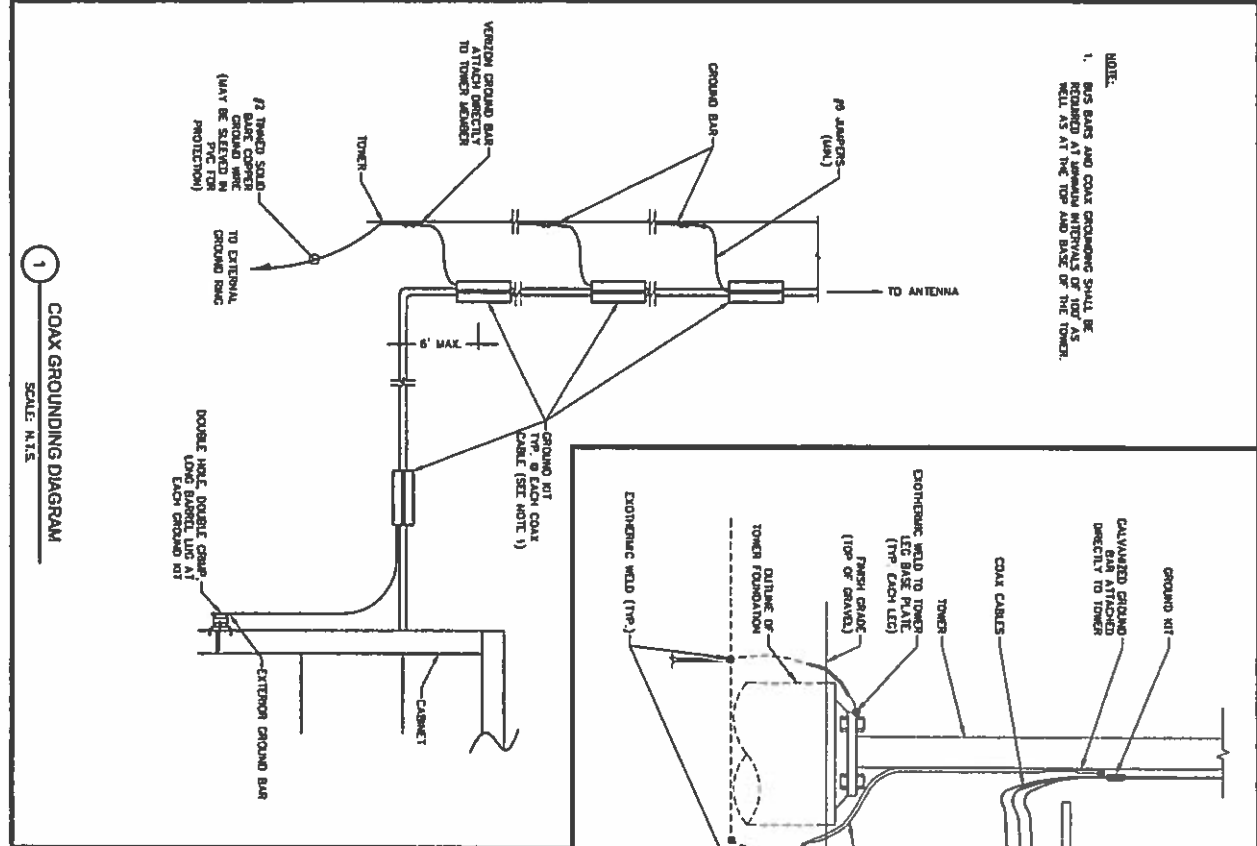
- PROVIDE UNIT SECONDARY CONDUIT AND CONDUCTORS AS SPECIFIED BY THE UNIT.

1. (3) 3/8 THIN AND (1) #2 THIN WIRE
2. (3) #1 AND (1) #6 CONDUIT IN 1-1/4 INCH CONDUIT
3. (3) 3/8 THIN AND (1) #2 THIN IN 2 INCH CONDUIT
4. (4) #12 STRANDED AND (2) #12 STRANDED BUNDLE IN 1 INCH CONDUIT
5. (2) 1 PAIN THREADED SCHEDULE #24 BOLLON 90-1, (2) #14 STRANDED AND (2) #10 STRANDED IN 1 INCH CONDUIT
6. (2) #14 IN 1/2 INCH CONDUIT
7. (1) 1 PAIN THREADED SCHEDULE #24 BOLLON 90-1 FOR UP LAMP ALARM
8. AS INDICATED ONE THREADED PAIN FOR EACH EXHAUSTION ALARM
9. (1) #4 CONDUIT
10. (1) #4 CONDUIT
11. CONDUIT INSTALLED BY EQUIPMENT MANUFACTURER

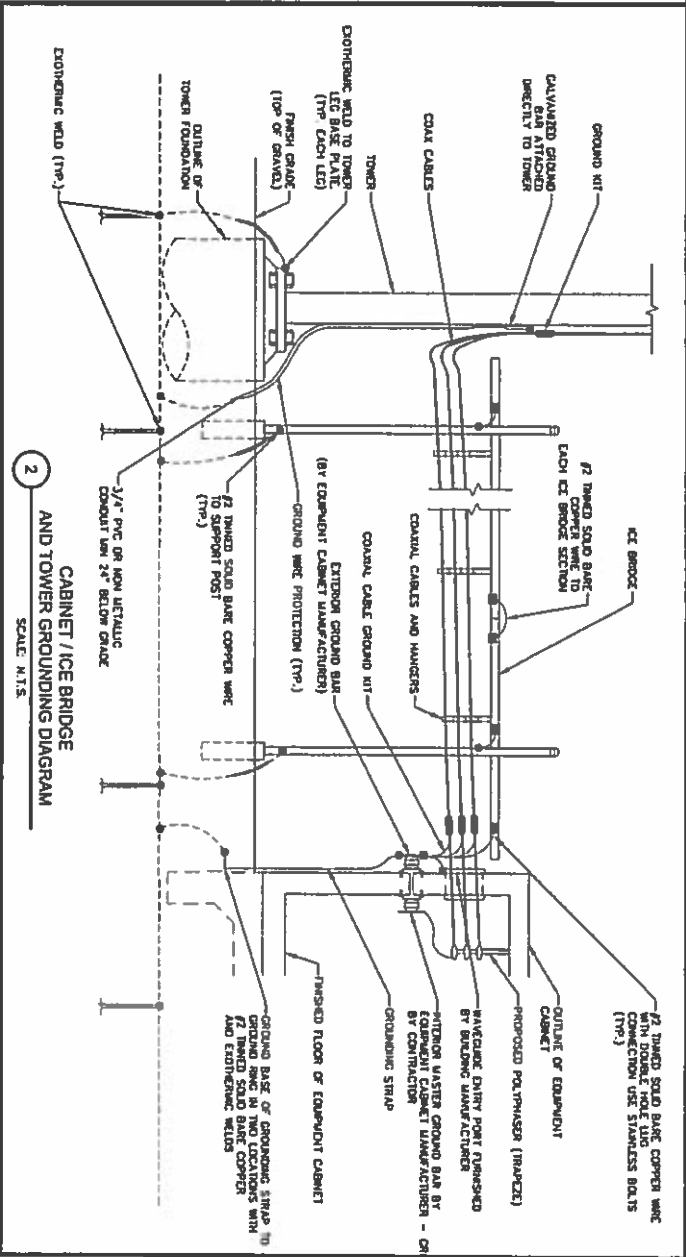
NOTES:

1. ALL CONDUIT BUNDLES SHALL BE LONG SHOOT TYPE.
2. UTILITIES DESIRABLE TO OBTAIN BIDDING IN RESPONSE.
3. CONNECTION TO EXISTING BIDDING SHALL BE SOLID KEYSHIFT AND THAT THE EXHAUSTION DOES NOT HAVE A KEYSHIFT TO EXISTING BIDDING.
4. VERIFY THE SIZE OF THE EXHAUSTION BREAKER.
5. CONDUCTOR TO CONTROL EXHAUSTION ALARM SHALL BE 18 AWG THIN WIRE TYPICAL, USE THE BATTERY CONNECTION TO THE EXHAUSTION CONNECTION TERMINAL IN THE LOW VOLTAGE SECTION OF THE EXHAUSTION.
6. THE (2) #14 WIRE PROVIDE DC POWER TO THE ALARMATION FROM THE GENERATOR. THE (2) #14 WIRE PROVIDE START SIGNAL FROM THE ATS TO THE GENERATOR. ONE OF THE BOLLON 90-1 CONDUCTORS PROVIDES SIGNAL FROM THE EXHAUSTION TO THE GENERATOR. THE OTHER BOLLON 90-1 CONDUCTOR PROVIDES SIGNAL FROM THE BOLLON 90-1 CONDUCTOR TO THE BOLLON 90-1 CONDUCTOR.
7. ALL WIRE TERMINATING AT THE GENERATOR MUST BE STRANDED.
8. USE PVC CONDUIT FOR UNDERGROUND BIDDING. USE SCHEDULE 80 PVC UNDER BIDDING OR WHERE EXPOSED TO DAMAGE.
9. USE EMI SHIELD CONDUIT WITH SHIELDING BY EITHER CONDUIT.
10. USE LINC OR LINC BIDDING THE BIDDING SECTION AND THE UPS.

NOTE:
1. RIS BARS AND COAX GROUNDING SHALL BE REQUIRED AT MAXIMUM INTERVALS OF 10' AS WELL AS AT THE TOP AND BASE OF THE TOWER.

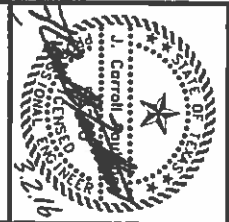


1 COAX GROUNDING DIAGRAM
SCALE: N.T.S.



2 CABINET / ICE BRIDGE AND TOWER GROUNDING DIAGRAM
SCALE: N.T.S.

THIS SPACE HAS BEEN INTENTIONALLY LEFT BLANK



201 TRUMAN BLDG. 4TH FLOOR
FEDERAL COMMUNICATIONS COMMISSION
WASHINGTON, D.C. 20535
TEL: 202/418-1800
WWW.FCC.FEDERALGOV.GOV

verizon
ELP - TRUMAN

SET ISSUED FOR	DATE
REV. 01	05/11/15
REV. 02	05/11/15
CONSTRUCTION	10/20/15
REV. 0	02/02/16
REV. 1	02/19/16
REV. 2	02/26/16

NO.	DATE	REVISIONS
0	02/02/16	ISSUE FOR CONSTRUCTION
1	02/19/16	REVISED GROUND WIRE TO 1\"/>

GROUNDING SYSTEM DIAGRAMS

E4

MEMORANDUM

DATE: April 11, 2016
TO: The Honorable Mayor and City Council
Tommy Gonzalez, City Manager
FROM: Andrew Salloum, Planner
SUBJECT: PZST16-00002

The City Plan Commission (CPC), on March 10, 2016, voted 5-1 to recommend **approval** of the special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within two one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F.

The CPC found that the special permit is in conformance with Plan El Paso. The CPC also determined that the special permit protects the best interest, health, safety and welfare of the public in general; that the proposed use is compatible with adjacent land uses; and the special permit will have no effect on the natural environment, social economic conditions, and property values in the vicinity and the city as a whole.

The Planning Division received 1 phone call and one person spoke at the CPC in opposition to the special permit request.

Property Owner: Mohammed Farokhnia
Applicant: Dallas MTA, LP d/b/a Verizon Wireless
Representative: Debra Weiss, Agent, KGI Wireless

Attachments:
Minority Report
Staff Report



City of El Paso – City Plan Commission Staff Report

Case No: PZST16-00002
Application Type: Special Permit and Detailed Site Development Plan Review
CPC Hearing Date: March 10, 2016
Staff Planner: Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov

Location: 4801 Dyer Street
Legal Description: A portion of Lots 1 & 2, Block 109, Morningside Heights, City of El Paso, El Paso County, Texas
Acreage: 0.008 acres
Rep District: 2
Zoning: C-4 (Commercial)
Existing Use: Motor vehicle repair, major
C/SC/SP/ZBA/LNC: None
Request: Special Permit to allow for a Personal Wireless Service Facility (PWSF) within a one-half mile distance to another PWSF
Proposed Use: Ground-mounted PWSF

Property Owner: Mohammed Farokhnia
Applicant: Dallas MTA, LP d/b/a Verizon Wireless
Representative: Debra Weiss, Agent, KGI Wireless

SURROUNDING ZONING AND LAND USE

North: C-4 (Commercial) / Pawn shop
South: C-4 (Commercial) / Limousine service
East: C-4/sp (Commercial/special permit) / Restaurant, Bar and Lounge
West: S-D (Special Development) / Vacated building

PLAN EL PASO DESIGNATION: G-2, Traditional Neighborhood (Walkable) (Central Planning Area)
NEAREST PARK: Pollard Park (1,498 feet)
NEAREST SCHOOL: Travis Elementary (1,284 feet)

NEIGHBORHOOD ASSOCIATIONS

Central Neighborhood Association
El Paso Central Business Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on February 24, 2016. The Planning Division has received a phone call in opposition to the special permit request.

APPLICATION DESCRIPTION

The applicant is requesting a special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within a one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F. The site plan shows a 360 sq. ft. lease area for a 68-foot high structure with antennas and service equipment enclosure. The antennas and support structure will be camouflaged to resemble a palm tree. The proposed PWSF meets all setback and height requirements for location in a commercial district. The applicant opted to request a landscape buyout as permitted by the landscaping ordinance for PWSF facilities. Two nearest PWSF are 0.35 miles to the southeast and is located on Tyler Avenue and 0.44 miles to the southwest and is located on Fillmore

Avenue. A maintenance access easement within a driveway is proposed from the alley via Truman Avenue.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.10.455 PWSF, 20.04.320, Special Permit, and 20.04.150, Detailed Site Development Plan.

ANALYSIS

20.10.455 Personal Wireless Service Facility (PWSF)

F. C-3, C-4 and C-5 Commercial Districts.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:

a. **Setbacks.** The PWSF antenna support structure shall meet the yard standards of the district, except that a setback of one foot for each foot of height, measured from the PWSF antenna support structure base to any abutting property line of property in a residential or apartment zoning district shall be required. In the case where a right-of-way or easement separates the property from a residential zoning district, the width of such right-of-way or easement shall be included in meeting the setback requirement; provided, however, that the setback from the property line shall never be less than that required in the district yard standards.

b. **Separation Between PWSF Antenna Support Structures.** The minimum separation distance between ground-mounted PWSF antenna support structures shall be one-half mile, except as provided in subsection (F)(1)(c). Separation distance shall be measured by drawing or following a straight line between the base of any existing PWSF antenna support structure and the proposed base of a new PWSF antenna support structure.

c. **Modified Separation Between PWSF Antenna Support Structures.** The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:

i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;

iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

The applicant has submitted proof that all 5 findings have been met, (see attachment 6).

d. **Height Restriction.** The PWSF antenna support structure and appurtenant antennas shall not exceed one hundred twenty-five feet in height, except as provided in subsection (F)(1)(e) or (F)(1)(f).

e. **Modified Height Restriction.** If the applicant is collocating two or more antennas on a structure or if the structure is camouflaged, then the height for a PWSF antenna support structure and appurtenant antennas shall not exceed one hundred fifty feet.

f. **Special Permit for Additional Height in C-3 and C-4 Commercial Districts Only.** The height for a ground-mounted PWSF antenna support structure and appurtenant antennas may be increased by city council upon approval of a special permit application, if the city council finds that:

i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant for a PWSF antenna support structure of the height being proposed by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

iii. The applicant cannot use another PWSF antenna support structure that is located such that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas; and

iv. Due to topographical conditions, the proposed height of the PWSF antenna support structure is reasonably necessary to enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable.

g. **Camouflage and Screening.**

i. **All Ground-Mounted PWSF Shall be Camouflaged.** Camouflaging is a method of disguising or concealing the appearance of an object by changing its usual color, modifying its shape or locating it in a structure that complements the natural setting, existing and surrounding structures. In the context of this section, camouflaging, includes, but is not limited to, making PWSF antenna support structures resemble man-made trees, locating PWSF antenna support structures in bell steeples or clock towers, or on similar alternative-design mounting structures.

ii. **Metallic Surfaces Shall be Painted to Reduce Glare and Reflections.** No exterior paint colors shall be used which have a light reflecting value (LRV) greater than forty percent. The LRV of a paint is available from paint manufacturers and it measures the amount of light reflected by a certain color.

iii. Screening of antennas on PWSF antenna support structures may include the use of existing parapets, walls, or similar architectural elements provided that it is painted and texturized to integrate with the architecture of the surrounding structure.

iv. Landscaping shall comply with all code requirements for landscaping.

h. **Other Requirements.** The following must accompany a request for a building permit or special permit:

i. A detailed plan showing the PWSF antennas support, antennas, and equipment in relation to the existing surroundings including screening, fencing, camouflage, off-street parking, and access from the PWSF antennas support site to the nearest public street;

ii. A verification letter that all required FAA and FCC approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant;

iii. Satisfactory completion of a certification of compliance for personal wireless service providers issued by the public safety technology office prior to actual use of the proposed facility accompanied by a verification letter that all required Federal Aviation Administration (FAA) and Federal Communications Commission (FCC) approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant; and

iv. The design of related support structures for new PWSF antenna support structures shall incorporate materials, colors, textures, screening, and camouflaging techniques that will blend them to the extent reasonably possible into the natural setting and surrounding

structures. The applicant will be required to provide photographs of predevelopment views versus post-development illustrations, at ninety-degree angles for a full three hundred sixty-degree radius, shown to scale. The building official shall review and consider any of the five items above to mitigate negative visual impacts created by the proposed PWSF antenna support structure and may require reasonable revisions necessary to bring the application into compliance with one or more of the five items above.

i. A six-foot high screening fence or wall of other than chain-link shall be constructed around the base of an antenna support structure to provide for security. The gate which provides access to the antenna support shall remain locked at all times except when being used for access by maintenance personnel. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted after review and approval by the building official of a structural recertification report prepared and sealed by a licensed professional engineer.

j. The access driveway and off-street parking spaces for use by maintenance vehicles shall be paved as approved by the building official.

k. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted. A structural recertification report prepared and sealed by a licensed professional engineer shall be required, and such report shall be reviewed and approved by the building official prior to issuance of a building permit.

The application meets the requirements for PWSF.

20.04.320 Special permit approvals.

- A. Building and occupancy permits shall not be issued to any building or use identified in this title as requiring a special permit until after approval of such special permit by the city council.
- B. Building and occupancy permits shall not be issued for any building or use identified in this title as requiring an approved detailed site development plan as required by Article III, until such approval has been granted.
- C. No building or occupancy permit may be granted for the erection, rehabilitation, enlargement or demolition of any building in a designated historic area or for any building that is a designated historic landmark until prior approval has been granted by the historic landmark commission.
- D. The city council, after hearing and report by the city plan commission, may approve a special permit upon a finding that the proposed development meets the following minimum requirements necessary to protect the public health, safety and general welfare of the community:
 - 1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located; complies with any special standards applicable to the particular type of development being proposed, or to the particular area in which the development is proposed; complies with any special approvals required in connection with such development or area;
 - 2. The proposed development is in accordance with and in furtherance of the plan for El Paso, any special neighborhood plans or policies adopted by the city regarding the development area, or any approved concept plan;
 - 3. The proposed development is adequately served by and will not impose an undue burden upon the public improvements and rights-of-way by which it will be served or benefited, or which exist or are planned for installation within its boundaries or their immediate vicinity. A traffic impact study may be required to determine the effects of the proposed development on the public rights-of-way;
 - 4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development;
 - 5. The design of the proposed development mitigates substantial environmental problems;
 - 6. The proposed development provides adequate landscaping and/or screening where needed to reduce visibility to adjacent uses;
 - 7. The proposed development is compatible with adjacent structures and uses;

8. The proposed development is not materially detrimental to the enjoyment or valuation of the property adjacent to the site.
- E. The applicant may request that the city plan commission waive one or more of the criteria based on its no applicability to the proposed development. The city plan commission, upon a recommendation of the planning official, shall make a determination on the no applicability of the criteria and shall render a finding based on such determination, and shall forward their recommendation to city council for final review and approval.

The application meets the requirements for special permit.

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Detailed Site Development Plan review is required as part of the special permit application.

20.04.150 Procedure.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.
 1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
 2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
 3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and storm water drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
 4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
 5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff has reviewed the detailed site development plan, and verified that it meets all requirements of Sections 20.04.320, Special Permit, and 20.04.150 Detailed Site Development Plan.

Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-2 – Traditional Neighborhood (Walkable): This sector includes the remainder of central El Paso as it existed through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in this Comprehensive Plan.

The purpose of the C-4 (Commercial) district is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses

characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities. Within the central business district, more intensive commercial uses are allowed, the predominant of which are retail trade and service uses, providing less restrictive height and area regulations.

COMMENTS:

Planning and Inspections Department – Planning Division - Transportation

No objections to the special permit request.

Note:

All existing / proposed paths of travel (accessible sidewalks, wheelchair access curb ramps and driveways) within public rights-of-way shall be in compliance with current ADA/TAS rules and regulations and the current City of El Paso Design Standards for Construction.

Planning and Inspections Department – Plan Review

No objections to proposed special permit.

Note:

At the time of submittal for building permits the project will need to comply with all applicable provisions of the IRC and local municipal code.

Planning and Inspections Department - Landscaping Division

No objection to proposed special permit per submitted landscape buyout letter.

Planning and Inspections Department - Land Development

1. No further objections.
2. Approval of the site plans by CPC constitutes a determination that the applicant is in compliance with the minimum provisions. Applicant is responsible for the adequacy of such plans, insuring that stormwater is in compliance with ordinances, codes, DSC, and DDM. Failure to comply may require the applicant to seek re-approval of the site plans from CPC.

Texas Department of Transportation

No permit is necessary since no work is proposed on TxDOT right of way.

Fire Department

EPFD has no objections.

Sun Metro

Sun Metro does not oppose this request. Sun Metro does have an existing bus stop serviced by Routes 32 & 35 immediately adjacent to 4831 Dyer. If there is any work to be done along Dyer that may impact this bus stop, coordination is recommended with Sun Metro Operations.

El Paso Water Utilities

EPWU does not object to this request.

Water:

There is an existing 6-inch diameter water main extending along the east side of the alley, west of Dyer Street between Truman Avenue and Lincoln Street, approximately 6-feet west of and parallel to the eastern right-of-way of the alley. This water main is available for service.

EPWU records indicate a killed water service at the subject property.

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main extending along the west side of Dyer Street, approximately 21-feet east of and parallel to the western right-of-way of Dyer Street. This sanitary sewer main is available for service.

There is an existing 8-inch diameter sanitary sewer main extending along the south side of Truman Avenue, approximately 25-feet north of and parallel to the southern right-of-way of Truman Avenue. This sanitary sewer main is available for service.

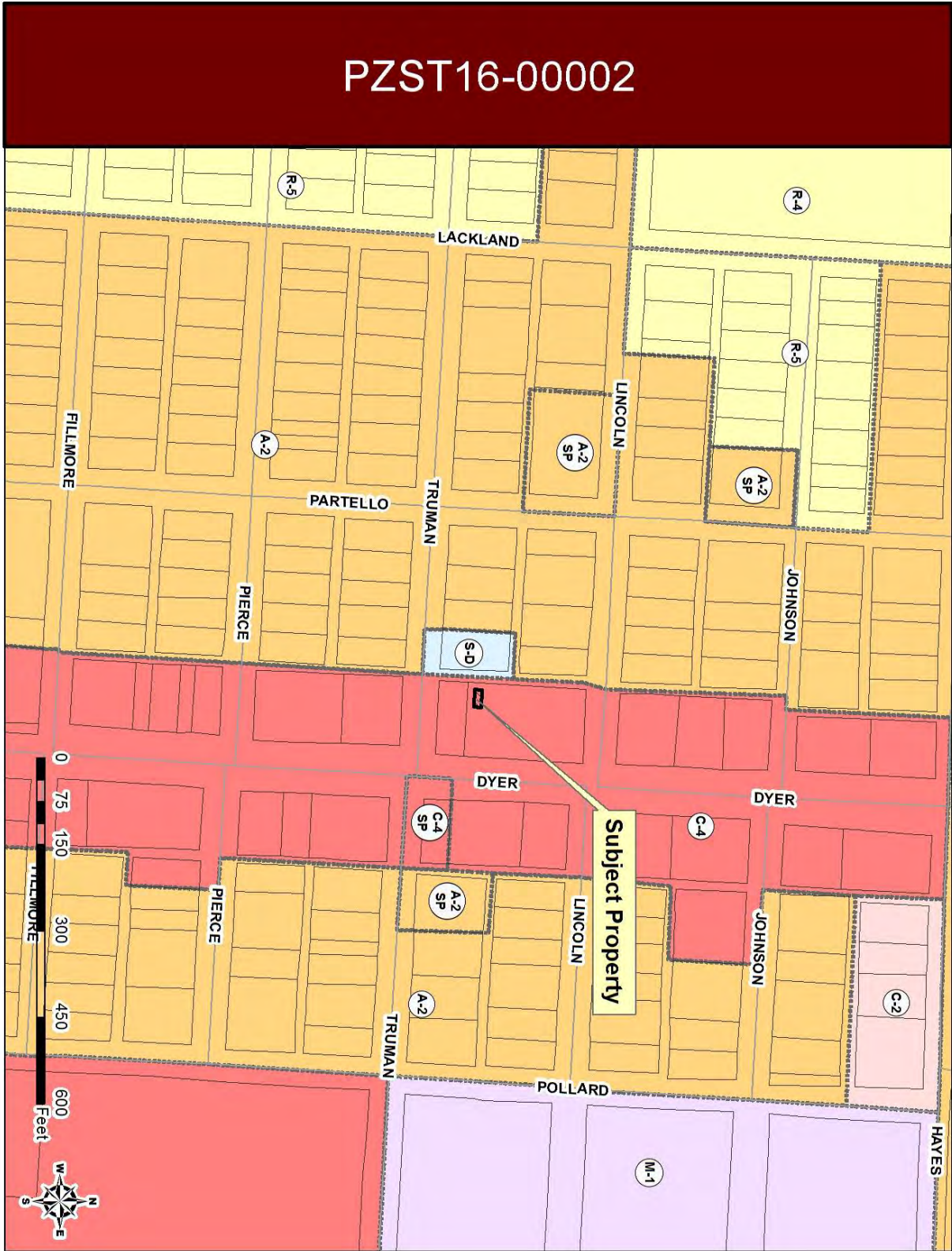
General:

EPWU requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Attachments

1. Zoning Map
2. Aerial Map
3. Detailed Site Development Plan
4. Simulation Pictures
5. Landscape Buyout Request
6. Findings Analysis

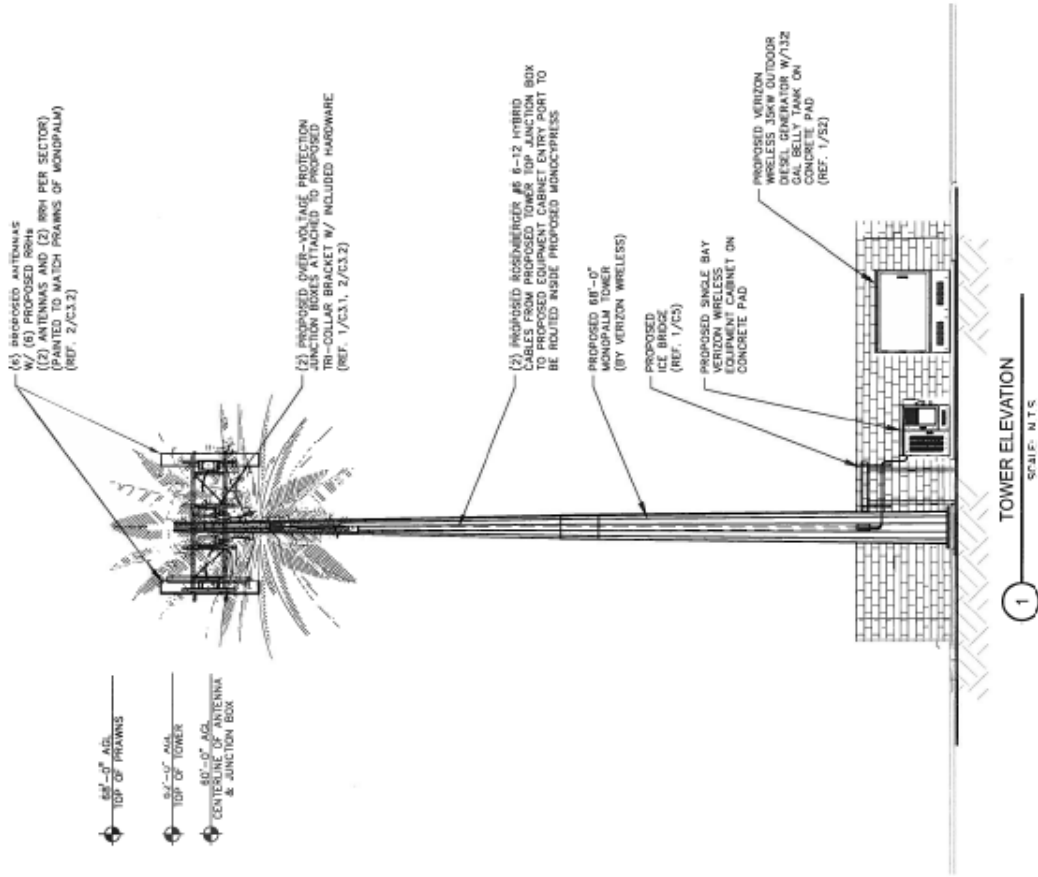
ATTACHMENT 1: ZONING MAP



ATTACHMENT 2: AERIAL MAP

PZST16-00002



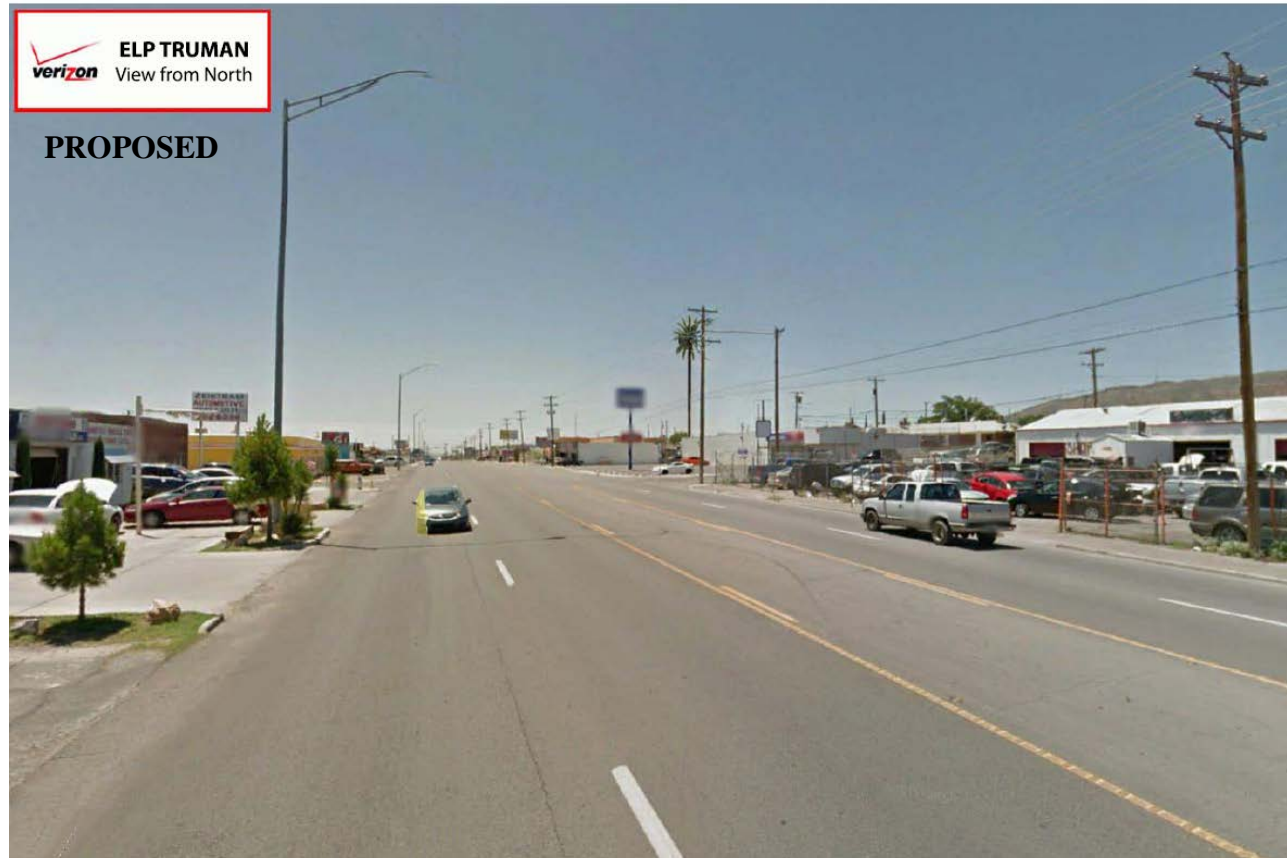


NOTES:

1. FOR DETAILED TOWER INFORMATION REFER TO TOWER LAYOUT DRAWINGS BY OTHERS. TOWER SHOWN ON 1/C3 IS INTENDED TO ONLY GENERALLY REPRESENT THE TOWER.
2. ANALYSIS AND DESIGN OF THE TOWER AND FOUNDATION BY OTHERS. NO MODIFICATIONS OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
3. A STRUCTURAL TOWER ANALYSIS SHALL BE PERFORMED BY A LICENSED ENGINEER TO VERIFY THE ACCURACY OF THE ANTENNAS AND APPURTENANCES.

1
TOWER ELEVATION
SCALE: N.T.S.

ATTACHMENT 4: SIMULATION PICTURES



 **ELP TRUMAN**
View from East

EXISTING



 **ELP TRUMAN**
View from East

PROPOSED




EXISTING



PROPOSED



 **ELP TRUMAN**
View from West

EXISTING



 **ELP TRUMAN**
View from West

PROPOSED



ATTACHMENT 5: LANDSCAPE BUYOUT REQUEST



February 9th, 2016

Jeff Howell, Senior Planner
City of El Paso Planning & Inspections
801 Texas Avenue
El Paso, TX 79901

RE: Request for Special Permit Approval
Verizon Wireless / Site ID: ELP_Truman
PID# 360648
Legal Description: 109 MORNINGSIDE HEIGHTS W120 FT OF 1 & 2 (9,360 SQ FT)
El Paso County, Texas

Dear Mr. Howell,

Verizon has chosen the one time buy out fee of \$5,000.00 for unmanned facilities under Chapter 18.46.140 for said property listed above. The one time buy out fee is in lieu of the requirement to provide 15% landscaping coverage with associated watering system on the leased portion of the subject parcel.

Verizon understands that said payment of \$5,000.00 must be provided at the same time the BP Application and the associate fees for said application are submitted to the City of El Paso.

Sincerely,

A handwritten signature in black ink, appearing to read "John Tyke".

John Tyke
Real Estate Specialist
Verizon Southwest Region
Mobile (480) 220-3298
John.Tyke2@VerizonWireless.com

ATTACHMENT 6: FINDINGS ANALYSIS

20.10.455 - Personal wireless service facilities.

F. C-3, C-4 and C-5 Commercial Districts.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:
 - c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:
 - i) The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

Response: Verizon Wireless looked at the existing 75' monopole structure/tower owned by SBA, approximately .35 miles Southeast at 4062 Tyler Avenue. Its current elevation base is at 3,924'. Verizon would need to co-locate at 55'. The total height (CL) for this location would be 3,979, which is too low to meet Verizon's requirement.

In addition, the current SBA location is too close to an existing Verizon site ELP_FORT

BLVD (.3 miles South) and would cause interference.

Verizon Wireless looked at the existing 75' monopole structure/tower owned by Crown Castle, approximately .44 miles Southwest at 3500 Fillmore. Its current elevation

Base is at 4,041. Verizon would need to co-locate at 55'. The total height (CL) for this

location would be 4,096, which is too high to meet Verizon's requirement.

In addition, the current Crown Castle location is too close to an existing Verizon site

ELP_NEWMAN PARK (.8 miles East) and would cause interference. Furthermore,

the Crown Castle site is located in an area with minimal traffic, and will not offload

any capacity through the area of need.

The proposed 68' Stealth Monopole located at 4801 Dyer Street, has an elevation base of 3,948.

with the CL at 60', which would give Verizon 4,008'. This location is a CAPACITY SITE will allow

Verizon to serve high volume users located around Fort Bliss Housing and base communications .

as well as the Fort Bliss Housing to the North.

- ii) *The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;*

Response: Verizon's RF engineers investigated all options within this 1/2 mile area and found the site at 4801 Dyer Street the best in terms of it being technically feasible and with a commercially feasible lease.

- iii) *The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;*

Response: Colocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

- iv) The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

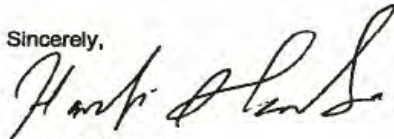
Response: Collocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

- v) The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

Response: The attached map Exhibit A, ELP_Truman Existing Towers, shows the existing SBA and Crown Castle sites and the proposed 68' Stealth Monopalm site needed by Verizon in order to provide CAPACITY coverage to the FORT BLISS Housing and Base community and the local commuting traffic.

Sincerely,



Hamdi K Alaaldin

Verizon Wireless

RF Engineer

480-752-7245



Recommendation/Public Input

- **Planning Division recommendation:** Approval
- **CPC Vote:** Approval Recommendation (5-1)
- **Public Input:** The Planning Division received one phone call and one person spoke at the CPC in opposition to the special permit request.

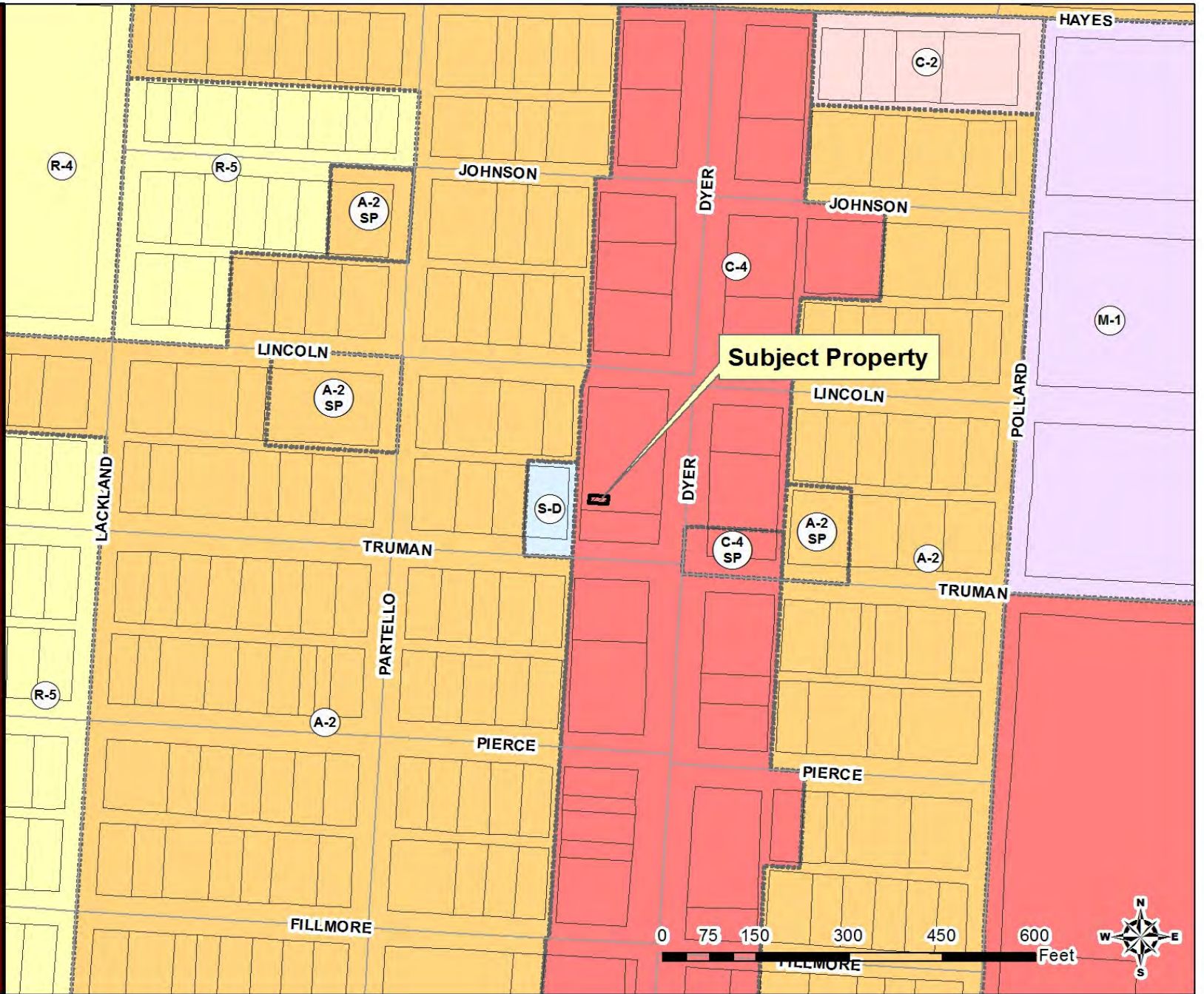
Strategic Goal #3 Promote the Visual Image of El Paso

3.1 Provide business friendly permitting and inspection processes

3.2 Improve the visual impression of the community

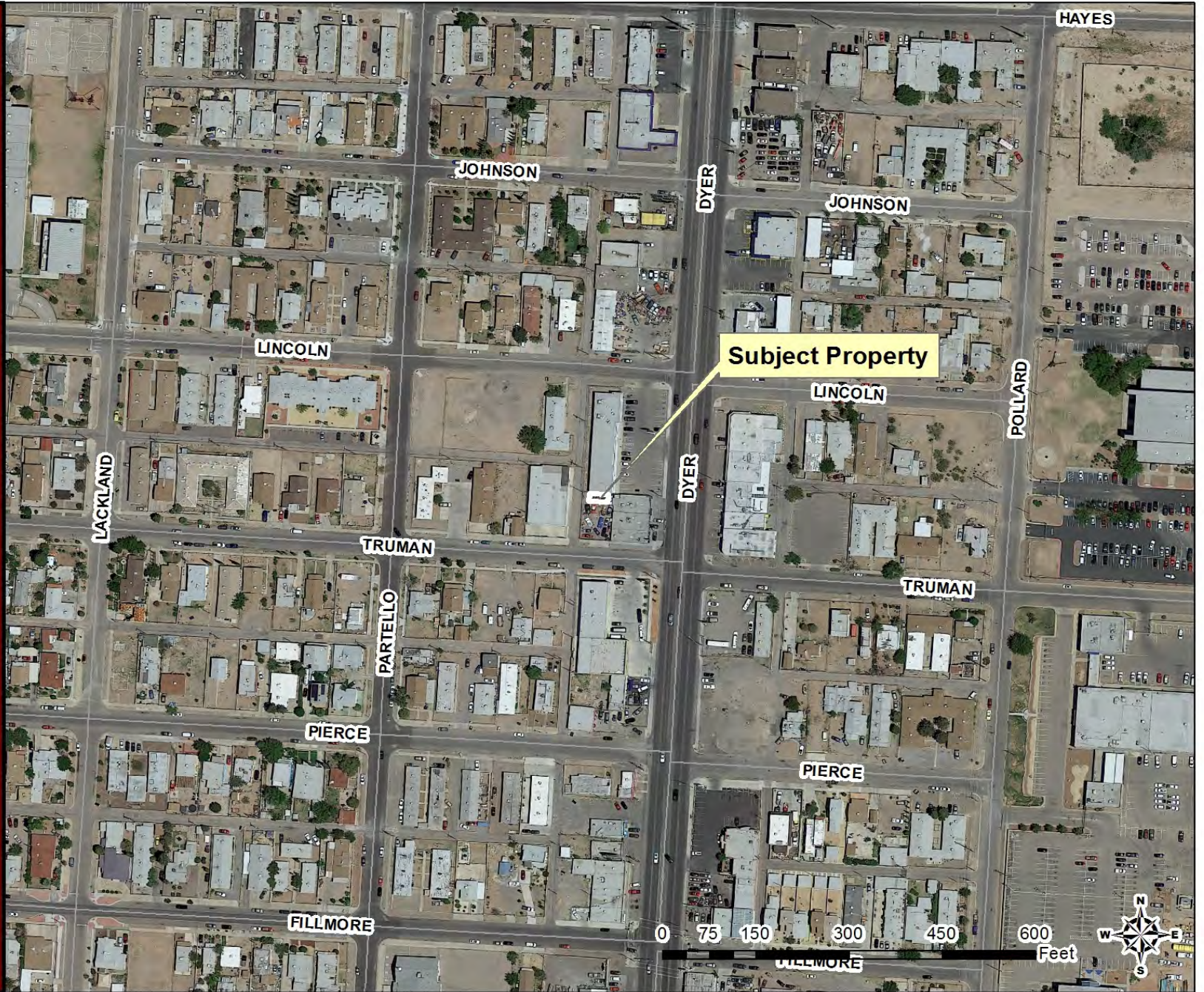
PZST16-00002

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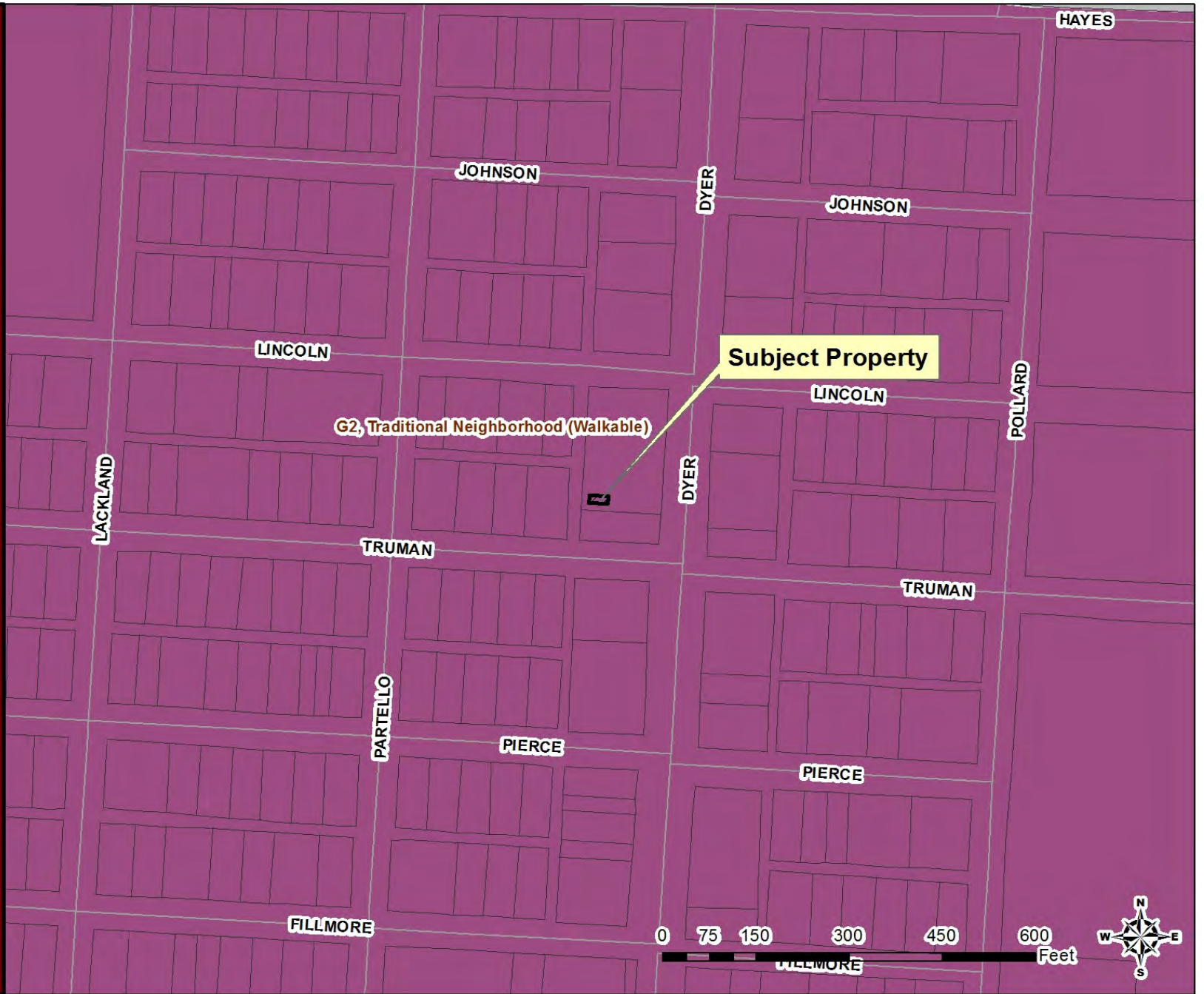
PZST16-00002

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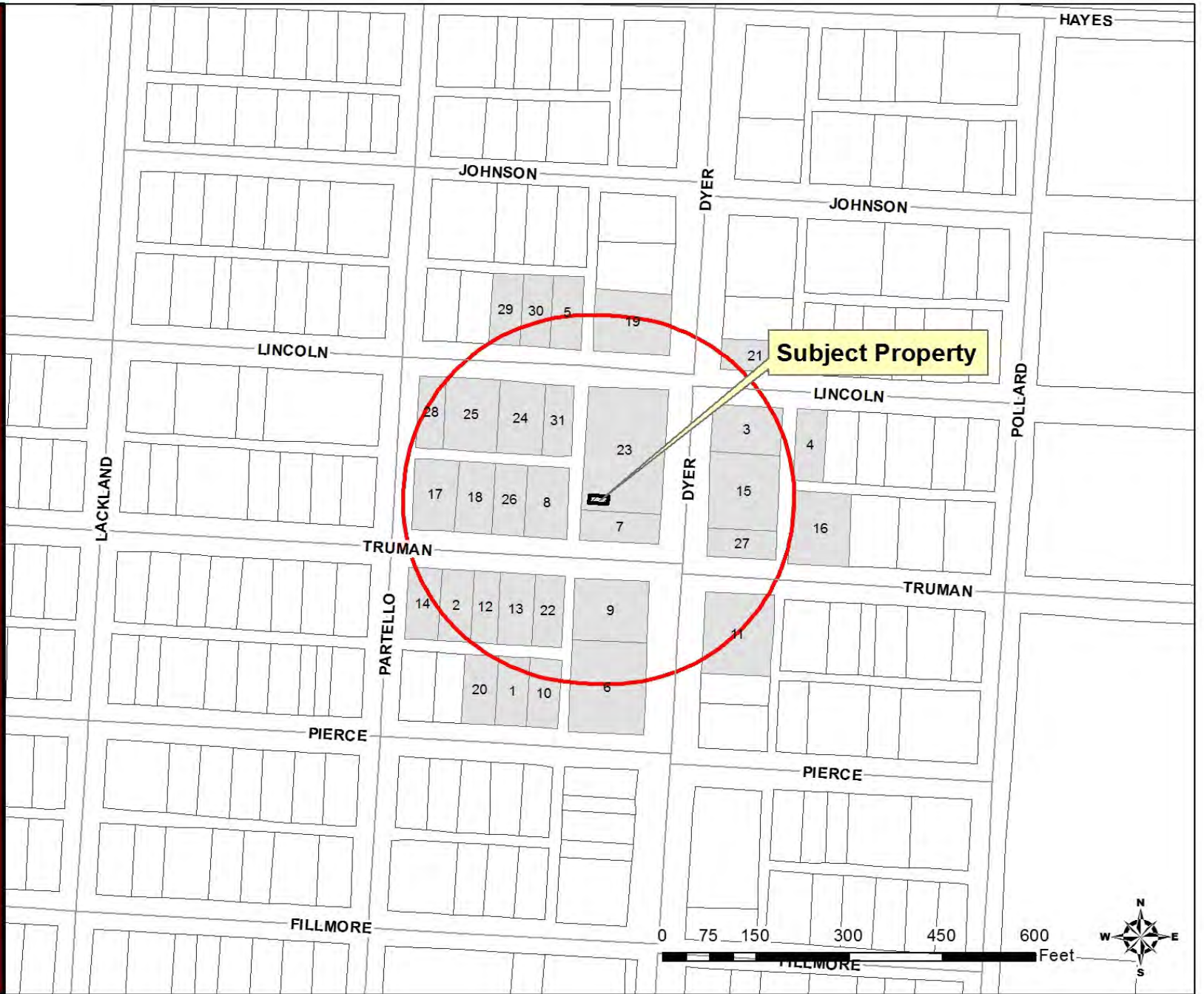
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PZST16-00002

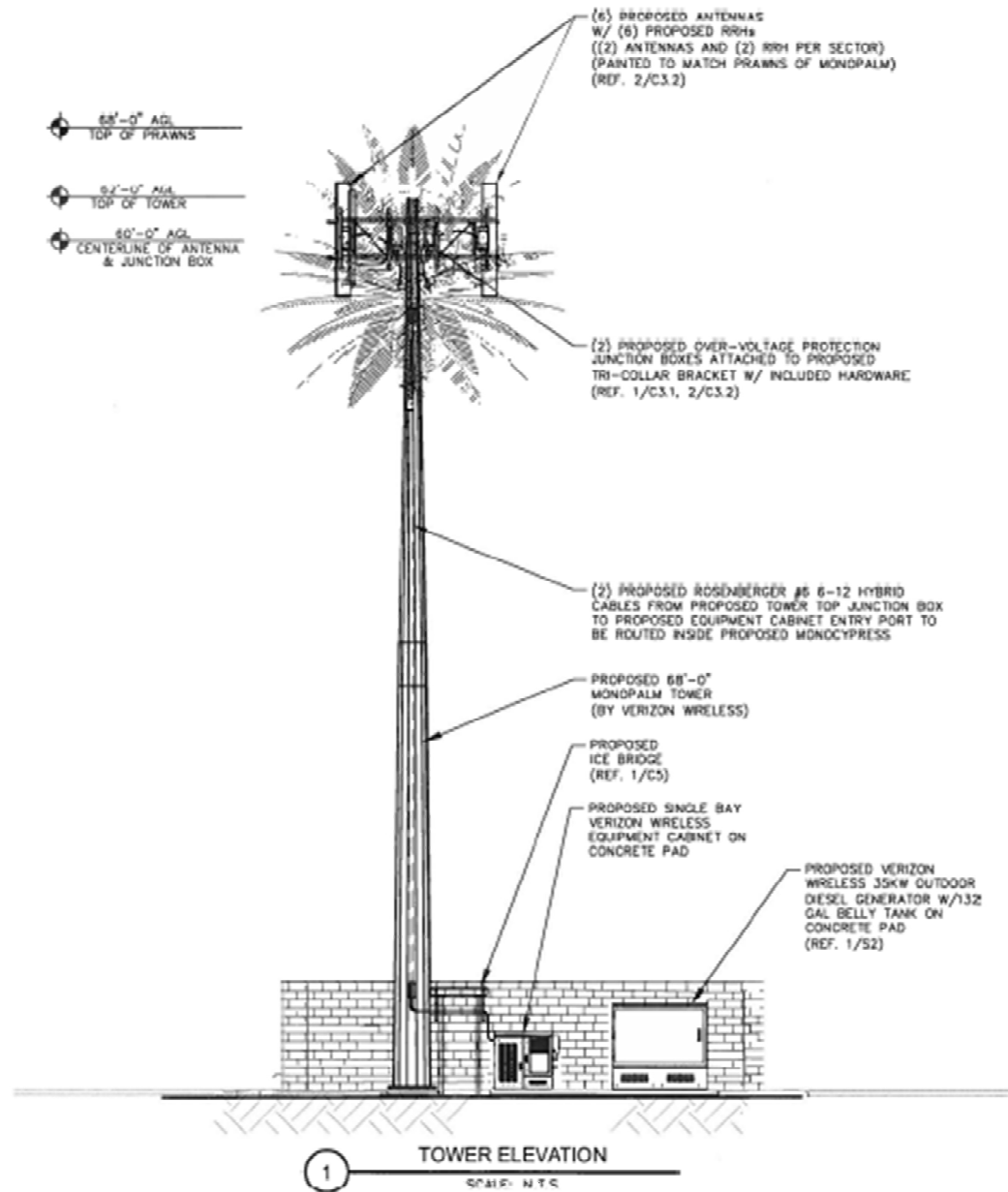
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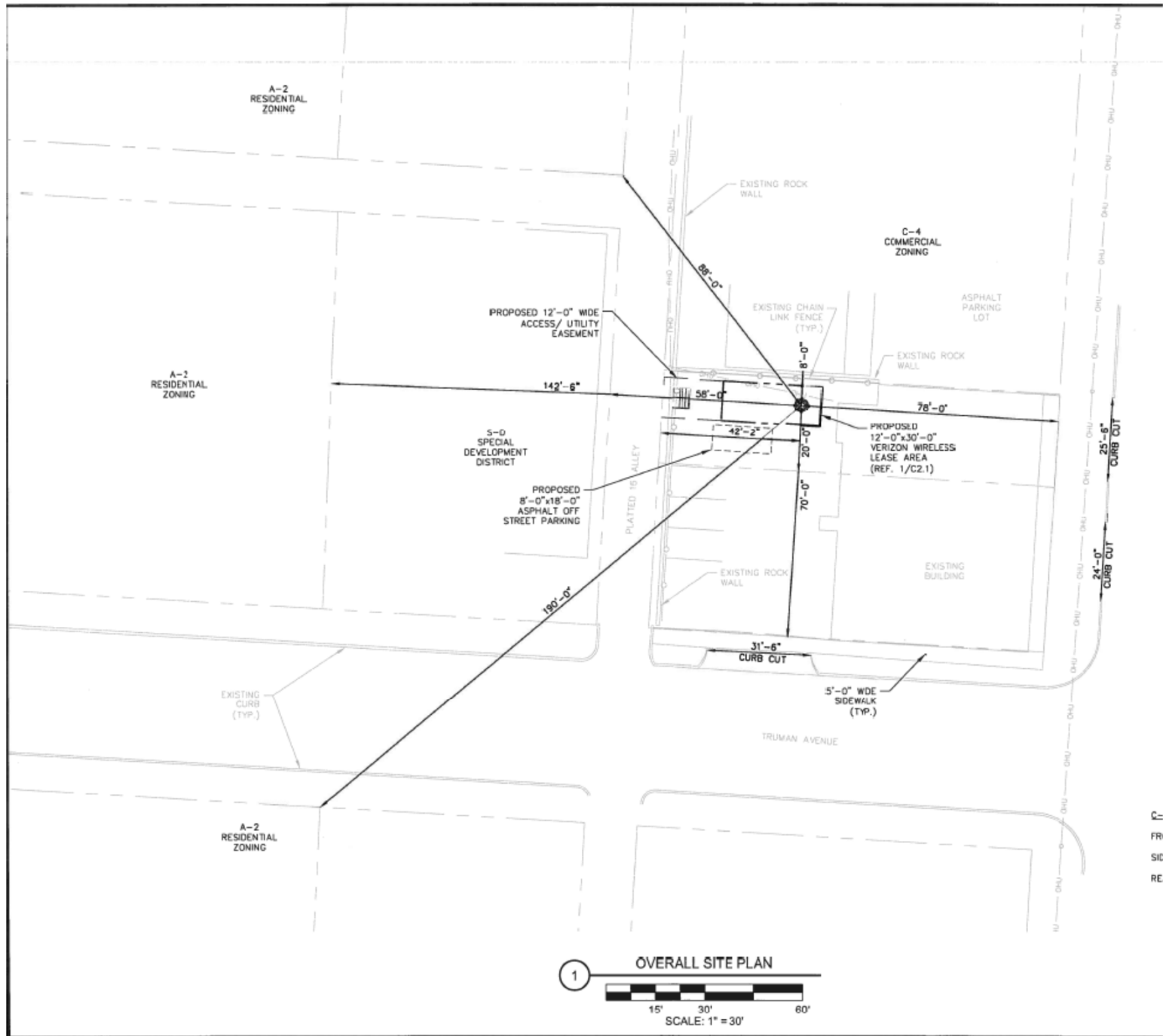


PZST16-000002

9







C:
FR
SIC
RE



ELP TRUMAN
View from North

EXISTING



14



ELP TRUMAN
View from North

PROPOSED



15



ELP TRUMAN
View from East

EXISTING





ELP TRUMAN
View from East

PROPOSED





ELPTRUMAN
View from South

EXISTING



18



ELP TRUMAN
View from South

PROPOSED





ELP TRUMAN
View from West

EXISTING



20



ELP TRUMAN

View from West

PROPOSED



21



Subject
Property





Subject
Property /
Alley





East



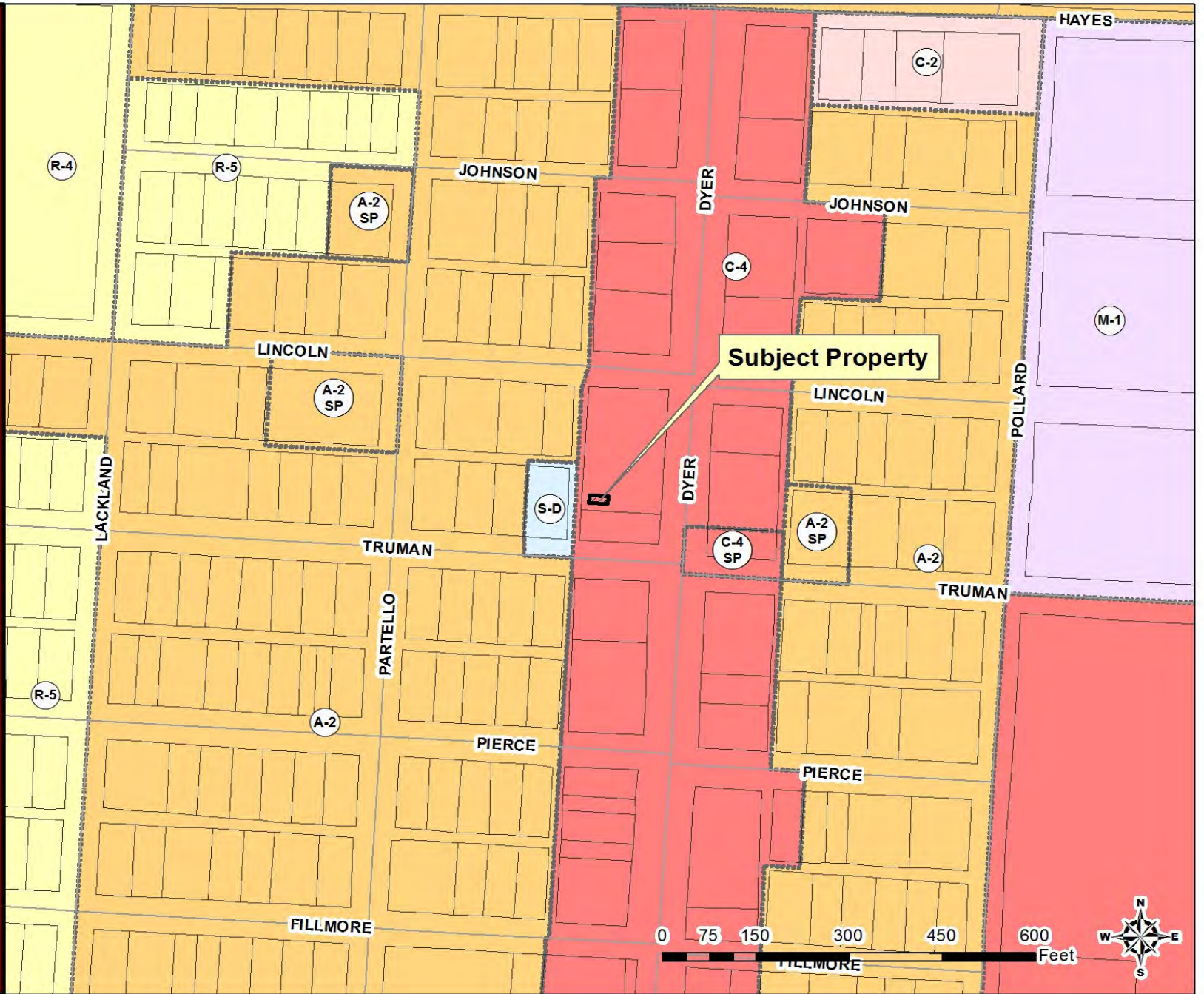
South



West

PZST16-00002

2
9



PZST16-00002

30

