

**CITY OF EL PASO, TEXAS
AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM**

DEPARTMENT: Planning and Inspections Department, Planning Division

AGENDA DATE: Introduction: May 30, 2017
Public Hearing: June 27, 2017

CONTACT PERSON/PHONE: Larry Nichols, (915) 212-1550, nicholslf@elpasotexas.gov
Jeff Howell, (915) 212-1607, howelljb@elpasotexas.gov

DISTRICT(S) AFFECTED: 3

SUBJECT:

An Ordinance granting Special Permit No. PZST16-00026, to allow for a ground-mounted 56'-10" Personal Wireless Service Facility on the property described as a portion of Lot 27, Block 2, Bassett Commercial Complex Unit One, 6440 Gateway Boulevard East, City of El Paso, El Paso County, Texas, pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 6440 Gateway Boulevard East. Property Owner: Gregg Michael Seltzer and Julie Paris Seltzer Trust. PZST16-00026 (District 3)

BACKGROUND / DISCUSSION:

On May 4, 2017, the CPC reviewed and recommended approval of the special permit request.

PRIOR COUNCIL ACTION:

There is no prior City Council action on this special permit application.

AMOUNT AND SOURCE OF FUNDING:

N/A

BOARD / COMMISSION ACTION:

City Plan Commission (CPC) – Approval Recommendation (6-0).

*****REQUIRED AUTHORIZATION*****

LEGAL: (if required) N/A

FINANCE: (if required) N/A

DEPARTMENT HEAD:

Larry F. Nichols
Director, Planning and Inspection Department



APPROVED FOR AGENDA:

CITY MANAGER: _____

DATE: _____

ORDINANCE NO. _____

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST16-00026, TO ALLOW FOR A GROUND-MOUNTED 56'-10" PERSONAL WIRELESS SERVICE FACILITY ON THE PROPERTY DESCRIBED AS A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, 6440 GATEWAY BOULEVARD EAST, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Gregg Michael Seltzer and Julie Paris Seltzer Trust property owners and SBA Towers IX, LLC c/o Shaw & Associates, PLC has applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted Personal Wireless Service Facility (PWSF) that is 56'-10" tall and camouflaged as a pine tree; and,

WHEREAS, the Section 20.10.455 allows for a ground-mounted personal wireless service facility by Special Permit; and,

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and,

WHEREAS, the City Plan Commission has recommended approval of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320 of the El Paso City Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows, is in a **C-3/sc (Commercial/special contract)** Zone District:

Portion of Lot 27, Block 2, Bassett Commercial Complex Unit One, 6440 Gateway Boulevard East, City of El Paso, El Paso County, Texas; and as more particularly described by survey and metes and bounds on the attached Exhibit "A"; and,

2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted 56'-10" tall personal wireless service facility on the property described in Paragraph 1 of this Ordinance; and,

ORDINANCE NO. _____

17-1007-1964 | 675923
6440 Gateway Boulevard East
OAR

PZST16-00026

3. Furthermore, the City Council makes the following findings to reduce below one-half mile the minimum separation distance between ground-mounted PWSF antenna support structures:
 - i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
 - iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
 - v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.
4. That this Special Permit is issued subject to the development standards in C-3/sc (**Commercial/special contract**) District regulations and is subject to the approved Detailed Site Development Plan signed by the Applicant, the City Manager and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "B" and is incorporated herein by reference for all purposes; and,
5. That if at any time the Applicant fails to comply with any of the requirements of this Ordinance, **Special Permit No. PZST16-00026** shall be subject to termination; construction or occupancy shall be discontinued; and the Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal or equitable remedy; and,
6. That the Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filed with the Zoning

Administrator and the Executive Secretary to the City Plan Commission before building permits are issued.

ADOPTED this _____ of _____, 2017.

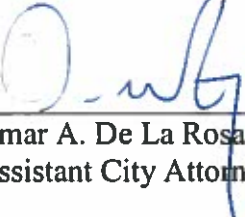
THE CITY OF EL PASO

Oscar Leaser, Mayor

ATTEST:

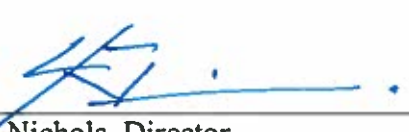
Richarda Duffy Momsen, City Clerk

APPROVED AS TO FORM:



Omar A. De La Rosa
Assistant City Attorney

APPROVED AS TO CONTENT:



Larry F. Nichols, Director
Planning and Inspections Department

AGREEMENT

Gregg Michael Seltzer and Julie Paris Seltzer Trust (Property Owner) and SBA Towers IX, LLC c/o Shaw & Associates, PLC referred to in the above Ordinance, hereby agrees to develop the above-described property in accordance with the approved Detailed Site Development Plan attached to same Ordinance, and in accordance with the standards identified in the C-3 (Commercial/special contract) District regulations, and subject to all other requirements set forth in this Ordinance.

EXECUTED 23rd day of May, 2017.

Gregg Michael Seltzer and Julie Paris Seltzer
Trust

By: Sharon S. Schwartz, Sharon S. Schwartz,
V.P. and Associate General Counsel, Legal Operations,
SBA Towers IX, LLC, on behalf of Gregg Michael
Seltzer and Julie Paris Seltzer Trust, property owner.
See attached authorization.

By: Sharon S. Schwartz,
(Signature) Sharon S. Schwartz, V.P. and Associate
General Counsel, Legal Operations, on behalf of SBA
Towers IX, LLC, c/o Shaw & Associates, PLC
(Name/Title)

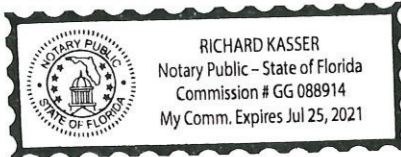
ACKNOWLEDGMENT

THE STATE OF FLORIDA)
)
COUNTY OF PALM BEACH

This instrument is acknowledged before me on this 23rd day of MAY, 2017, by Sharon S. Schwartz, Vice President and Associate General Counsel, Legal Operations for SBA Towers IX, LLC, a Delaware limited liability company, agent for Gregg Michael Seltzer and Julie Paris Seltzer Trust, property owner, made in connection with the attached limited power of attorney.

Richard Kasser

Notary Public, State of Florida
Signature



My Commission Expires:

July 25, 2021

RICHARD KASSER
Printed or Typed Name

Richard Kasser
(Signature)

RICHARD KASSER
(Name/Title)

TO CITY OF EL PASO PLANNING AND INSPECTIONS DEPARTMENT

This letter will serve as authorization for SBA TOWERS IX, LLC and/or its agent(s) to act as an agent on behalf of the Gregg Michael Seltzer and Julie Paris Seltzer Trust, including but not limited to, power of attorney for the purpose of obtaining a Special Permit, Site Plan Review and Building Permit, for the proposed wireless communications facility (WCF). The proposed WCF project name is ELP Clark.

Construction of the proposed wireless communications facility will not commence unless and until all of the necessary permits are obtained.

Subject parcel is PID# B23599900208400

Subject parcel address: 6440 Gateway Boulevard East, El Paso, TX 79905

LAND OWNER: GREGG MICHAEL SELTZER & JULIE PARIS
SELTZER TRUST DATED DECEMBER 30, 1992

By: [Signature]
Gregg Michael Seltzer
Title: Trustee

Date: 9/16/2016

LAND OWNER: GREGG MICHAEL SELTZER & JULIE PARIS
SELTZER TRUST DATED DECEMBER 30, 1992

By: [Signature]
Julie Paris Seltzer
Title: Trustee

Date: 9/16/2016

Notary Public:

I do hereby certify that Gregg M. Seltzer, who is personally known to me, or who has proved by sufficient evidence to be the person named herein, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Notary Public:

I do hereby certify that Julie Paris Seltzer who is personally known to me, or who has proved by sufficient evidence to be the person named herein, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and seal this _____ day of _____, 20____.

Witness my hand and seal this _____ day of _____, 20____.

SEE ATTACHED NOTARY

Notary Signature

Notary Signature

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Los Angeles)

On September 16, 2016 before me, Lisa Marie Seltzer, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Gregg M. Seltzer and
Name(s) of Signer(s)
Julie Paris Seltzer

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Lisa M. Seltzer
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

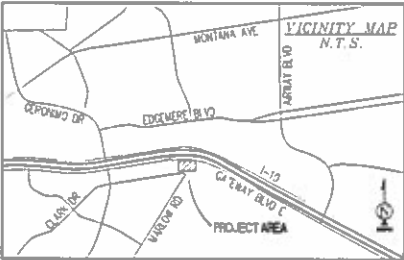
Title or Type of Document: _____ Document Date: _____
Number of Pages: 1 Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☒ Trustee ☐ Guardian or Conservator
☐ Other: _____
Signer Is Representing: _____

Signer's Name: _____
☐ Corporate Officer — Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Individual ☐ Attorney in Fact
☒ Trustee ☐ Guardian or Conservator
☐ Other: _____
Signer Is Representing: _____

Exhibit A



POSITION OF GEODETIC COORDINATES
LATITUDE 31° 46' 53.2" NORTH (NAD83)
LONGITUDE 106° 24' 08.7" WEST (NAD83)
GROUND ELEVATION @ 3858.3' (NAVD88)

SURVEY DATE
02/22/2016

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM TEXAS STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12B" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY RAW STATIC GPS DATA PROCESSED ON THE NGS OPUS WEBSITE. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

FLOOD ZONE
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP ID #4802140035B, DATED 10/15/1982

UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

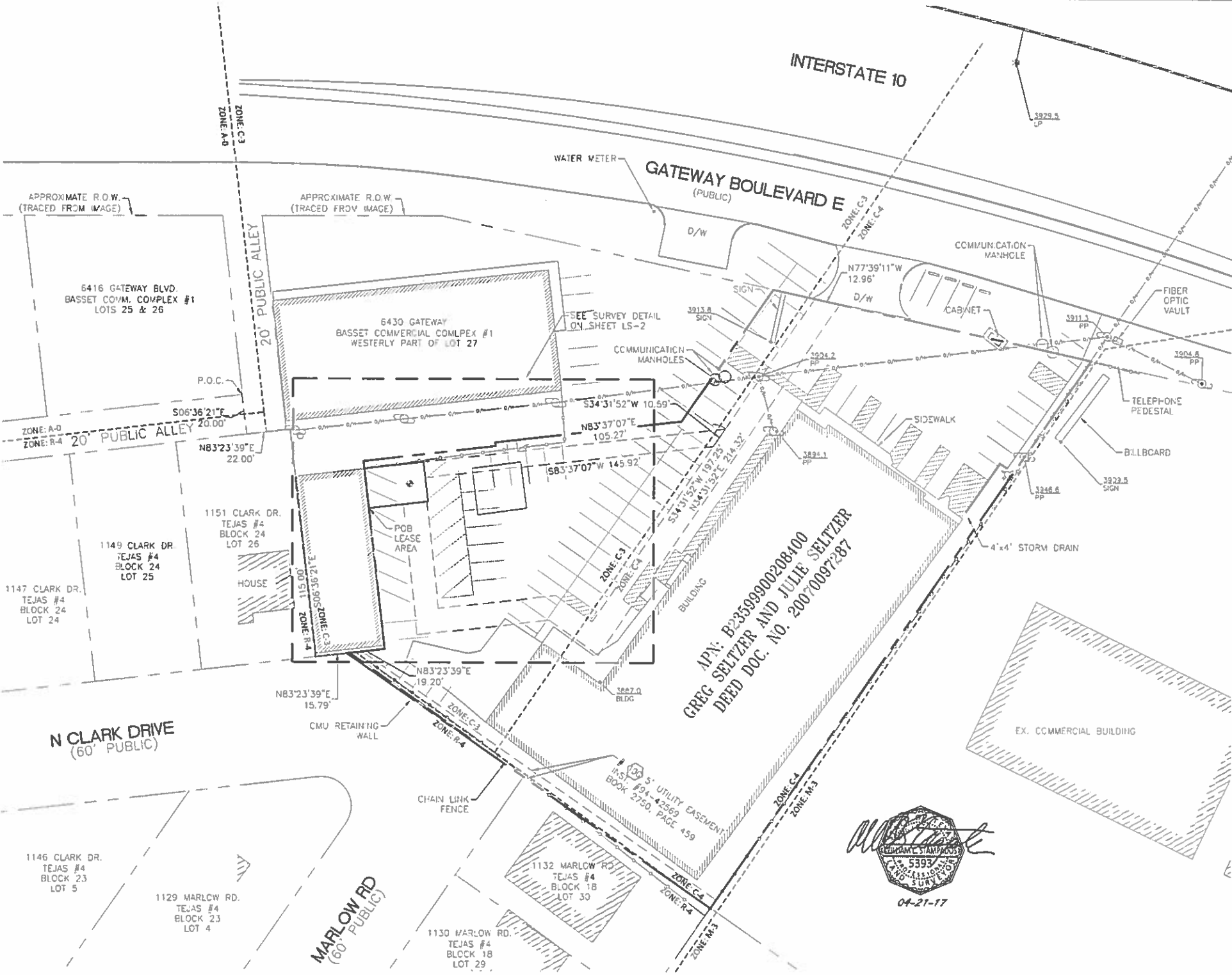
SURVEYOR'S NOTES
SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

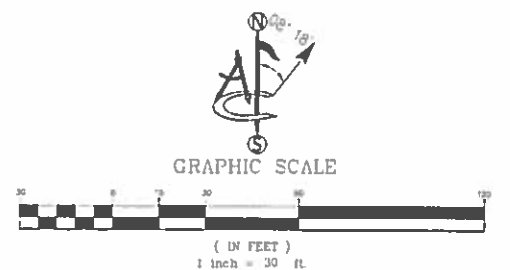
ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

LESSOR'S LEGAL DESCRIPTION
A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT A FOUND 1/2" REBAR ON THE SOUTHEASTERLY CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 09°33'20" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY, THENCE ALONG SAID ALLEY NORTH 80°26'40" EAST A DISTANCE OF 22 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24, THENCE ALONG SAID LINE SOUTH 09°33'20" EAST A DISTANCE OF 115.00 FEET TO FOUND 1/2" REBAR ON SAID COMMON LINE AND THE NORTHERLY RIGHT-OF-WAY LINE OF CLARK ROAD (60' R.O.W.), THENCE ALONG SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 15.79 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 FOR THE "TRUE POINT OF BEGINNING"; THENCE CONTINUING ALONG SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 19.21 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 ON THE EASTERLY LINE OF SAID AND EXCEPT PORTION FROM POPULAR MANUFACTURING CORP., INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS, THENCE ALONG SAID LINE NORTH 09°33'20" WEST A DISTANCE OF 95.00 FEET TO A FOUND "X" ON CONCRETE, THENCE LEAVING SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 67.65 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 09°33'20" WEST A DISTANCE OF 1.82 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 80°26'40" EAST A DISTANCE OF 94.42 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 31°51'10" EAST A DISTANCE OF 80.70 TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO. 10; THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTH 80°36'10" EAST A DISTANCE OF 164.58 FEET TO A FOUND "X" ON CONCRETE; THENCE LEAVING SAID RIGHT-OF-WAY LINE SOUTH 31°51'10" WEST A DISTANCE OF 335.67 FEET TO FOUND NAIL ON ROCKWALL WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 58°08'50" WEST A DISTANCE OF 223.56 FEET TO THE "TRUE POINT OF BEGINNING" AND CONTAINING 59,904.40 SQUARE FEET OR 1.38 ACRES OF LAND MORE OR LESS.



LEGEND	
AP	ASPHALT
BLDG	TOP OF BUILDING
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CONC	EDGE OF CONCRETE
D/W	ACCESS DRIVEWAY
LP	LIGHT POLE
FH	FIRE HYDRANT
PP	POWER POLE
LP	LIGHT POLE
GC	POSITION OF GEODETIC COORDINATES
SE	SPOT ELEVATION
WCV	WATER CONTROL VALVE
CMU	CMU WALLS
CLF	CHAIN LINK FENCE
CL	CURBLINES
OL	OVERHEAD LINES
LA	LEASE AREA LIMITS
MI	MAJOR CONTOUR INTERVAL
MI	MINOR CONTOUR INTERVAL



SBA
SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

SiinoDesign
16616 EAST PAUSADES BLVD,
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.siinodesign.com

ambit consulting
410 E. SOUTH AVENUE, SUITE 200, AZ 85322
PH: (480) 659-4372

REVISIONS	
NO.	DESCRIPTION
1	PRELIMINARY
2	TITLE REPORT (C)
3	ADD DESIGN (C)
4	COMMENTS (C)
5	REVISE UTILITY ESM (C) CK
6	REV. SCHED. "B" NOTE (C) RC
7	COMMENTS & REVISIONS (C) RC

SITE I.D.:
TX17739-B

SITE NAME:
ELP CLARK

SITE ADDRESS:
6440 GATEWAY BOULEVARD E
EL PASO, TX 79905

DRAWN BY: CK

CHECKED BY: SB

DATE: 03/02/16

PROJECT #: TBD

SHEET TITLE:
SITE SURVEY

SHEET NO.:
LS-1

PORTION OF DEED DOCUMENT NO. 20000937287, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COUNTRY UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERN CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 23.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID ALLEY NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.00 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 71.18 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 06°36'21" WEST, 20.00 FEET; THENCE NORTH 83°23'39" EAST, 30.00 FEET; THENCE SOUTH 06°36'21" EAST, 20.00 FEET; THENCE SOUTH 83°23'39" WEST, 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 600 SQUARE FEET (0.014 ACRES) OF LAND, MORE OR LESS.

A PORTION OF DEED DOCUMENT NO. 20070097287, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERLY CORNER OF LOT#26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF A4 EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID ALLEY NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.00 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SA'D LINE NORTH 83° 23' 39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. IN UNDERLYING FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 78.18 FEET; THENCE DEPARTING SA'D LINE NORTH 83°23'39" EAST A DISTANCE OF 17.33 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 06°16'08" EAST 66.06 FEET; THENCE NORTH 83°34'55" EAST 67.04 FEET; THENCE SOUTH 54°38'26" EAST 30.13 FEET; THENCE NORTH 34°31'52" EAST 214.32 FEET; THENCE NORTH 77°39'11" WEST 12.95 FEET; THENCE SOUTH 34°31'52" WEST, 197.25 FEET; THENCE SOUTH 54°38'26" WEST, 22.53 FEET; THENCE SOUTH 83°34'55" WEST 59.50 FEET; THENCE NORTH 08°16'06" WEST 54.10 FEET; THENCE SOUTH 83°23'39" WEST 12.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,466 SQUARE FEET (0.057 ACRES) OF LAND, MORE OR LESS.

A PORTION OF DEED DOCUMENT NO. 20070097287, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERLY CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.09 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 91.18 FEET; THENCE NORTH 83°23'39" EAST 33.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 83°37'07" EAST 42.61 FEET; THENCE NORTH 06°22'53" WEST, 5.81 FEET TO A POINT ON THE NORTHERLY LINE OF SAID DEED, THENCE ALONG SAID LINE 83°23'39" EAST, 4.00 FEET; THENCE ALONG SAID NORTH LINE, 5.03 FEET; THENCE DEPARTING SAID NORTH LINE SOUTH 06°22'53" EAST, 5.83 FEET; THENCE NORTH 83°37'07" EAST, 105.27 FEET TO AN ACCESS AND UTILITY EASEMENT, THENCE SOUTH 34°31'52" WEST ALONG SAID ACCESS AND UTILITY EASEMENT 10.59 FEET; THENCE DEPARTING SAID EASEMENT SOUTH 83°37'07" WEST 145.92 FEET; THENCE NORTH 06°36'21" EAST 8.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,929 SQUARE FEET (0.043 ACRES) OF LAND, MORE OR LESS.

REFERENCE IS MADE TO THE TITLE REPORT ORDER #16029254, ISSUED BY OLD REPUBLIC TITLE INSURANCE COMPANY, DATED MARCH 30, 2016. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

ITEMIZED NOTES:

SCHEDULE "B" ITEM NUMBERS 1 THROUGH 9 AS WELL AS 10A THROUGH 10E AND 10L THROUGH 10N ARE NOT SURVEY MATTERS, OR, HAVE NO EFFECT IN THE AREA OF THIS SURVEY.

10F TELEPHONE EASEMENT RECORDED IN BOOK 1257, PAGE 359 REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - UNABLE TO DELINEATE FROM ILLEGIBLE DOCUMENT

UTILITY EASEMENT RECORDED AS INSTRUMENT NUMBER 94-42569 IN BOOK 2750, PAGE 459 REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - SHOWN AND NOTED HEREON, NO CONFLICT WITH LEASE AREA

10H DELETED FROM REPORT - NOTHING TO SHOW

10# ELECTRIC EASEMENT RECORDED MARCH 23, 2006 AS INSTRUMENT NUMBER 20060026087, OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, TEXAS - LIES TO THE EAST BEYOND THE SCOPE OF THIS SURVEY, NO CONFLICT WITH LEASE AREA

10J ELECTRIC EASEMENT RECORDED SEPTEMBER 10, 2003 AS INSTRUMENT NUMBER 20030082038 IN BOOK 4677, PAGE 842, OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, TEXAS - LIES TO THE EAST BEYOND THE SCOPE OF THIS SURVEY, NO CONFLICT WITH LEASE AREA

10K CONTRACT FOR REZONING AND RESTRICTIONS RECORDED IN BOOK 492, PAGE 1351 AND IN BOOK 656, PAGE 8, REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - NOT A SURVEY MATTER, NOTHING TO SHOW

I HEREBY CERTIFY TO SBA TOWERS IX, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, THE FOLLOWING:

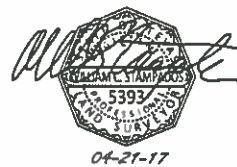
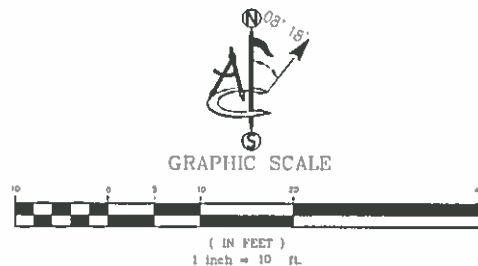
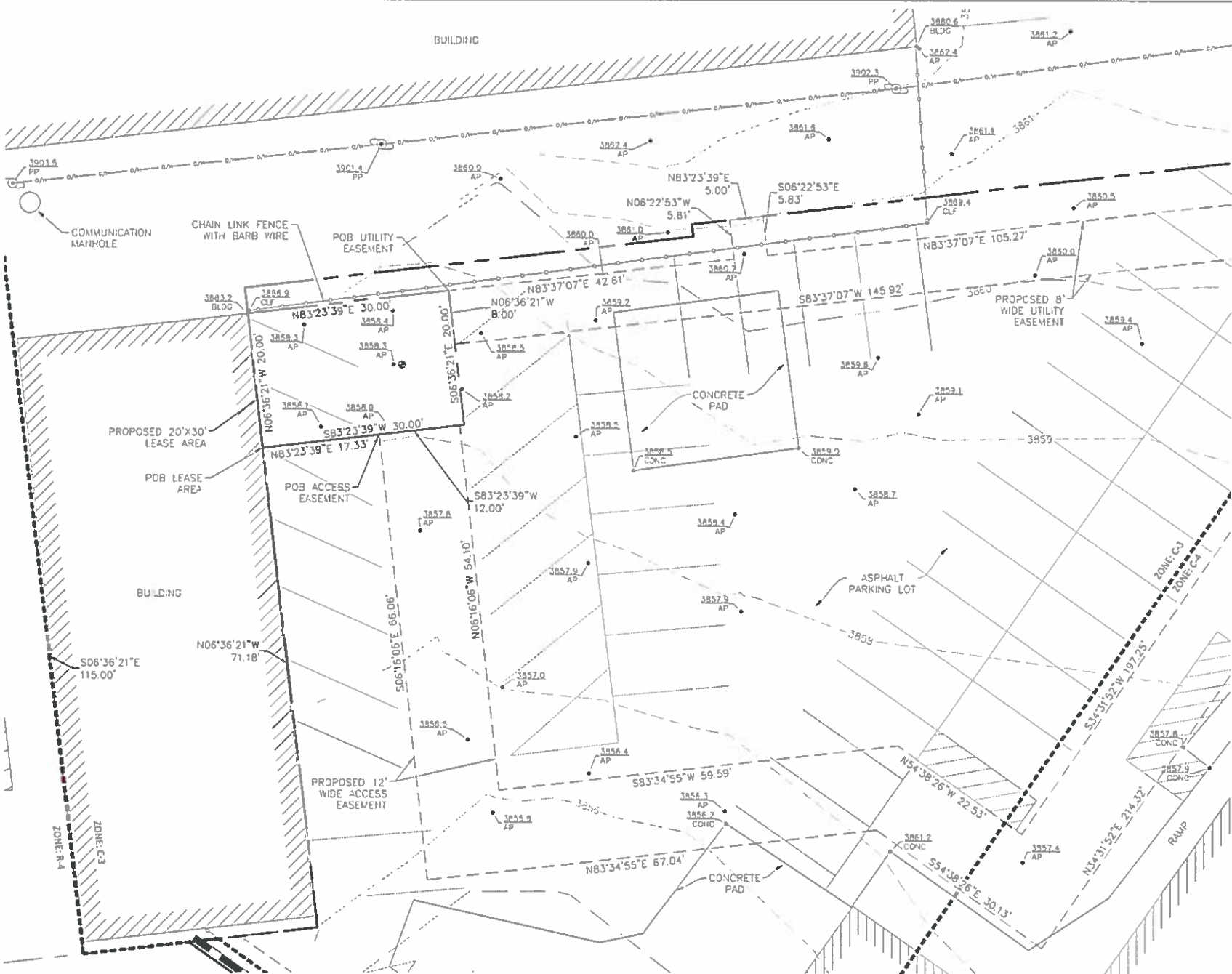
THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE REPORT COMMITMENT NO. 16029254, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF MARCH 30, 2016 WHICH PROPOSES TO INSURE THE LANDS DESCRIBED UNDER ITS SCHEDULE A.

THIS SURVEYOR KNOWS OF HIS OWN KNOWLEDGE THAT THE LANDS DESCRIBED UNDER SAID SCHEDULE A OF THE TITLE COMMITMENT CONTAIN OR INCLUDE THE LANDS DESCRIBED IN AND DEPICTED ON THIS SURVEY.

THIS SURVEYOR FURTHER KNOWS TO THE BEST OF HIS KNOWLEDGE THAT THE EASEMENTS OF RECORD AND IDENTIFIED UNDER SCHEDULE B-2 OF SAID TITLE COMMITMENT ENCOMBER THE LANDS DESCRIBED ON THIS SURVEY, BUT, EXCEPT WHERE NOTED HEREON, SAID EASEMENTS WILL NOT INTERFERE WITH THE LOCATION OF THE PROPOSED INSURED LANDS, INCLUDING THE LEASED AREA AND ANY AND ALL ACCESS, UTILITY AND GUY WIRE EASEMENT PARCELS. THERE MAY BE POSSIBLE CONFLICTS WITH TITLE REPORT EXCEPTION #10F.

I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WILLIAM C. STAMPADOS, R.P.L.S. 5393 DATE



LEGEND

AP	ASPHALT
BLDG	TOP OF BUILDING
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CONC	EDGE OF CONCRETE
D/W	ACCESS DRIVEWAY
LP	LIGHT POLE
	FIRE HYDRANT
	POWER POLE
	LIGHT POLE
	POSITION OF GEODETIC COORDINATES
	SPOT ELEVATION
	WATER CONTROL VALVE
	CMU WALLS
	CHAIN LINK FENCE
	CURBS
	OVERHEAD LINES
	LEASE AREA LIMITS
	MAJOR CONTOUR INTERVAL
	MINOR CONTOUR INTERVAL



SBA TOWERS IX LLC.
A DELAWARE LIMITED LIABILITY
COMPANY
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



16616 EAST PALISADES BLVD,
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.sinnodesign.com

ambit consulting
110 E. SOUTHERN AVE. TEMPE, AZ 85281

REVIEWS		DATE	DESCRIPTION
1	A	03/02/16	PRELIMINARY
2	A	04/20/16	TITLE REPORT (C) RC
3	A	04/26/16	ADD DESIGN (C) SB
4	A	05/10/16	COMMENTS (C)
5	A	07/15/16	REVISE UTILITY ESMAT (C) CK
6	A	01/31/17	REV. SCHEDULE TO NOTE(C) RC
7	A	04/11/17	COMMENTS & REVISIONS(C) RC
8	A	04/21/17	REV. ZONING LIMITS(C) RC

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BOULEVARD E
EL PASO, TX 79905

DRAWN BY:	CK
CHECKED BY:	SB
DATE:	03/02/16
PROJECT #:	TBD

SHEET TITLE:

SITE SURVEY

SHEET NO.

LS-2

Exhibit B



Building Better Wireless®

SBA TOWERS IX LLC,
A DELAWARE LIMITED LIABILITY COMPANY
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

SITE NAME
ELP CLARK

SITE I.D.
TX17739-B

E911 ADDRESS
6440 GATEWAY BLVD., # E
EL PASO, TX 79905

PROJECT TYPE

PROPOSED 56'-10" TOP OF STEEL & NOT TO EXCEED 64'-10" TOP OF BRANCHES



CITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
DETAILED SITE DEVELOPMENT PLAN
APPROVED BY THE CITY COUNCIL

DATE
SBA TOWERS IX LLC
BY: [Signature]
APPLICANT
KEVIN CALACHEVA

EXECUTIVE SECRETARY CITY PLAN COMMISSION

CITY MANAGER



SBA TOWERS IX LLC,
A DELAWARE LIMITED LIABILITY
COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



16616 EAST PALISADES BLVD.,
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.siinodesign.com

PE SEAL:



REVISIONS		DATE	DESCRIPTION
A	05/10/16	REVIEW	
B	07/12/16	FINAL	
C	09/02/16	REVISED GENERATOR	
D	10/14/16	CITY COMMENTS	
E	01/25/17	CITY COMMENTS	
F	02/28/17	CITY COMMENTS	
G	04/11/17	CITY COMMENTS	
H	04/20/17	CITY COMMENTS	

SITE I.D.:
TX17739-B
SITE NAME:
ELP CLARK
SITE ADDRESS:
6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY: JN
CHECKED BY: YJ
DATE: 8/2/16
PROJECT #: TBD

SHEET TITLE:
TITLE SHEET

SHEET NO.
T-1

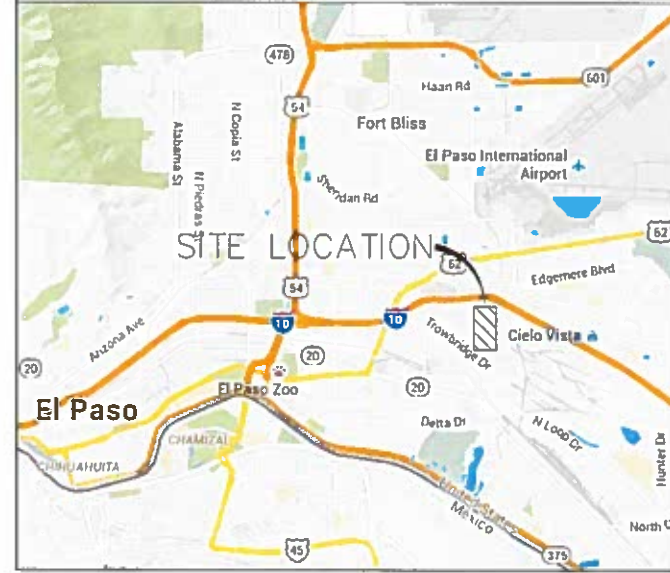
CONSULTING TEAM

MANAGEMENT PROFESSIONAL:
SIINO DESIGN, LLC
16616 EAST PALISADES BOULEVARD SUITE #102
FOUNTAIN HILLS, ARIZONA 85268
CONTACT: CHRISTOPHER M. SIINO, MS, PMP
PHONE: (480) 836-1701 FAX: (480) 836-1004

SURVEYING FIRM:
410 EAST SOUTHERN AVENUE
TEMPE, ARIZONA 85282 (480) 659-4072
CONTACT: MATTHEW FORD
PHONE: (602) 463-0472

ELECTRICAL ENGINEER:
EE LLC
CONTACT: LOREN PRIEST
MOBILE: (303) 748-1189

VICINITY MAP



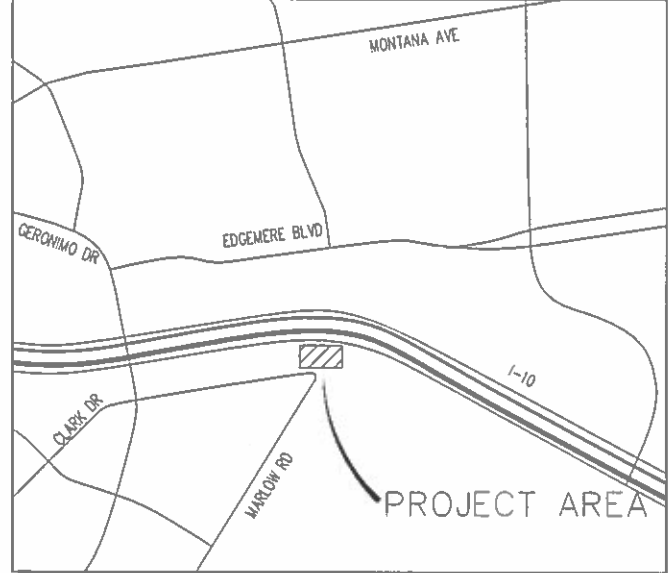
PROJECT DESCRIPTION

INSTALLATION OF NEW 64'-10" TALL MONOPINE WITH ANTENNA ARRAYS
& (2) NEW EQUIPMENT CABINETS WITHIN A 20'X30' CMU WALLED
COMPOUND.

SPECIAL INSPECTIONS REQUIRED

DRILLED CAISSON: YES (PERIODIC)
CONCRETE REINFORCING: YES (CONTINUOUS)
BOLTS IN CONCRETE: YES (CONTINUOUS)
MASONRY CONSTRUCTION: YES (PERIODIC)
STEEL CONSTRUCTION: N/A

REGIONAL MAP



DRIVING DIRECTIONS

FROM LOCAL CITY OR NEAREST MAJOR HIGHWAY INTERSECTION:
FROM EL PASO INTERNATIONAL AIRPORT: TAKE AIRWAY BLVD. TOWARD
I-10 THEN TURN RIGHT ONTO EDMERE BLVD. TURN LEFT ONTO
GERONIMO DR. THEN TURN LEFT ONTO GATEWAY BLVD. E. ARRIVE AT
6440 GATEWAY BLVD. E

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN
ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES
AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN
THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT
CONFORMING TO THESE CODES.
• 2012 INTERNATIONAL BUILDING CODE (IBC)
• 2011 NATIONAL ELECTRICAL CODE (NEC)
• ANSI/EIA-222-G STRUCTURAL STANDARDS FOR
ANTENNA SUPPORTING STRUCTURES & ANTENNAS

PROJECT INFORMATION

SITE NAME: ELP CLARK
SITE ADDRESS: 6440 GATEWAY BLVD., # E
EL PASO, TX 79905
JURISDICTION: CITY OF EL PASO
COUNTY: EL PASO
ZONING: COMMERCIAL
PROPERTY OWNER: GREGG M. SELTZER & JULIE P. SELTZER TRUST
212 26TH STREET #127
SANTA MONICA, CA 90402
PHONE: (310) 230-6724
APPLICANT: SBA TOWERS IX LLC, A DELAWARE L.L.C.
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
PHONE: 1-800-487-7483
SAQ: CONTACT: CASEY SPIEGEL
PHONE: (318) 218-8192
SITE COORDINATES: 2C/1A
LATITUDE: 31° 46' 53.2" N (NAD 83)
LONGITUDE: 106° 24' 06.6" W (NAD 83)
ELEVATION: ±3,858.3' (AMSL) (NAVD 88)
OCCUPANCY: UNMANNED
CONSTRUCTION TYPE: RAW LAND

ACCESS DISCLAIMER

THE NEW PROJECT IS AN UNOCCUPIED TELECOM FACILITY AND IS NOT
TO BE ACCESSED BY THE GENERAL PUBLIC. THIS FACILITY IS EXEMPT
FROM DISABLED ACCESS REQUIREMENTS PER IBC 1103.2.9 LISTED AS
AN EQUIPMENT SPACE.

BLUE STAKE!

Two working days before you dig,
CALL FOR THE BLUE STAKE!
1 (602) 263-1100 or
1 (800) STAKE-IT (782-5348)
(OUTSIDE MARICOPA COUNTY)

SHEET INDEX

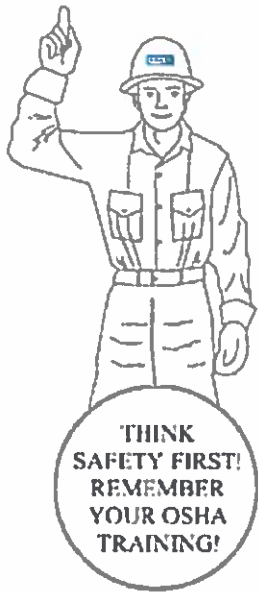
NO.	DESCRIPTION
T-1	TITLE SHEET
T-2	ABBREVIATIONS & SYMBOLS
C-1.0	SETBACK PLAN (COLOR)
C-1.1	SETBACK PLAN (NON-COLOR)
C-1.2	SETBACK PLAN
C-1.3	PARKING CALCULATIONS
C-1.4	OVERALL SITE PLAN & LEGAL DESCRIPTIONS
C-2	SITE GRADING PLAN
C-3	ENLARGED SITE PLAN
C-4	ANTENNA CONFIGURATION
C-5	ELEVATION
C-6	CONSTRUCTION DETAILS
C-7	CONSTRUCTION DETAILS
C-8	CONSTRUCTION DETAILS
E-1	UTILITY SITE PLAN
E-2	ENLARGED POWER PLAN
E-3	UTILITY DETAILS
E-4	SINGLE-LINE DIAGRAM & PANEL SCHEDULE
EG-1	GROUNDING PLAN & NOTES
EG-2	GROUNDING DETAILS
GN-1	GENERAL NOTES
LS-1	SITE SURVEY
LS-2	SITE SURVEY

UTILITY CONTACT INFORMATION

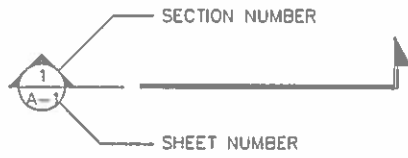
POWER COMPANY: EL PASO ELECTRIC CO.
TELEPHONE COMPANY: TBD

ABBREVIATIONS

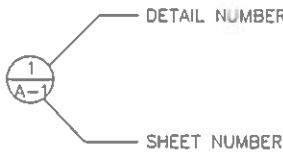
AB	ANCHOR BOLT	GR	GRADE	SIM	SIMILAR
AC	ASPHALTIC CONCRETE	GYP	GYP SUM	SPECS	SPECIFICATIONS
A/C	AIR CONDITIONING	GFCI	GROUND FAULT CIRCUIT	SS	STAINLESS STEEL
ADJ	ADJUSTABLE		INTERRUPT	STL	STEEL
A.F.F.	ABOVE FINISH FLOOR	GND	GROUND	STOR	STORAGE
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	STRUCT	STRUCTURAL
APPROX	APPROXIMATELY	HDW	HARDWARE	SUSP	SUSPENDED
A.G.L.	ABOVE GRADE LEVEL	HTR	HEATER	SW	SWITCH
A.M.S.L.	ABOVE MEAN SEA LEVEL	HM	HOLLOW METAL	SWBO	SWITCHBOARD
BD	BOARD	HORIZ	HORIZONTAL	THK	THICK
BLDG	BUILDING	HR	HOUR	TI	TENANT IMPROVEMENT
BLKG	BLOCKING	HT	HEIGHT	TMA	TOWER MOUNTED AMPLIFIER
BOT	BOTTOM	HV	HIGH VOLTAGE	TOS	TOP OF SURFACE
BSMT	BASEMENT	ID	INSIDE DIMENSION	TS	TUBE STEEL
BTS	BASE TRANSCEIVER	INS	INSULATION	TYP	TYPICAL
	STATION	INT	INTERIOR	U	UNDERGROUND
C	COURSE(S)	JT	JOINT	UNO	UNLESS NOTED
CEM	CEMENT	LAM	LAMINATED		OTHERWISE
CL	CHAIN LINK	LBS	POUNDS	VCT	VINYL
CLG	CEILING	LT	LIGHT		COMPOSITION
CLR	CLEAR	LA	LIGHTNING ARRESTOR		TILE
COL	COLUMN	LNA	LOW NOISE AMPLIFIER	VERT	VERTICAL
CONC	CONCRETE	MFR	MANUFACTURER	V.I.F.	VERIFY IN FIELD
CONST	CONSTRUCTION	MAT	MATERIAL	VG	VERTICAL GRAIN
CONT	CONTINUOUS	MAX	MAXIMUM	W/	WITH
CORR	CORRIDOR	MECH	MECHANICAL	WD	WOOD
CO	CONDUIT ONLY	MIN	MINIMUM	WR	WATER RESISTANT
DIA	DIAMETER	MISC	MISCELLANEOUS	WT	WEIGHT
DBL	DOUBLE	ML	METAL LATH	XFMR	TRANSFORMER
DEPT	DEPARTMENT	MO	MASONRY OPENING		AT
DEMO	DEMOLITION	MS	MACHINE SCREW		
DIM	DIMENSION	MTD	MOUNTED	[	CHANNEL
DN	DOWN	MTL	METAL	⊥	CENTERLINE
DR	DOOR	(N)	NEW	∠	ANGLE
DTL	DETAIL	NIC	NOT IN CONTRACT	ℙ	PROPERTY LINE
DWG	DRAWING	NO	NUMBER		
(E)	EXISTING	NTS	NOT TO SCALE		
EA	EACH	O	OVERHEAD		
ELEC	ELECTRIC	OA	OVERALL		
ELEV	ELEVATION	O.C.	ON CENTER		
EQUIP	EQUIPMENT	OPNG	OPENING		
EXP	EXPANSION	OPP	OPPOSITE		
EXT	EXTERIOR	PARTN	PARTITION		
FA	FIRE ALARM	PL	PLATE		
FB	FLAT BAR	PLAS	PLASTER		
FF	FINISH FLOOR	PLYWD	PLYWOOD		
FH	FLAT HEAD	POC	POINT OF CONNECTION		
FIN	FINISH(ED)	PROP	PROPERTY		
FLR	FLOOR	PT	PRESSURE TREATED		
FOS	FACE OF STUDS	R	RISER		
FS	FINISH SURFACE	REQD	REQUIRED		
FT	FOOT, FEET	RD	ROOF DRAIN		
FTG	FOOTING	RM	ROOM		
FW	FINISH WALL	RMS	ROOMS		
F.G.	FINISH GRADE	RO	ROUGH OPENING		
FUT	FUTURE	SC	SOLID CORE		
GA	GAUGE	SCHED	SCHEDULE		
GALV	GALVANIZED	SECT	SECTION		
GL	GLASS	SHT	SHEET		



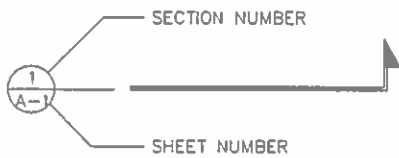
SYMBOLS:



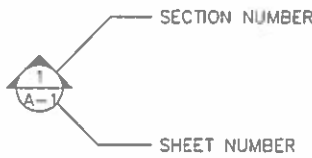
BUILDING SECTION REFERENCE



DETAIL REFERENCE



DETAIL SECTION REFERENCE



ELEVATION VIEW REFERENCE

- # KEY NOTE REFERENCE
- 101 DOOR NUMBER
- 101 AREA AND/OR ROOM NUMBER
- A/2 MECHANICAL UNIT
- UTILITY POLE
- WORK POINT
- # REVISION OR CONTROL POINT
- (REFERENCE POINT) (ELEVATION) ELEVATION REFERENCE

- MASONRY
- BRICK
- CONCRETE
- EARTH
- STEEL
- GRAVEL
- CENTER LINE
- PROPERTY LINE
- LEASE LINE
- EASEMENT LINE
- RIGHT-OF-WAY
- CHAIN LINK FENCE
- WOOD FENCE
- SILT FENCE
- BELOW GRADE ELECTRIC
- BELOW GRADE TELEPHONE
- OVERHEAD ELECTRIC/TELEPHONE
- OVERHEAD TELEPHONE
- OVERHEAD ELECTRIC
- CONTOUR
- TREE PROTECTION FENCE
- TREE LINE
- TREES, SHRUBS, BUSHES
- SANITARY SEWER LINE
- WATER LINE
- NATURAL GAS LINE
- WATER FLOW DIRECTION



SBA
BUILDING BETTER WIRELESS

SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



SiinoDesign

16616 EAST PALISADES BLVD,
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.siinodesign.com

PE SEAL:



REVISIONS		DESCRIPTION
NO.	DATE	
A	05/10/16	REVIEW
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SITE I.D.:
TX17739-B

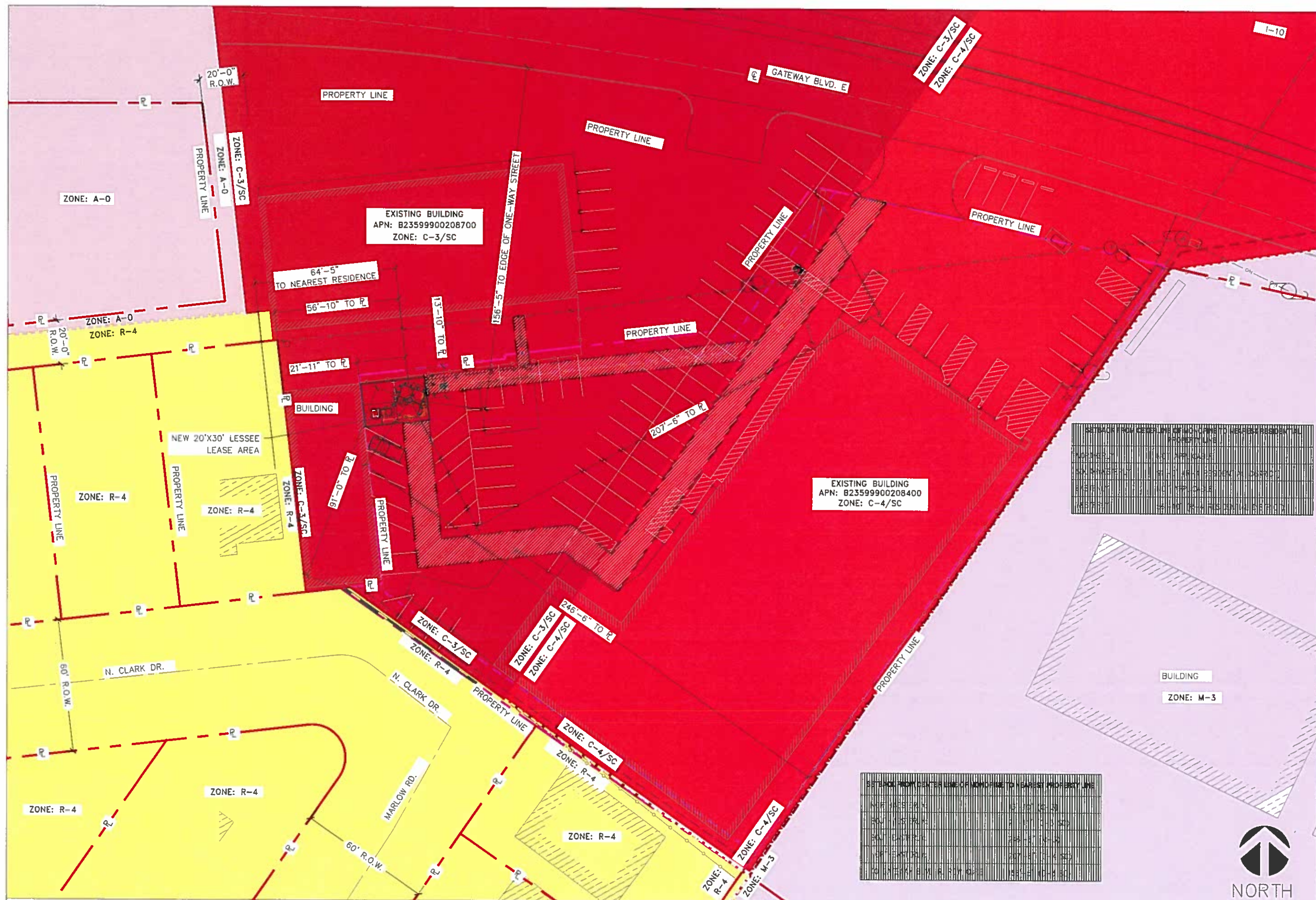
SITE NAME:
ELP CLARK

SITE ADDRESS:
6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:	JN
CHECKED BY:	YJ
DATE:	8/2/16
PROJECT #:	TBD

SHEET TITLE:
ABBREVIATIONS & SYMBOLS

SHEET NO.
T-2



1 SETBACK PLAN (COLOR)

22"x34" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"



SBA TOWERS IX LLC
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YJ

DATE:

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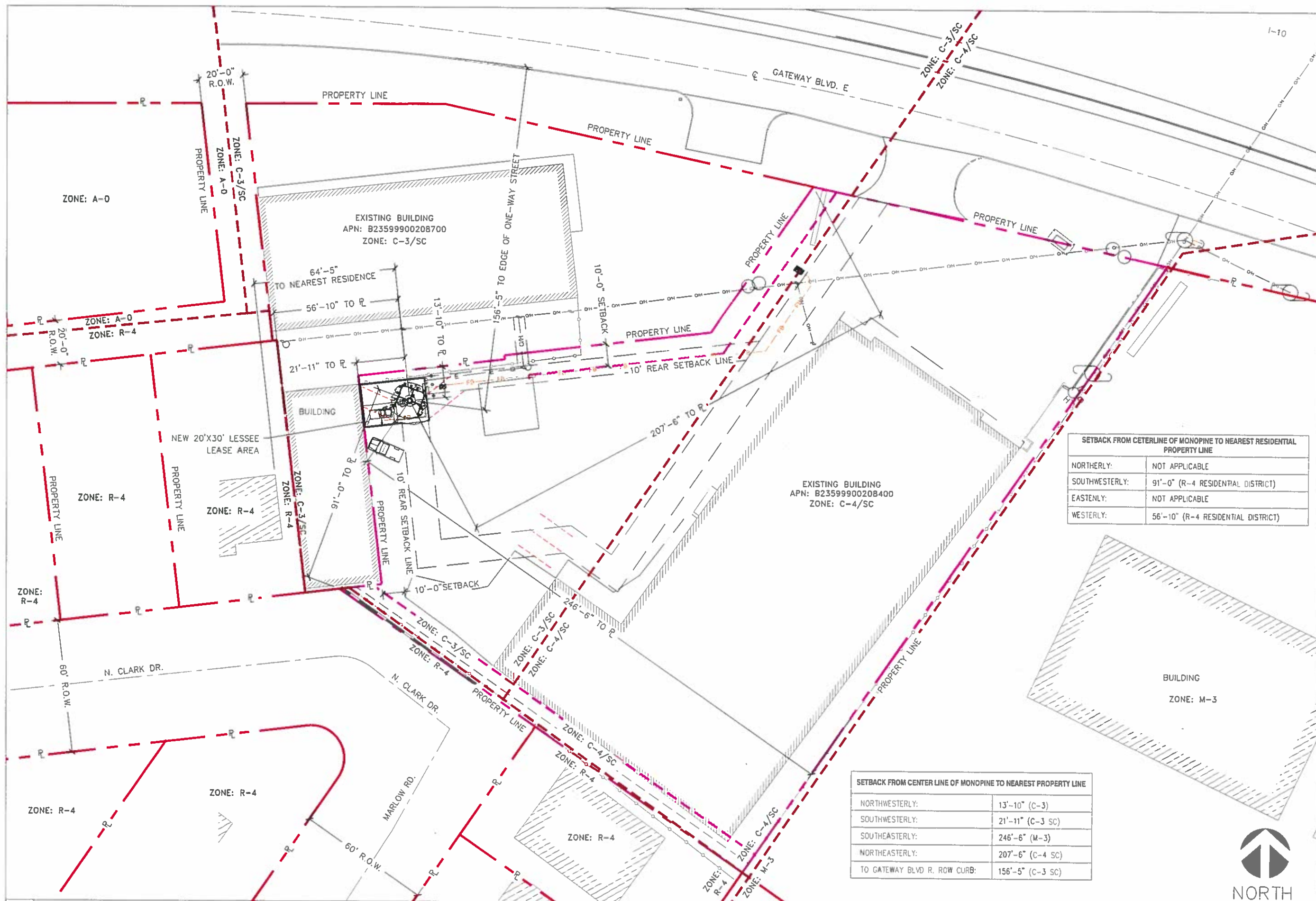
TBD

SHEET TITLE:

SETBACK PLAN
(COLOR)

SHEET NO.

C-1.0



1 SETBACK PLAN (NON-COLOR)

22"x34" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"



SETBACK FROM CENTER LINE OF MONORAIL TO NEAREST PROPERTY LINE	
NORTHWESTERLY:	13'-10" (C-3)
SOUTHWESTERLY:	21'-11" (C-3 SC)
SOUTHEASTERLY:	246'-6" (M-3)
NORTHEASTERLY:	207'-6" (C-4 SC)
TO GATEWAY BLVD R. ROW CURB:	156'-5" (C-3 SC)

SETBACK FROM CENTERLINE OF MONORAIL TO NEAREST RESIDENTIAL PROPERTY LINE	
NORTHERLY:	NOT APPLICABLE
SOUTHWESTERLY:	91'-0" (R-4 RESIDENTIAL DISTRICT)
EASTERLY:	NOT APPLICABLE
WESTERLY:	56'-10" (R-4 RESIDENTIAL DISTRICT)



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



16616 EAST PAUSADES BLVD.,
UNIT # 102
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PHONE: (480) 836-1701
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PE SEAL:



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TX17739-B

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ELP CLARK

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6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

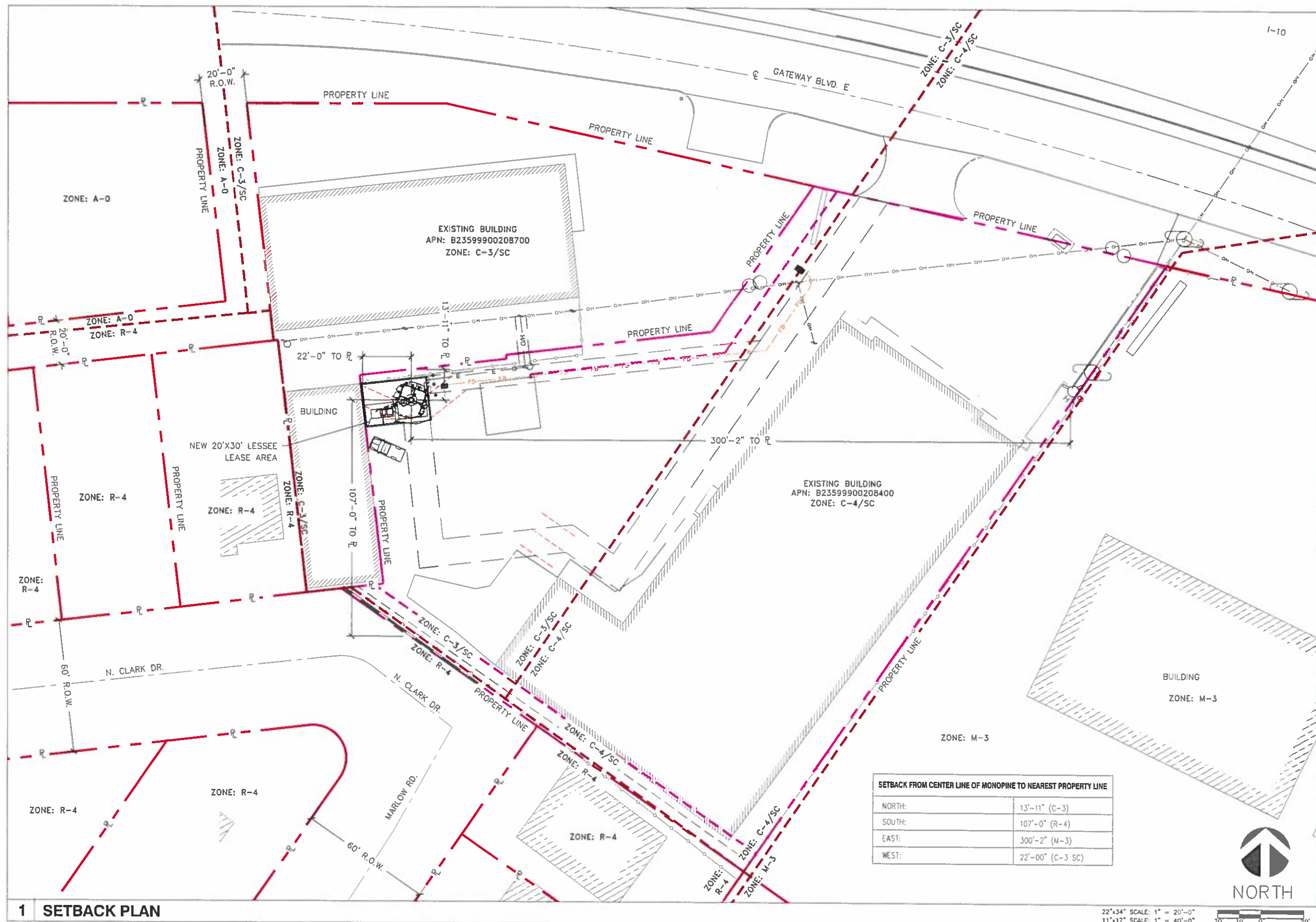
TBD

SHEET TITLE:

SETBACK PLAN
(NON-COLOR)

SHEET NO.

C-1.1



SBA
Building Better Neighborhoods

SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

SiinoDesign

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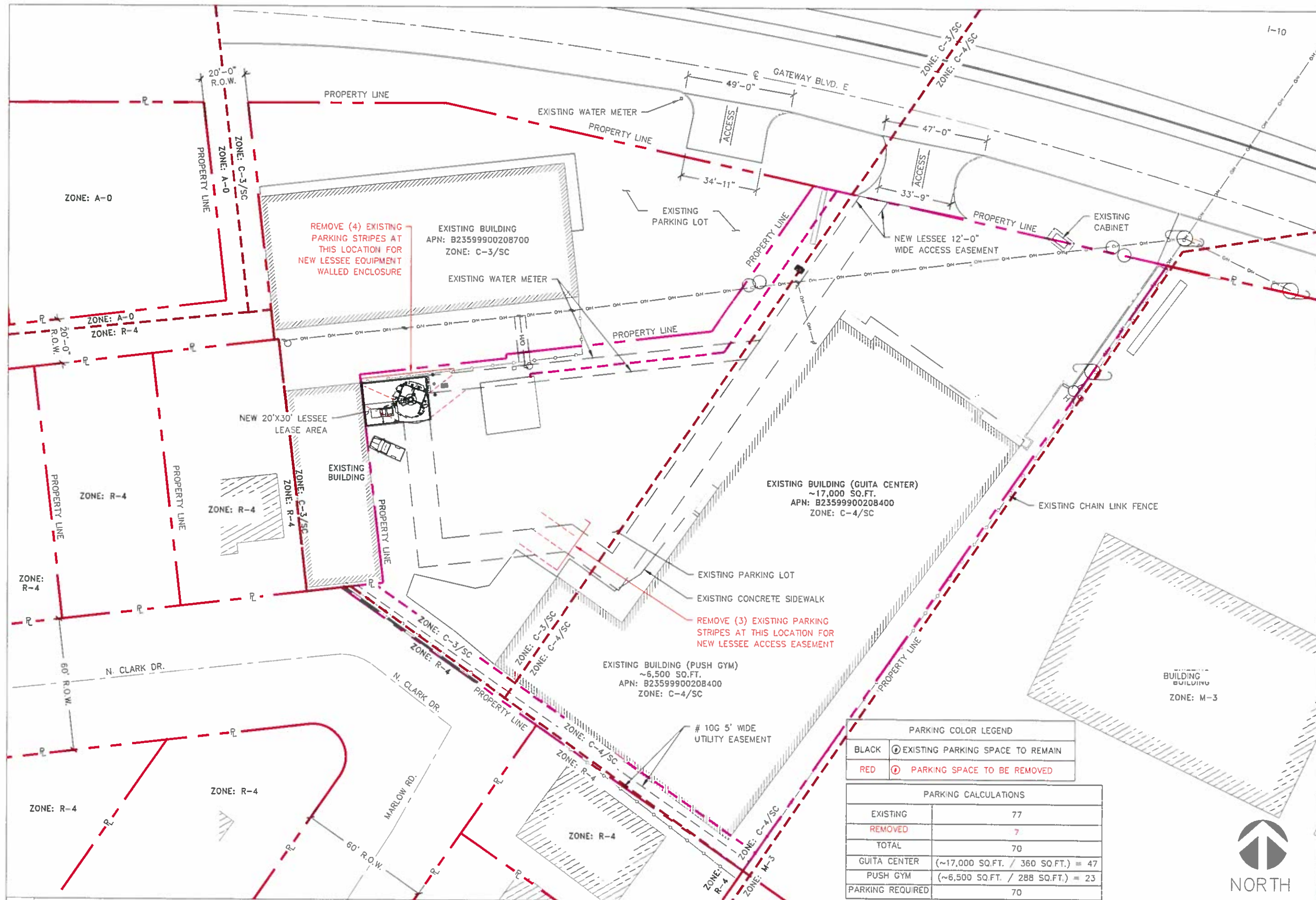
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SITE ADDRESS: 6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:	JN
CHECKED BY:	YJ
DATE:	8/2/16
PROJECT #:	TBD

SHEET TITLE: SETBACK PLAN

SHEET NO. C-1.2



1 PARKING CALCULATIONS

PARKING COLOR LEGEND	
BLACK	EXISTING PARKING SPACE TO REMAIN
RED	PARKING SPACE TO BE REMOVED
PARKING CALCULATIONS	
EXISTING	77
REMOVED	7
TOTAL	70
GUITA CENTER	(~17,000 SQ.FT. / 360 SQ.FT.) = 47
PUSH GYM	(~6,500 SQ.FT. / 288 SQ.FT.) = 23
PARKING REQUIRED	70

22"x34" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"



SBA TOWERS IX LLC
A DELAWARE LIMITED LIABILITY COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



16616 EAST PAULSADES BLVD.
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
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PE SEAL:



REVISIONS	
NO.	DESCRIPTION
A	05/10/16 REVIEW
B	07/12/16 FINAL
C	08/02/16 REMOVED GENERATOR
D	10/14/16 CITY COMMENTS
E	01/23/17 CITY COMMENTS
F	02/28/17 CITY COMMENTS
G	04/11/17 CITY COMMENTS
H	04/20/17 CITY COMMENTS

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

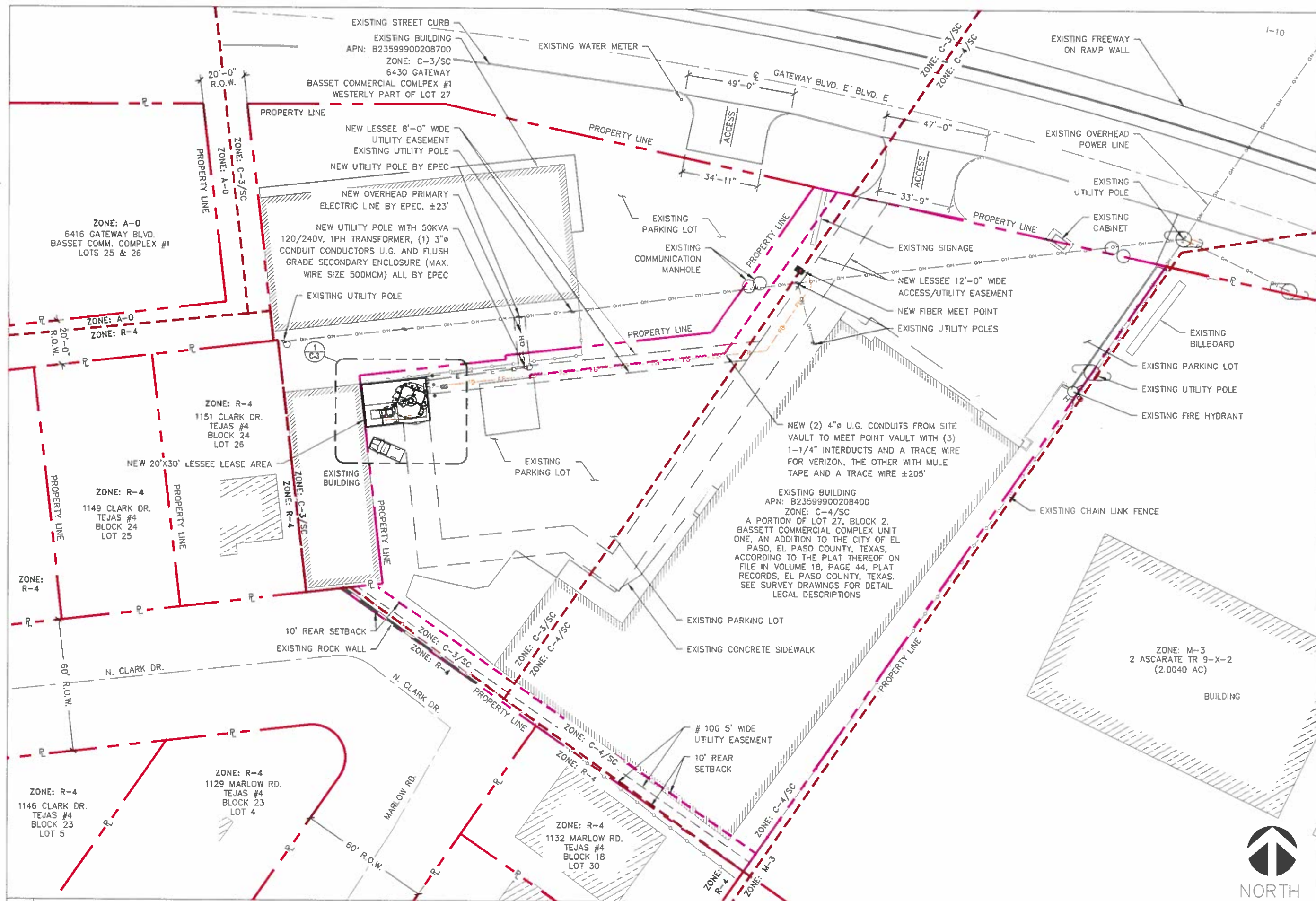
TBD

SHEET TITLE:

PARKING
CALCULATIONS

SHEET NO.

C-1.3



1 OVERALL SITE PLAN & LEGAL DESCRIPTIONS

22"x34" SCALE: 1" = 20'-0"
11"x17" SCALE: 1" = 40'-0"



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SITE I.D.: TX17739-B
SITE NAME: ELP CLARK
SITE ADDRESS: 6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:	JN
CHECKED BY:	YJ
DATE:	8/2/16
PROJECT #:	TBD

SHEET TITLE:
OVERALL SITE PLAN & LEGAL DESCRIPTIONS

SHEET NO.
C-1.4

LANDSCAPING NOTE:

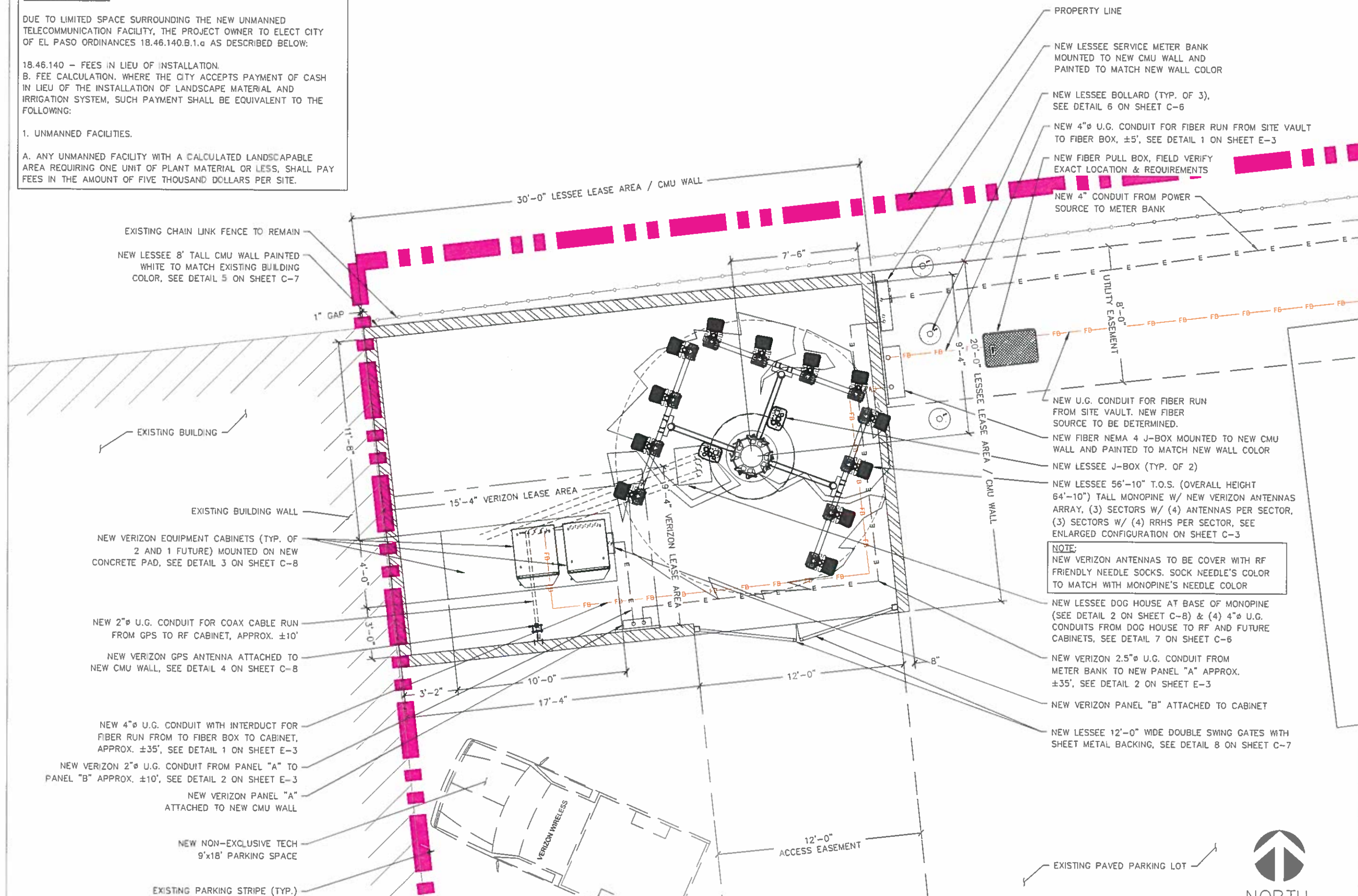
DUE TO LIMITED SPACE SURROUNDING THE NEW UNMANNED TELECOMMUNICATION FACILITY, THE PROJECT OWNER TO ELECT CITY OF EL PASO ORDINANCES 18.46.140.B.1.g AS DESCRIBED BELOW:

18.46.140 - FEES IN LIEU OF INSTALLATION.

B. FEE CALCULATION. WHERE THE CITY ACCEPTS PAYMENT OF CASH IN LIEU OF THE INSTALLATION OF LANDSCAPE MATERIAL AND IRRIGATION SYSTEM, SUCH PAYMENT SHALL BE EQUIVALENT TO THE FOLLOWING:

1. UNMANNED FACILITIES.

A. ANY UNMANNED FACILITY WITH A CALCULATED LANDSCAPABLE AREA REQUIRING ONE UNIT OF PLANT MATERIAL OR LESS, SHALL PAY FEES IN THE AMOUNT OF FIVE THOUSAND DOLLARS PER SITE.



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CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

TBD

SHEET TITLE:

ENLARGED
SITE PLAN

SHEET NO.

C-3

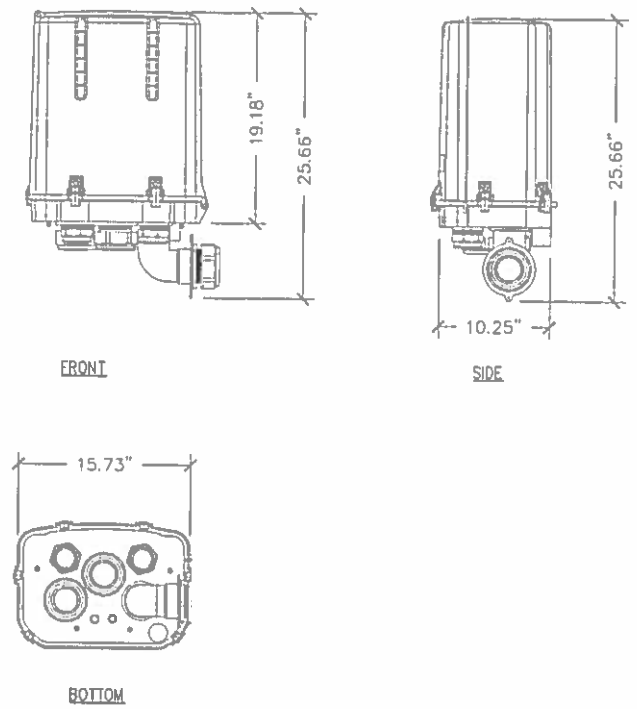
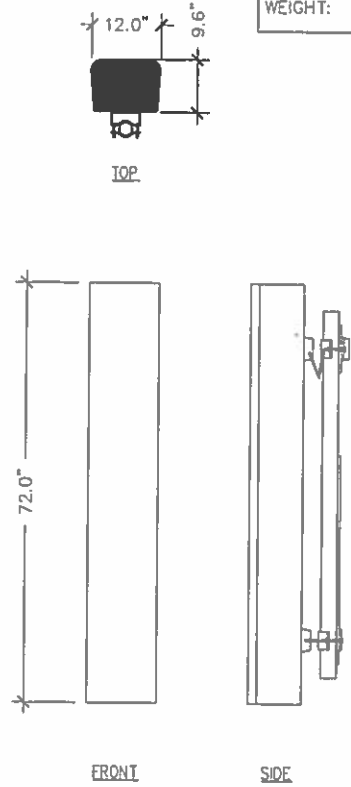


NOTE:
CONTRACTOR TO VERIFY FOR FINAL RF DATA SHEETS WITH
CONSTRUCTION MANAGER PRIOR TO ANY CONSTRUCTION.

NEW ANTENNA & HYBRID DC/FIBER TABLE							
SECTOR	ANT. POSITION NO.	QTY.	RRH QTY.	AZIMUTH	DOWNTILT	CL (FT)	# OF LINE
ALPHA	1 (700)	1	1	10°	4°	50	0
ALPHA	2 (AWS)	1	1	10°	4°	50	0
ALPHA	3 (850)	1	1	10°	4°	50	1
ALPHA	4 (PCS)	1	1	10°	4°	50	1
BETA	1 (700)	1	1	110°	4°	50	0
BETA	2 (AWS)	1	1	110°	4°	50	0
BETA	3 (850)	1	1	110°	4°	50	0
BETA	4 (PCS)	1	1	110°	4°	50	0
GAMMA	1 (700)	1	1	270°	4°	50	0
GAMMA	2 (AWS)	1	1	270°	4°	50	0
GAMMA	3 (850)	1	1	270°	4°	50	0
GAMMA	4 (PCS)	1	1	270°	4°	50	0

- NOTES:
1. JUNCTION BOXES: ADD (2) JUNCTION BOXES ON TOP & (2) JUNCTION BOXES AT THE BOTTOM TOWER, OR WHATEVER IS NEEDED TO DEPLOY (12) RRHs.
 2. DC/FIBER: ADD (3) RUNS OF RSS 6-12 HYBRID CABLE (6-12 DC/FIBER BUNDLE) TO CONNECT J-BOXES.
 3. SEE DETAIL #5 FOR RRHs LOCATIONS AND SPECIFICATIONS.

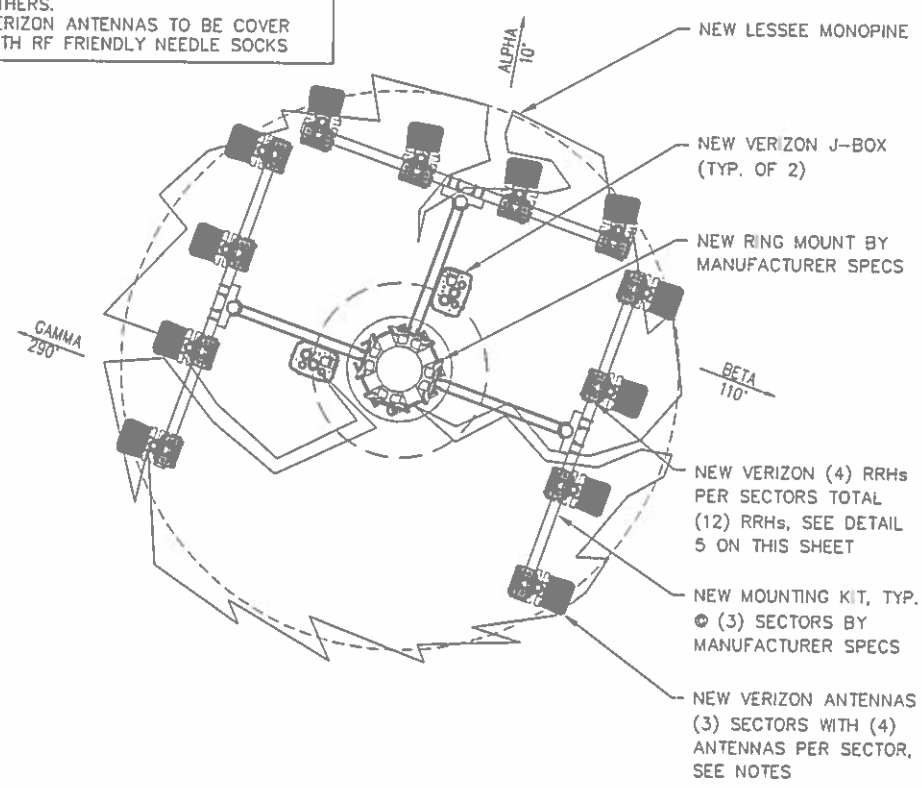
ANTENNA SPECS:
MANUFACTURER: QUNTEL
MODEL: QS6658-3
DIMENSIONS: (L)72"x(W)12"x(D)9.6"
WEIGHT: 78 LBS



1 COAXIAL CABLE TABLE

SCALE: N.T.S.

- NOTES:
1. THE STRUCTURAL ANALYSIS AND DESIGN OF NEW MONOPINE AND ITS FOUNDATION IS PROVIDED BY OTHERS.
 2. VERIZON ANTENNAS TO BE COVER WITH RF FRIENDLY NEEDLE SOCKS



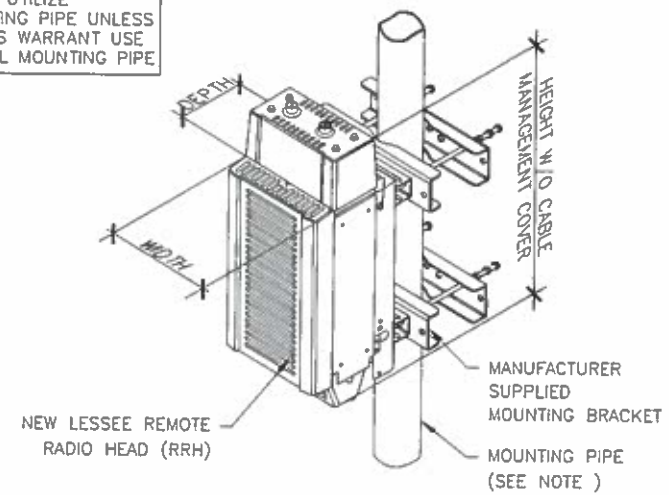
4 NEW ANTENNA CONFIGURATION

SCALE: N.T.S.

2 NEW ANTENNA DETAIL

SCALE: N.T.S.

NOTE:
CONTRACTOR TO UTILIZE ANTENNA MOUNTING PIPE UNLESS FIELD CONDITIONS WARRANT USE OF NEW VERTICAL MOUNTING PIPE



RRH SPECIFICATIONS					
POSITION	RRH	WIDTH	DEPTH	HEIGHT W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
1	RRH (700) 2X60	12"	9"	21.6"	57.2 LBS. (W/O MOUNTING BRACKET)
2	RRH (AWS) 2X90	11.8"	7.2"	25.8"	56.8 LBS. (W/O MOUNTING BRACKET)
3	RRH (850) 2X60	12"	9"	21.6"	57.2 LBS. (W/O MOUNTING BRACKET)
4	RRH (PCS) 2X60	12"	7.2"	21.2"	53 LBS. (W/O MOUNTING BRACKET)

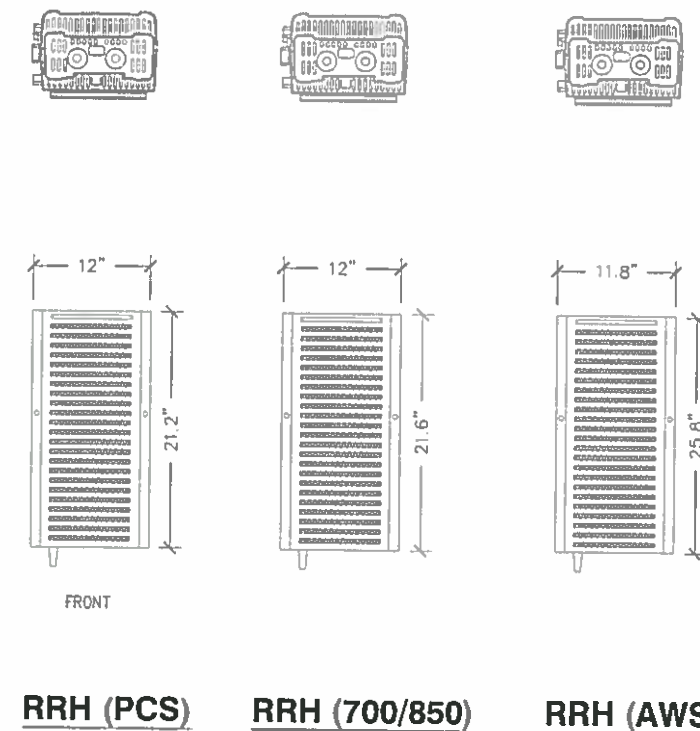
RRH NOTE: DIMENSIONS INCLUDE MOUNTING BRACKET, SOLAR SHIELD AND CONNECTORS.

5 RRH DETAIL

SCALE: N.T.S.

3 NEW J-BOX

SCALE: N.T.S.



RRH (PCS) RRH (700/850) RRH (AWS)

6 RRH DETAILS

SCALE: N.T.S.

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16616 EAST PALMS BLVD.
UNIT # 102
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PHONE: (480) 836-1701
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PE SEAL:

REVISIONS		DESCRIPTION
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H	04/20/17	CITY COMMENTS

SITE ID: TX17739-B
SITE NAME: ELP CLARK
SITE ADDRESS: 6440 GATEWAY BLVD., # E
EL PASO, TX 79905

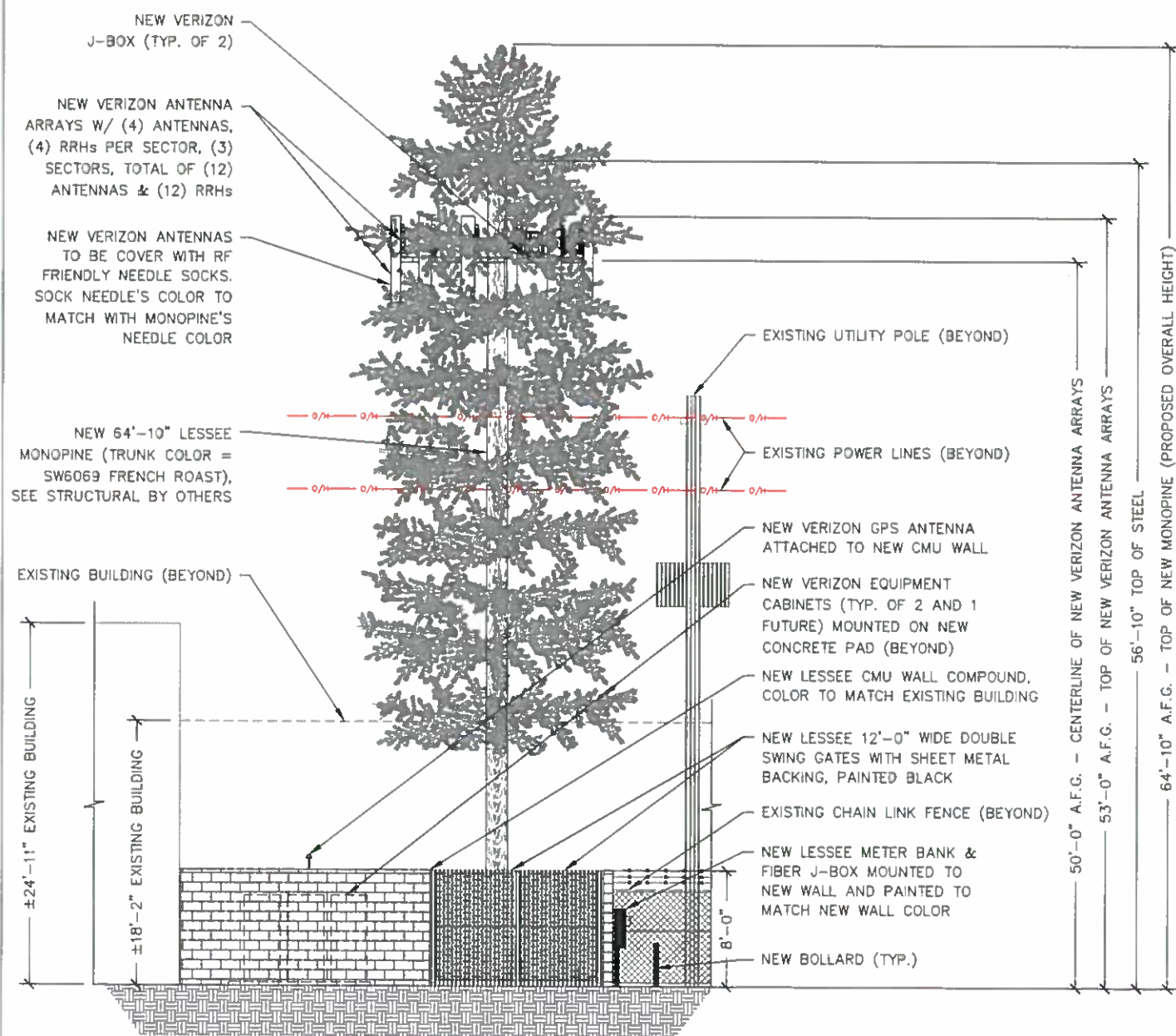
DRAWN BY: JN
CHECKED BY: YJ
DATE: 8/2/16
PROJECT #: TBD

SHEET TITLE:
ANTENNA CONFIGURATION

SHEET NO.
C-4

NOTES:

1. THE STRUCTURAL ANALYSIS AND DESIGN OF NEW MONOPINE ARE PROVIDED BY OTHERS.
2. CONTRACTOR TO REFER TO POLE STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
3. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPINE.
4. VERIZON ANTENNAS TO BE COVER WITH RF FRIENDLY NEEDLE SOCKS, SOCK NEEDLE'S COLOR TO MATCH WITH MONOPINE'S NEEDLE COLOR



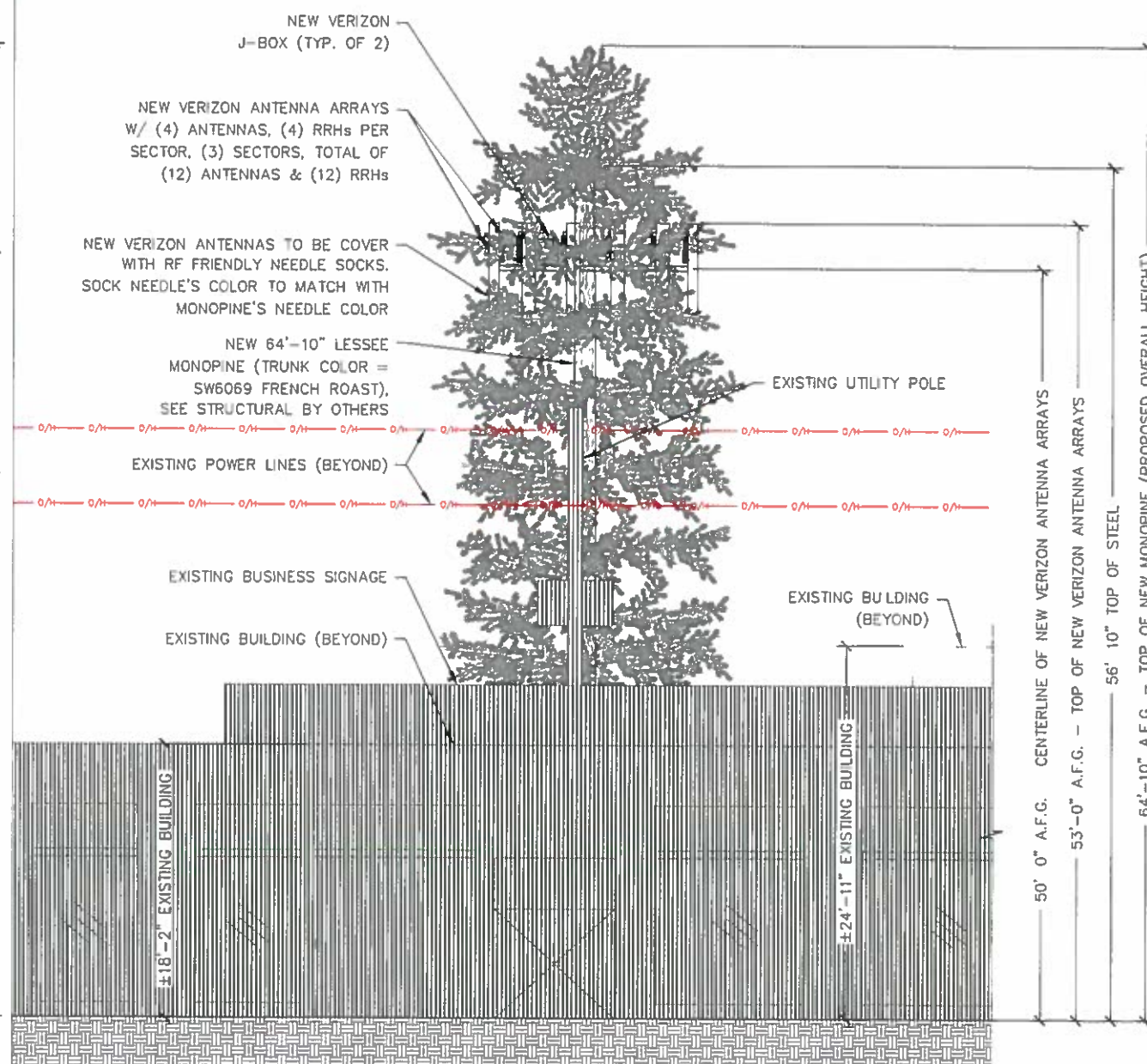
1 SOUTH ELEVATION

22"x34" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"



NOTES:

1. THE STRUCTURAL ANALYSIS AND DESIGN OF NEW MONOPINE ARE PROVIDED BY OTHERS.
2. CONTRACTOR TO REFER TO POLE STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
3. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPINE.
4. VERIZON ANTENNAS TO BE COVER WITH RF FRIENDLY NEEDLE SOCKS, SOCK NEEDLE'S COLOR TO MATCH WITH MONOPINE'S NEEDLE COLOR



2 NORTH ELEVATION

22"x34" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



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PE SEAL:



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SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

TBD

SHEET TITLE:

ELEVATIONS

SHEET NO.

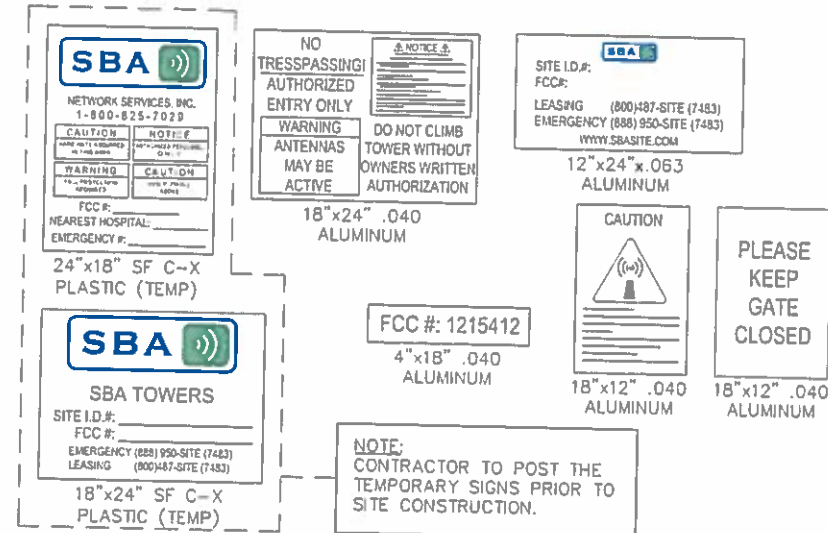
C-5

NOTE:
WEED CONTROL FABRIC SHALL
BE USED UNDER ENTIRE
PROPOSED GRAVELED AREA
WITH A 36" MINIMUM OVERLAP.
CONTRACTOR SHALL INSTALL
FABRIC PER MFG.
RECOMMENDATIONS.

NEW 3" THICK (MIN.) #57 WASHED
STONE-SLOPE TO MAINTAIN
POSITIVE DRAINAGE, COMPACT TO
90% OF THE STANDARD PROCTOR
MAXIMUM DRY DENSITY (ASTM
D-698)

SUITABLE UNDISTURBED SUBGRADE.
REMOVE ALL ORGANIC OR UNSUITABLE
MATERIAL AND COMPACT TO 90% OF
THE STANDARD PROCTOR MAXIMUM
DRY DENSITY (ASTM D-698)

NEW 6 MIL MIRAFI 500 WEED
CONTROL FABRIC OR APPROVED
EQUAL
NEW 3" THICK (MIN.) ABC
(CRUSHER RUN) STONE-SLOPE TO
MAINTAIN POSITIVE DRAINAGE,
COMPACT TO 90% OF THE
STANDARD PROCTOR MAXIMUM DRY
DENSITY (ASTM D-698)



1 NOT USED

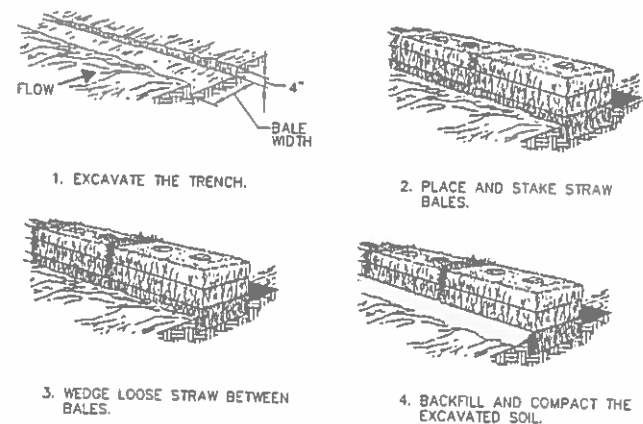
SCALE: N.T.S.

2 COMPOUND FINISH DETAIL

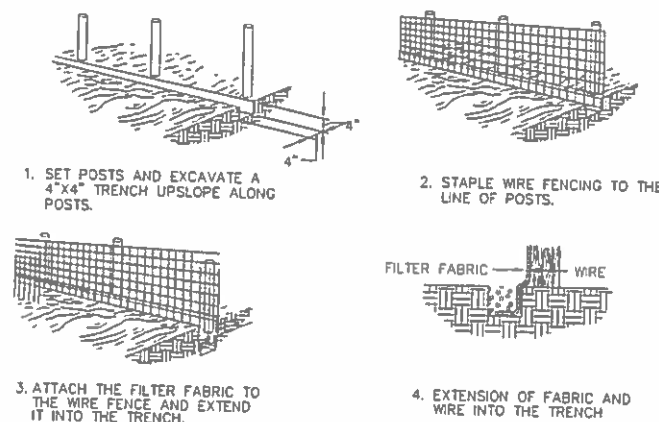
SCALE: N.T.S.

3 SIGN DETAIL

SCALE: N.T.S.



STRAW BALE BARRIER



SILT FENCE

4 EROSION CONTROL DETAIL

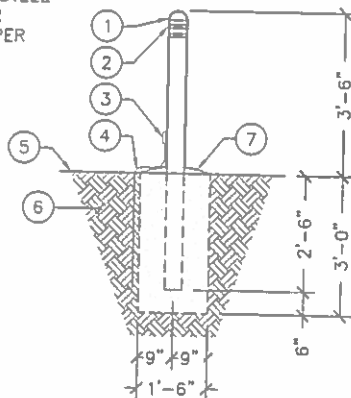
SCALE: N.T.S.

5 NOT USED

SCALE: N.T.S.

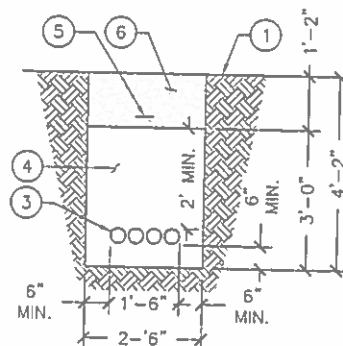
BOLLARD KEYED NOTES: (#)

- 4"Ø CONCRETE FILLED SCH40 STEEL BOLLARD
- PLASTIC BOLLARD COVER; COLOR: YELLOW WITH (2) BLACK STRIPES
- EXOTHERMIC WELD (TYPE VS) TO STEEL BOLLARD - SLOT CUT FOR COVER
- #2 AWG SOLID TINNED BARE COPPER CONDUCTOR TO GROUND RING
- FINISHED GRADE
- NATURAL SOIL
- CAP FOR WATERSHED



COAX CONDUIT TRENCH KEYED NOTES: (#)

- FINISHED GRADE
- NOT USED
- (4) 4"Ø PVC SCH. 40 CONDUITS
- CLEAR BEDDING (NO ROCK), SAND, OR SLURRY; MIN. 12" COVERAGE OVER CONDUIT
- DETECTABLE WARNING TAPE TO BE LOCATED 12" BELOW FIN. GRADE ALONG ENTIRE TRENCH
- BACK FILL



NOTE:
THIS DETAIL NOT
APPLICABLE TO
WATER LINE(S)

6 BOLLARD TRENCH DETAIL

SCALE: N.T.S.

7 COAX CONDUIT TRENCH DETAIL

SCALE: N.T.S.

8 NOT USED

SCALE: N.T.S.



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PE SEAL:



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SHEET NO.

TX17739-B

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SHEET ADDRESS:

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EL PASO, TX 79905

DRAWN BY:

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PROJECT #:

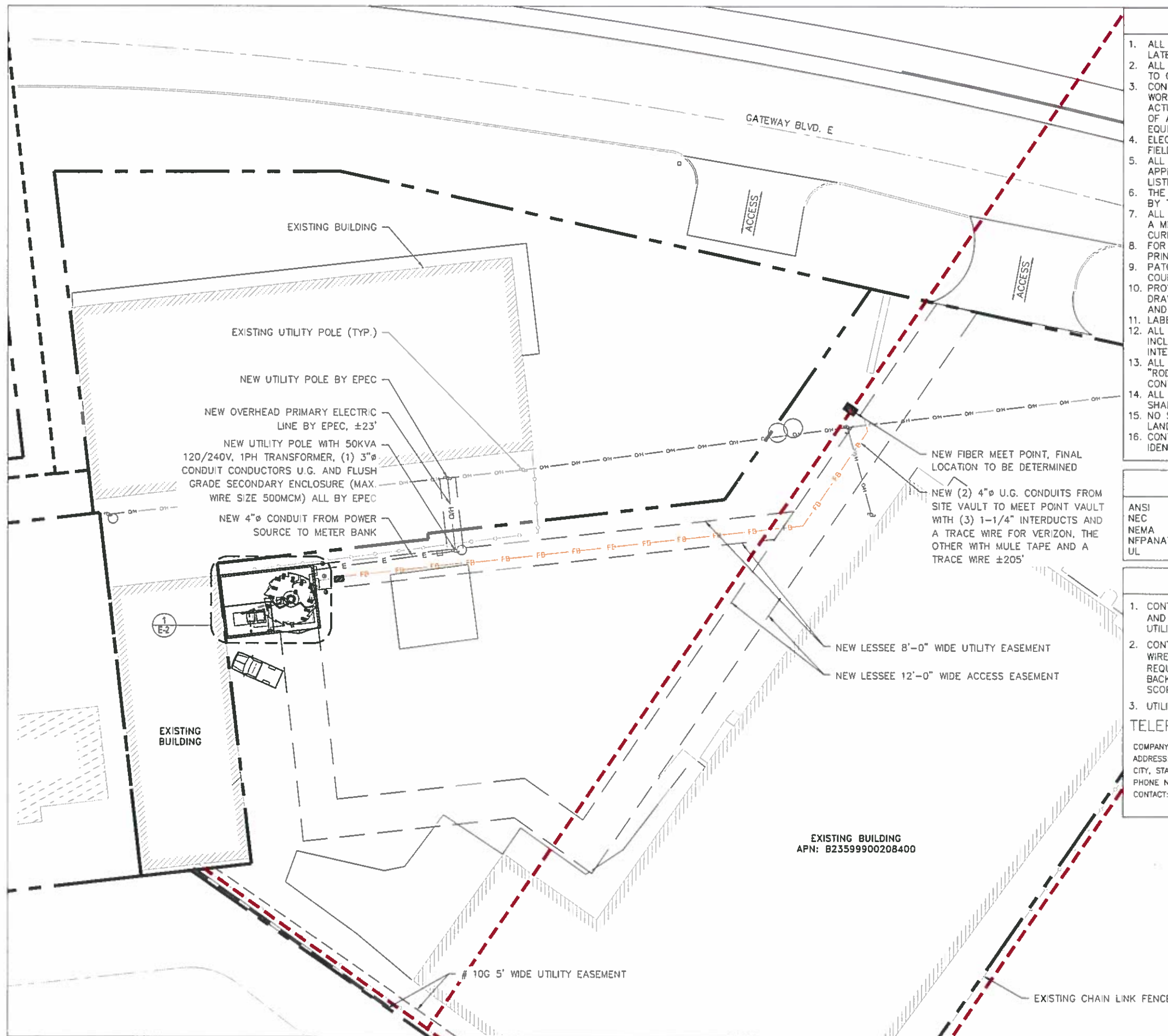
TBD

SHEET TITLE:

CONSTRUCTION
DETAILS

SHEET NO.

C-6



NOTICE

1. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRIC CODE, LATEST ADOPTED EDITION, AND LOCAL CODES.
2. ALL ELECTRICAL MATERIALS, EQUIPMENT AND INSTALLATION PROCEDURES TO CONFORM WITH SBA SPECIFICATIONS.
3. CONTRACTOR SHALL PERFORM ALL VERIFICATION TESTS AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT & DISCREPANCIES.
4. ELECTRICAL PLANS, DETAILS, AND DIAGRAMS ARE DIAGRAMMATIC ONLY. FIELD CONDITIONS DICTATE THE AMOUNT AND LOCATION OF EQUIPMENT.
5. ALL MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NFPA, AND "UL" LISTED.
6. THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY THE NEC, AND ALL APPLICABLE LOCAL CODES.
7. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A MINIMUM INTERRUPTING RATING GREATER THAN THE UTILITY FAULT CURRENT.
8. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO VENDOR PRINTS AND INSTRUCTIONS.
9. PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
10. PROVIDE SBA WITH ONE SET OF COMPLETE ELECTRICAL "AS-BUILT" DRAWINGS AT THE COMPLETION OF THE JOB SHOWING ACTUAL ROUTINGS AND WIRING CONNECTIONS.
11. LABEL ALL ELECTRICAL EQUIPMENT PER SBA SPECIFICATIONS.
12. ALL SINGLE-PHASE SELF-CONTAINED METER CONNECTION DEVICES MUST INCLUDE HORN TYPE BY-PASS PROVISION SO THAT SERVICE WILL NOT BE INTERRUPTED WHEN A METER IS REMOVED FROM THE SOCKET.
13. ALL EQUIPMENT PUNCH OUTS AND CONDUITS (USED AND SPARE) TO BE "RODENT PROOFED" WITH CAPS, STEEL MESH, AND/OR FOAM FILL BY CONTRACTOR (AS NEEDED).
14. ALL INTERIOR CONDUITS AND BUSHINGS SHALL BE EMT. ALL EXTERIOR SHALL BE PVC UNLESS NOTED OTHERWISE. SEE SBA SPECIFICATIONS.
15. NO SPOILS TO BE LEFT ON SITE WITHOUT THE WRITTEN CONSENT OF THE LANDOWNER.
16. CONTRACTOR TO PROVIDE 2 PHENOLIC LABELS AT METER. ONE TO IDENTIFY "SBA DISCONNECT" AND THE OTHER TO GIVE SITE ADDRESS.

CODE AND STANDARDS

ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
NEC NATIONAL ELECTRICAL CODE, LATEST ADOPTED EDITION
NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
UL UNDERWRITERS LABORATORIES, INC.

POWER & TELEPHONE GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIAL REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY ENGINEERING PLANS AND SPECIFICATIONS ONLY.
2. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL WIRES, CABLE PULLBOXES, CONCRETE ENCASUREMENT OF CONDUIT (IF REQUIRED), TRANSFORMER PAD, BARRIERS, POLE RISERS, TRENCHING, BACKFILL, AND INCLUDE ANY UTILITY COMPANY REQUIREMENTS IN SCOPE OF WORK.
3. UTILITY CONTACTS

TELEPHONE COMPANY:

COMPANY NAME: _____
ADDRESS: _____
CITY, STATE, ZIP: _____
PHONE NUMBER: _____
CONTACT: _____

POWER COMPANY:

COMPANY NAME: EL PASO ELECTRIC CO.
ADDRESS: _____
CITY, STATE, ZIP: _____
PHONE NUMBER: (915) 238-1548
CONTACT: RICHARD CARRILLO

Two working days before you dig,
CALL FOR THE BLUE STAKE!
1 (602) 263-1100 or
1 (800) STAKE-IT (782-5348)
(OUTSIDE MARICOPA COUNTY)



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PE SEAL:



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TX17739-B

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EL PASO, TX 79905

DRAWN BY:

JN

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YJ

DATE:

8/2/16

PROJECT #:

TBD

SHEET TITLE:

UTILITY SITE PLAN

SHEET NO.

E-1

EXISTING CHAIN LINK FENCE TO REMAIN

NEW 6' TALL CMU WALL PAINTED WHITE
TO MATCH EXISTING BUILDING COLOR

EXISTING BUILDING WALL

NEW VERIZON EQUIPMENT CABINETS (TYP. OF
2 AND 1 FUTURE) MOUNTED ON NEW
CONCRETE PAD, SEE DETAIL 3 ON SHEET C-8

NEW 2" U.G. CONDUIT FOR COAX CABLE RUN
FROM GPS TO RF CABINET, APPROX. ±10'

NEW VERIZON GPS ANTENNA ATTACHED TO
NEW CMU WALL, SEE DETAIL 4 ON SHEET C-8

NEW 4" U.G. CONDUIT WITH INTERDUCT FOR
FIBER RUN FROM TO FIBER BOX TO CABINET,
APPROX. ±35', SEE DETAIL 1 ON SHEET E-3

NEW VERIZON 2" U.G. CONDUIT FROM PANEL "A" TO
PANEL "B" APPROX. ±10', SEE DETAIL 2 ON SHEET E-3

NEW VERIZON 200A PANEL "A"
ATTACHED TO NEW CMU WALL

NEW NON-EXCLUSIVE TECH
9'x18' PARKING SPACE

EXISTING PARKING STRIPE (TYP.)

NEW LESSEE SERVICE METER BANK
MOUNTED ON NEW CMU WALL AND
PAINTED TO MATCH NEW WALL COLOR

NEW FIBER NEMA 4 FIBER BOX
MOUNTED TO NEW CMU WALL AND
PAINTED TO MATCH NEW WALL COLOR

NEW LESSEE BOLLARD (TYP. OF 3)

NEW 4" U.G. CONDUIT FOR FIBER RUN
FROM SITE VAULT TO FIBER BOX, ±5'

NEW 4" CONDUIT FROM POWER
SOURCE TO METER BANK, ±40'

NEW U.G. CONDUIT FOR FIBER RUN
FROM SITE VAULT. NEW FIBER
SOURCE TO BE DETERMINED.

NEW FIBER NEMA 4 J-BOX MOUNTED TO NEW CMU
WALL AND PAINTED TO MATCH NEW WALL COLOR

NEW LESSEE J-BOX (TYP. OF 2)

NEW LESSEE 56'-10" T.O.S. (OVERALL HEIGHT
64'-10") TALL MONOPINE W/ NEW VERIZON ANTENNAS
ARRAY, (3) SECTORS W/ (4) ANTENNAS PER SECTOR,
(3) SECTORS W/ (4) RRHS PER SECTOR, SEE
ENLARGED CONFIGURATION ON SHEET C-3

NOTE:
NEW VERIZON ANTENNAS TO BE COVER WITH RF
FRIENDLY NEEDLE SOCKS. SOCK NEEDLE'S COLOR
TO MATCH WITH MONOPINE'S NEEDLE COLOR

NEW LESSEE DOG HOUSE AT BASE OF MONOPINE
(SEE DETAIL 2 ON SHEET C-8) & (4) 4" U.G.
CONDUITS FROM DOG HOUSE TO RF AND FUTURE
CABINETS, SEE DETAIL 7 ON SHEET C-6

NEW VERIZON 2.5" U.G. CONDUIT FROM
METER BANK TO NEW PANEL "A" APPROX.
±35', SEE DETAIL 2 ON SHEET E-3

NEW VERIZON 125A PANEL "B" ATTACHED TO CABINET

NEW LESSEE 12'-0" WIDE DOUBLE SWING GATES WITH
SHEET METAL BACKING, SEE DETAIL 8 ON SHEET C-7

EXISTING PAVED PARKING LOT



1 ENLARGED POWER PLAN

22"x34" SCALE: 3/8" = 1'-0"
11"x17" SCALE: 3/16" = 1'-0"



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PE SEAL:



REVISIONS		DATE	DESCRIPTION
NO.	A	05/10/16	REVIEW
	B	07/12/16	FINAL
	C	08/02/16	REMOVED GENERATOR
	D	10/14/16	CITY COMMENTS
	E	01/23/17	CITY COMMENTS
	F	02/28/17	CITY COMMENTS
	G	04/11/17	CITY COMMENTS
	H	04/20/17	CITY COMMENTS

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

TBD

SHEET TITLE:

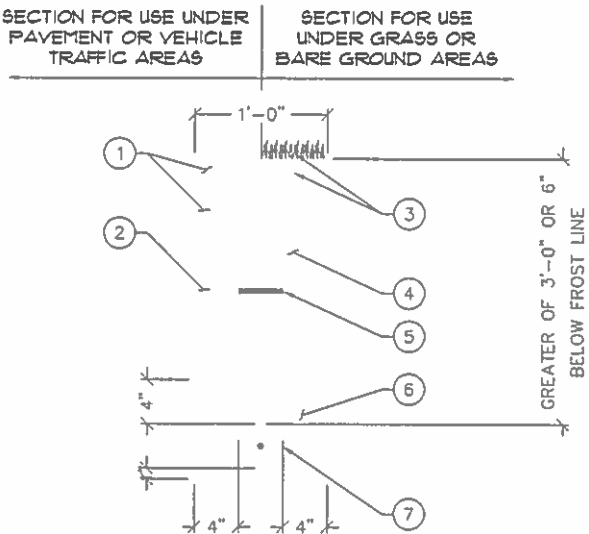
ENLARGED POWER
PLAN

SHEET NO.

E-2

FIBER TRENCH KEYED NOTES: (#)

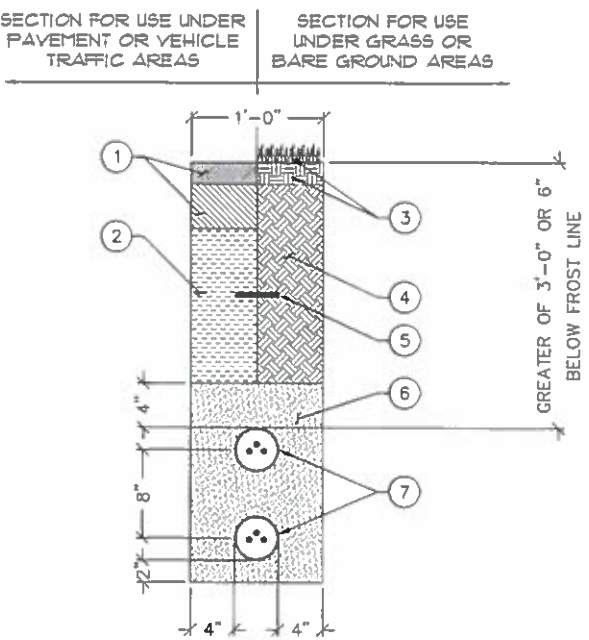
1. RESTORE SURFACE COURSE AND BASE COURSE MATERIAL TO ORIGINAL CONDITION
2. GRAVEL BASE COMPACTED TO 90% STANDARD PROCTOR MAXIMUM DRY DENSITY
3. RESEED AS NEEDED
4. COMPACTED NATIVE SOIL
5. WARNING TAPE
6. SAND
7. 4"Ø PVC SCH. 40 CONDUIT FOR FIBER SERVICE



NOTE:
THIS DETAIL NOT APPLICABLE
TO WATER LINE(S)

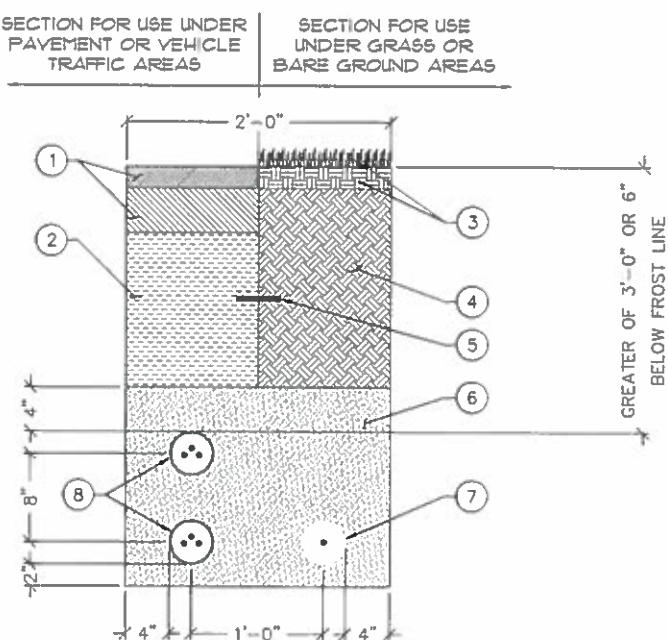
HIGH VOLTAGE TRENCH KEYED NOTES: (#)

1. RESTORE SURFACE COURSE AND BASE COURSE MATERIAL TO ORIGINAL CONDITION
2. GRAVEL BASE COMPACTED TO 90% STANDARD PROCTOR MAXIMUM DRY DENSITY
3. RESEED AS NEEDED
4. COMPACTED NATIVE SOIL
5. WARNING TAPE
6. SAND
7. (2) 4"Ø PVC SCH. 40 CONDUIT FOR ELECTRICAL SERVICE



HIGH VOLTAGE TRENCH KEYED NOTES: (#)

1. RESTORE SURFACE COURSE AND BASE COURSE MATERIAL TO ORIGINAL CONDITION
2. GRAVEL BASE COMPACTED TO 90% STANDARD PROCTOR MAXIMUM DRY DENSITY
3. RESEED AS NEEDED
4. COMPACTED NATIVE SOIL
5. WARNING TAPE
6. SAND
7. 4"Ø PVC SCH. 40 CONDUIT FOR FIBER SERVICE
8. (2) 4"Ø PVC SCH. 40 CONDUIT FOR ELECTRICAL SERVICE



1 FIBER TRENCH DETAIL

SCALE: N.T.S.

2 ELECTRICAL TRENCH DETAIL

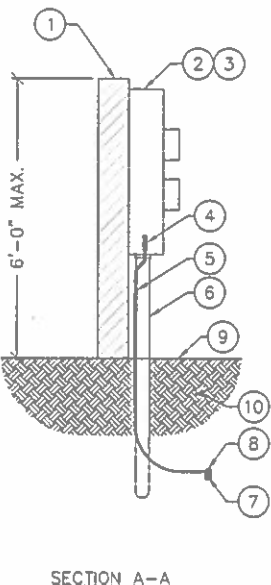
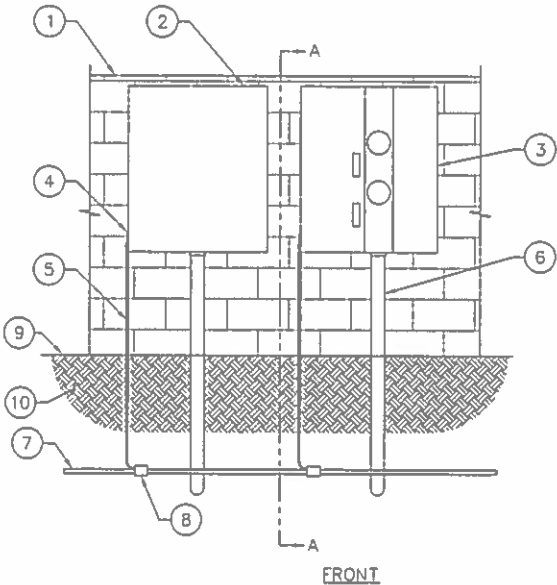
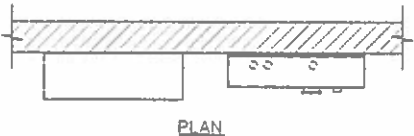
SCALE: N.T.S.

3 JOINT UTILITY TRENCH DETAIL

SCALE: N.T.S.

H-FRAME POST KEYED NOTES: (#)

1. CMU WALL
2. FIBER NEMA 4 BOX
3. 2-GANG METER BANK SERVICES, NEMA 3R
4. MECHANICAL GROUND BONDING (TYPE YA-2) (TYP.)
5. #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP.)
6. RIGID CONDUIT
7. GROUND RING
8. EXOTHERMIC WELD (TYPE PT) (TYP.)
9. FINISHED GRADE OR ASPHALT
10. NATURAL SOIL



4 UTILITY H-FRAME

SCALE: N.T.S.



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PE SEAL:



REVISIONS		DATE	DESCRIPTION
NO.	DATE	DESCRIPTION	
A	05/10/16	REVIEW	
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SITE ID:
TX17739-B
SITE NAME:
ELP CLARK
SITE ADDRESS:
6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY: JN
CHECKED BY: YJ
DATE: 8/2/16
PROJECT #: TBD

SHEET TITLE:
UTILITY DETAILS

SHEET NO.
E-3

NEW ELECTRICAL PANEL SCHEDULE													
PANEL A													
LOCATION: AT LEASE AREA													
MOUNTING: SURFACE													
NEMA RATING: 3R													
VOLTAGE: 240 / 120 V 1Ø, 3Ø													
MARS: 200 A MCB													
BUS: 200 A CU													
LOAD DESCRIPTION	ENT COND	CU COND	PHASE	ENT BRKR	OR NO.	LOAD AMPS	OR NO.	ENT BRKR	CU COND	ENT COND	LOAD DESCRIPTION	ENT COND	LOAD DESCRIPTION
LIGHTING & EMERGENCY LIGHTING	3/4"	12	12	20	1	0.0	20	12	12	3/4"	RECEPTACLES		
TECH LIGHT (FUTURE)				1	1.5		2	1			RECEPTACLES		
PANEL				125	3	78.5					MAINTENANCE RECP (FUTURE)		
PANEL B				5	73.5	10.0	4				BUSSED SPACE		
CONT.				2	10.0		6				BUSSED SPACE		
BUSSED SPACE				7		0.0					BUSSED SPACE		
BUSSED SPACE				8	0.0		8				BUSSED SPACE		
BUSSED SPACE				11	0.0		12				BUSSED SPACE		
BUSSED SPACE				13	0.0		14				BUSSED SPACE		
BUSSED SPACE				15	0.0		16				BUSSED SPACE		
BUSSED SPACE				17	0.0		18				BUSSED SPACE		
BUSSED SPACE				18	0.0		20				BUSSED SPACE		
BUSSED SPACE				21	0.0		22				BUSSED SPACE		
BUSSED SPACE				23	0.0		24				BUSSED SPACE		
BUSSED SPACE				25	0.0		26				BUSSED SPACE		
BUSSED SPACE				27	0.0		28				BUSSED SPACE		
BUSSED SPACE				28	0.0		30				BUSSED SPACE		
AMPS PER PHASE (CODE LOAD)					81	78.5							
CONTRACTOR TO INSTALL APPROVED HANDLE TIE ON ALL SHARED NEUTRAL CIRCUITS.													
SYMBOL LIST													
1 PHASE DEMAND (KVA)													
LIGHTING													
25% OF LIGHTING													
RECEPTACLES													
MECH (LARGEST) @ 1.25X													
PANEL													
TOTAL VA													
20.3 KVA @ 240 V 1Ø													
85.5 A @ 240 V 1Ø													

NEW ELECTRICAL PANEL SCHEDULE													
PANEL B													
LOCATION: MOUNTED ON EQUIPMENT													
MOUNTING: SURFACE													
NEMA RATING: 3R													
VOLTAGE: 240 / 120 V 1Ø, 3Ø													
MARS: 125 A MCB													
BUS: 125 A CU													
LOAD DESCRIPTION	ENT COND	CU COND	PHASE	ENT BRKR	OR NO.	LOAD AMPS	OR NO.	ENT BRKR	CU COND	ENT COND	LOAD DESCRIPTION	ENT COND	LOAD DESCRIPTION
MISC	3/4"	12	8	40	1	13.3	40	8	12	3/4"	MISC		
RECEPT #1				3	13.3		2				MISC		
MISC				2		13.3	6				RECEPT #3		
CONT.				5	13.3		6				MISC		
MISC	3/4"	12	8	40	3	13.3	6				CONT.		
RECEPT #2				7	13.3		6				MISC		
MISC				2		13.3	8				CONT.		
CONT.				9	20.3	1.5	20	8	12	3/4"	RECEPTACLES		
MECH (LARGEST)	3/4"	10	10	30	0.0	20.3	10	1			CFR RECP (POWER CABINET)		
ACR1				11	1.5		20	8	12	3/4"	RECEPTACLES		
MECH (LARGEST)				2		1.5	12	1			CFR RECP (RF CABINET)		
CONT.													
AMPS PER PHASE (CODE LOAD)					73.5	78.5							
CONTRACTOR TO INSTALL APPROVED HANDLE TIE ON ALL SHARED NEUTRAL CIRCUITS.													
SYMBOL LIST													
1 PHASE DEMAND (KVA)													
RECEPTACLES													
MISC/LANEDUS													
MECH (LARGEST) @ 1.25X													
PANEL													
TOTAL VA													
19.9 KVA @ 240 V 1Ø													
83.1 A @ 240 V 1Ø													

CODE LOAD SUMMARY
PANEL 'A' @ 240V = 85.5A
INCLUDING PANEL 'B'

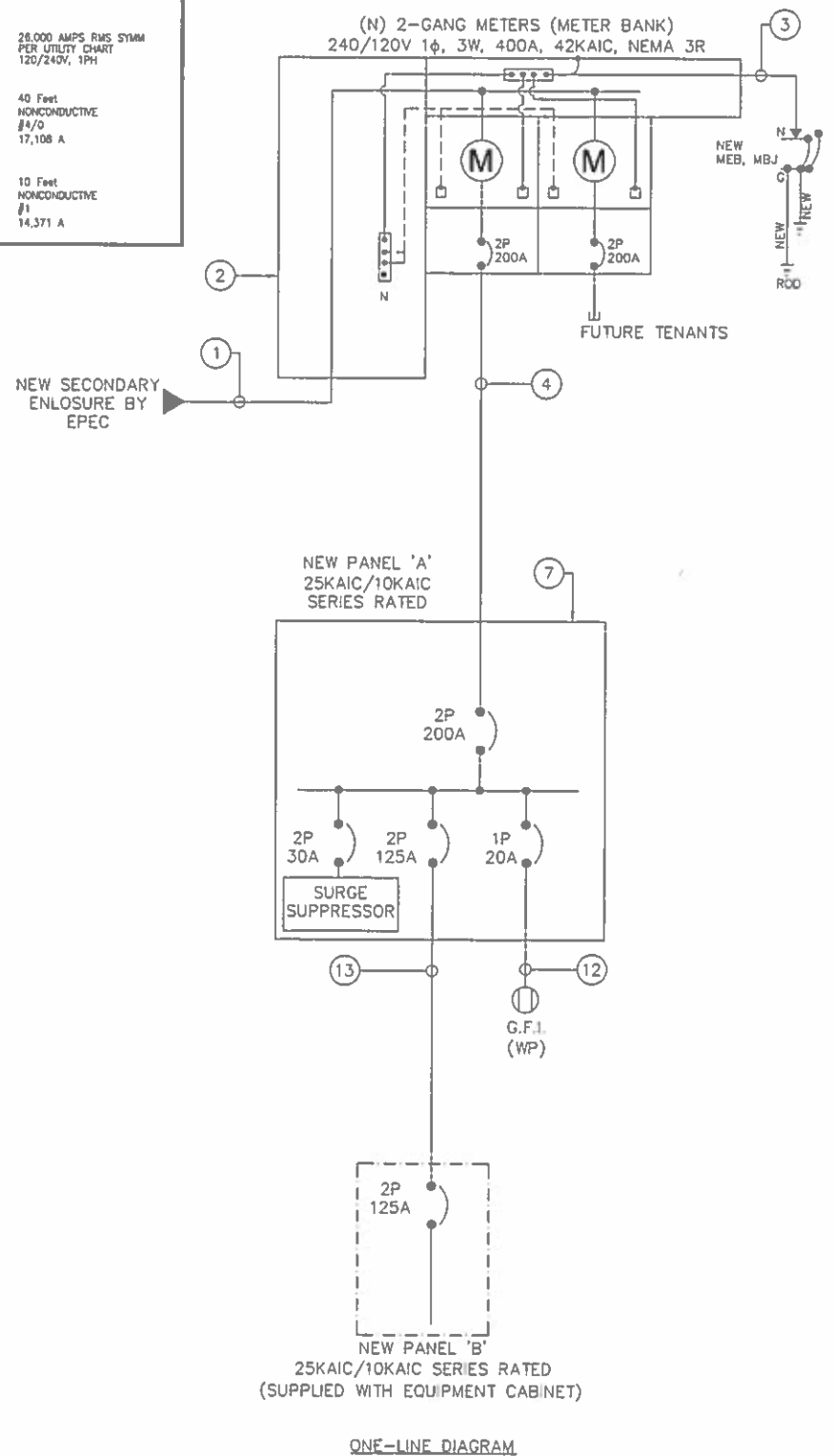
ALL CIRCUIT BREAKERS AND/OR FUSES SHALL BE SERIES RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT INDICATED. THE SERIES COMBINATION RATINGS SHALL BE MARKED ON THE EQUIPMENT BY THE MANUFACTURER IN ACCORDANCE WITH NEC ARTICLE 110.22 & 240.86.

NOTE:
PROVIDE WARNING LABELS FOR BOTH THE PANEL AND MAIN DISCONNECT. THE MARKING SHALL BE READILY VISIBLE AND STATE THE FOLLOWING:
CAUTION - SERIES COMBINATION SYSTEM RATED ____ AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED.
PER N.E.C. 110.22

1 SINGLE-LINE DIAGRAM & PANEL SCHEDULE

- NOTES:
- GENERATOR SHALL COMPLY WITH SECTION 445 OF THE 2011 NEC
 - GENERATOR NEUTRAL SHALL NOT BE BONDED TO FRAME. IT SHALL BE SOLIDLY CONNECTED THROUGH TRANSFER SWITCH TO SERVICE NEUTRAL.
 - #6 COPPER WIRE AND COARSER SHALL BE (COPPER) THWN WIRE OR (COPPER) XHHW.
 - PRIOR TO RUNNING CONDUIT ROUTE - CONTRACTOR SHALL CONTACT THE VERIZON PROJECT MANAGER AND VERIFY THE EQUIPMENT CABINET LAYOUT CONFIGURATION AND ROUTE CONDUITS ACCORDINGLY.
 - PRE-CONSTRUCTION MEETING AND ELECTRICAL EASEMENT REQUIRED.
 - DUAL VOLTAGE SITE. UTILITY POWER IS 208V 1Ø AND STAND-BY GENERATOR IS 240V 1Ø. ALL EQUIPMENT SHALL BE RATED 240V 1Ø AND HAVE BEEN VERIFIED TO OPERATE AT 208 VOLTAGE.

FAULT CALCULATIONS	
FAULT AVAILABLE AT THE SERVICE:	28,000 AMPS RMS SYMM PER UTILITY CHART
SERVICE VOLTAGE:	120/240V, 1PH
L.L.C. / PANEL 'A'	
DISTANCE	40 Feet
CONDUIT TYPE	NONCONDUCTIVE
CONDUCTOR	#4/0
FAULT AVAILABLE L-L:	17,108 A
PANEL B	
DISTANCE	10 Feet
CONDUIT TYPE	NONCONDUCTIVE
CONDUCTOR	#1
FAULT AVAILABLE L-L:	14,371 A



- CONSTRUCTION KEYED NOTES: #
- 4"C (PVC) - (3) #500mcm CU APPROX. 40'
 - NEW 400A 120/ 240V 1PH SES MULTI-METER PACK WITH (2) 200A METER SOCKETS/DISCONNECTING MEANS MOUNTED ON H-FRAME BY CONTRACTOR PER EPEC SPECS.
 - 3/4"C (PVC) WITH #2 AWG TO 5/8"Ø x 8'L GROUND ROD
 - 2-1/2"C. (PVC) - (3) #4/0 + (1) #4 GND. APPROX. 35'
 - NOT USED
 - NOT USED
 - PANEL "A", 200A, 2P, 25KVAIC, 120/204V, 1Ø, 3W, NEMA 3R
 - 3/4"C (PVC) - (2) #12 + (1) #12 GND.
 - 1-1/2"C. (PVC) - (3) #1 + (1) #B GND. APPROX. 10'

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UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.siinodesign.com

PE SEAL:

STATE OF TEXAS
VERNON R. WILLSON
90690
REGISTERED PROFESSIONAL ENGINEER
4/20/17

NO.	DATE	DESCRIPTION
A	05/10/16	REVIEW
B	07/12/16	FINAL
C	08/02/16	REMOVED GENERATOR
D	10/14/16	CITY COMMENTS
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SITE ID:
TX17739-B

SITE NAME:
ELP CLARK

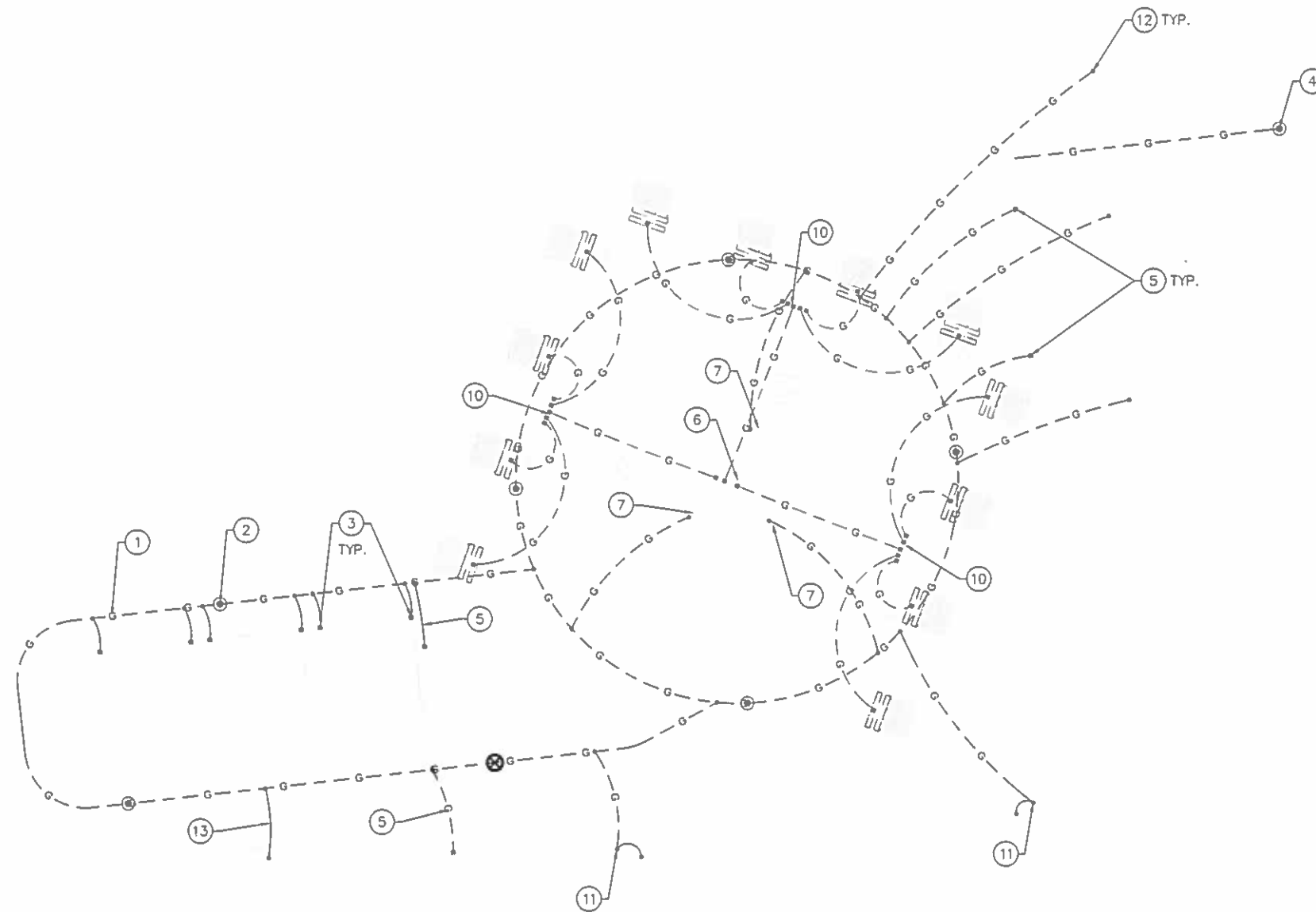
SITE ADDRESS:
6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:	JN
CHECKED BY:	YJ
DATE:	8/2/16
PROJECT #:	TBD

SHEET TITLE:
**SINGLE LINE
DIAGRAM & PANEL
SCHEDULE**

SHEET NO.
E-4

SCALE: N.T.S.



1 SITE GROUNDING PLAN

22"x34" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"
2' 1' 0' 2'

- LEGEND:**
- TGB-1
TAG-1
 - TINNED SOLID ALLOY 110 COPPER TOWER /ANTENNA BUS BAR BONDED TO MONOPINE STEEL
 - TEST WELL, REFER TO DETAIL 5 ON SHEET EG-2
 - 5/8" DIA. x 8' COPPER CLAD GROUND ROD. REFER TO DETAIL 4 ON SHEET EG-2
 - GROUND RING
 - EXOTHERMIC WELD OR IRREVERSIBLE HIGH-COMPRESSION CRIMP
 - MECHANICAL CONNECTION

GENERAL NOTES:

- THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS, BUT ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. COORDINATE WITH OTHER TRADES, AND PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS AND OFFSETS.
- INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
- PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
- REFER TO EG-2 FOR GROUNDING DETAILS.
- ALL METALLIC SURFACES SHALL BE PREPARED PRIOR TO BONDING, COLD GALV. SPRAY SHALL BE USED ON ANY EXOTHERMIC WELD TO PREVENT CORROSION, ANY AREA TO BE COLD GALV. SPRAY SHALL BE TAPED OFF PRIOR TO APPLICATION.

CONSTRUCTION KEYED NOTES:

- GROUNDING ELECTRODE CONDUCTOR SYSTEM (GROUND RING), #2 AWG SOLID BARE TINNED COPPER CONDUCTOR. GROUNDING ELECTRODE CONDUCTOR SHALL BE BURIED 30" BELOW GRADE WHERE APPLICABLE. ABOVE GRADE GROUNDING ELECTRODE CONDUCTOR TO BE ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT & FASTENED TO CONCRETE SURFACE EVERY 3' MAX. FASTENERS SHALL BE FLEXIBLE CONDUIT HALF STRAPS W/ 1/4" x 2" (L) RED HEAD HAMMER-SET NAIL DRIVE ANCHOR OR EQUIV.
- 5/8" DIA. x 8' LONG COPPER CLAD GROUND ROD PLACED MINIMUM EVERY 8' APART, SEE DETAIL 4 ON SHEET EG-2.
- BOND CABINET FRAMING TO GROUND RING PER CABINET MANUFACTURER SPECS (TYP.), SEE DETAIL 8 ON SHEET EG-2.
- 5/8" DIA. x 8' LONG COPPER CLAD GROUND ROD PLACED MINIMUM EVERY 8' APART. SEE DETAIL 4 ON SHEET EG-2.
- BOND ELECTRICAL EQUIPMENT HOUSING TO GROUND RING, SEE DETAIL 4 ON SHEET EG-2.
- TOWER GROUND BUS BAR. BOND TO GROUND RING WITH #2 AWG SOLID TINNED BARE COPPER CONDUCTOR. BOND TO TOWER GROUND BUS BAR DIRECTLY TO TOWER STEEL. SEE DETAIL 6 ON SHEET EG-2.
- BOND POLE BASE PLATE (AT MANUFACTURER INSTALLED BONDING TAB) TO GROUND RING. UNDER NO CIRCUMSTANCES WILL EXOTHERMIC WELDING BE PERMITTED ON THE POLE TRUNK, TYPICAL 3 LOCATIONS. SEE DETAIL 3 ON SHEET EG-2.
- ANCILLARY METALLIC EQUIPMENT. BOND TO GROUND RING WITH #2 AWG SOLID TINNED BARE COPPER CONDUCTOR (TYP.).
- PROVIDE A GROUND LEAD FROM THE GROUND RING TO THE GENERATOR HOUSING. BONDING ON THE GENERATOR HOUSING SHALL BE MECHANICAL ONLY.
- ANTENNA GROUND BUS BAR. SEE DETAIL 9 ON SHEET EG-2.
- BOND GATE TO GATE POST VIA #2 GATE BOND JUMPER.
- PROVIDE CONCRETE ENCASED ELECTRODE AT BOLLARDS.
- BOND GPS SUPPORTING PIPE TO GROUND RING WITH #2 AWG.
- TEST WELL, REFER TO DETAIL 5 ON SHEET EG-2



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PE SEAL:



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SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/18

PROJECT #:

TBD

SHEET TITLE:

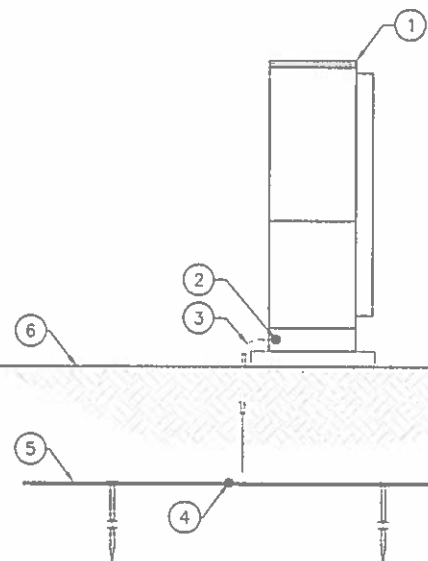
GROUNDING PLAN
& NOTES

SHEET NO.

EG-1

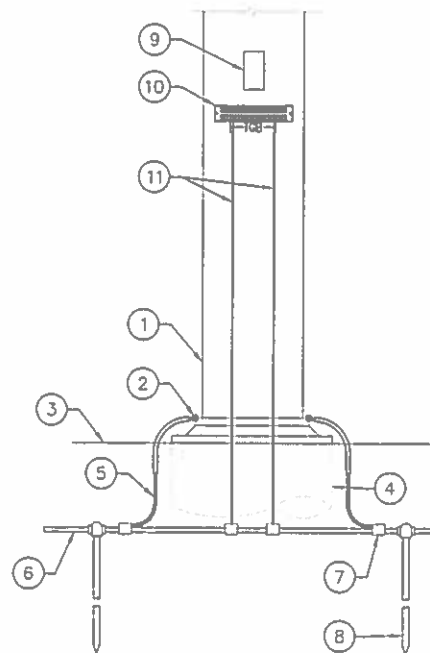
GROUND ROD INSTALLATION KEYED NOTES:

- EQUIPMENT CABINET
- EXOTHERMIC WELD (TYPE VS) (TYP.)
- BOND EQUIPMENT CABINET WITH #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP.)
- EXOTHERMIC WELD (TYPE PT) (TYP.)
- GROUND RING
- FINISHED GRADE



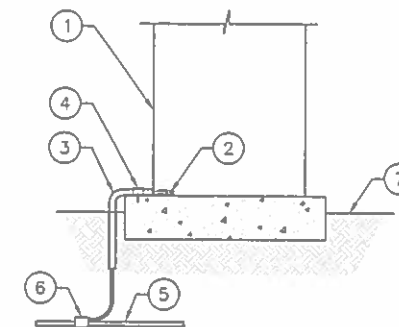
TYPICAL TOWER/MONOPINE GROUNDING KEYED NOTES:

- MONOPINE
- EXOTHERMIC WELD TO MANUFACTURER INSTALLED BONDING TAB (TYP.)
- FINISHED GRADE
- OUTLINE OF TOWER FOUNDATION
- #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP. OF 3)
- GROUND RING
- EXOTHERMIC CONNECTION TO GROUND RING (TYPE PT)
- GROUND ROD (TYP.)
- COAXIAL PORT
- TOWER BUS BAR (TGB)
- BOND TGB TO GROUND RING BY USING #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP. OF 2)



EX. METALLIC EQUIPMENT BONDING KEYED NOTES:

- EXTERIOR METALLIC EQUIPMENT
- MECHANICAL BONDING CONNECTION (TYPE YA-2)
- #2 AWG SOLID TINNED BARE COPPER WIRE GROUND CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX)
- FASTENED CARFLEX W/ HALF STRAPS & 1/4" X 2" (L) RED HEAD HAMMER-SET NAIL DRIVE ANCHOR OR APPROVAL EQUAL
- GROUND RING
- EXOTHERMIC CONNECTION TO GROUND RING (TYPE PT)
- FINISHED GRADE

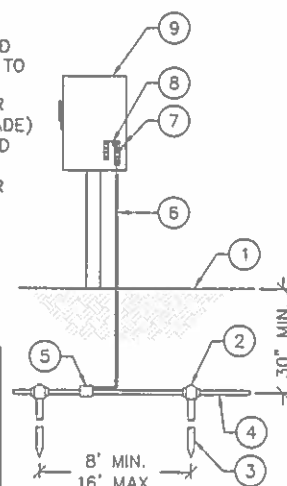


3 TYPICAL POLE GROUNDING

SCALE: N.T.S.

GROUND ROD INSTALLATION KEYED NOTES:

- FINISHED GRADE
- EXOTHERMIC CONNECTION (TYPE GT)
- 3/8"x10' LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION TO GROUND RING
- #2 AWG SOLID TINNED BARE COPPER WIRE (GROUND RING 30" BELOW GRADE)
- EXOTHERMIC CONNECTION TO GROUND RING (TYPE PT)
- #2 AWG SOLID TINNED BARE COPPER WIRE GROUND CONDUCTOR
- #2 AWG COPPER MAIN EQUIPMENT BONDING JUMPER
- #2 AWG COPPER MAIN BONDING JUMPER
- DISCONNECT SWITCH

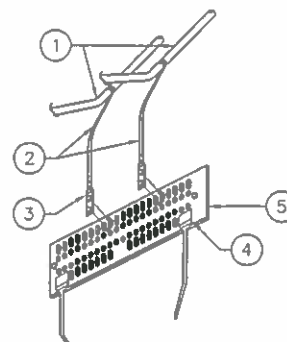


NOTES:

- ALL GROUNDING AND BONDING AT THE SERVICE ENTRANCE SHALL COMPLY WITH NEC 250.28, 250.50, 250.66, 250.92, 250.102(C) & 250.56
- GROUNDING SYSTEM RESISTANCE IS 25 OHMS OR LESS

COAX CABLE GROUNDING KEYED NOTES:

- COAX
- COAX GROUNDING KIT
- HEX BOLTS; APPROVED TWO HOLE LUG CONNECTION WITH STAINLESS HARDWARE
- EXOTHERMIC WELD 1/0 AWG STRANDED BARE TINNED COPPER
- TINNED COPPER TOWER BUS BAR

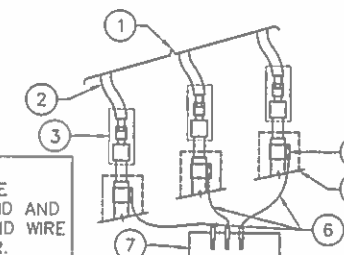


8 EQUIP. BONDING

SCALE: N.T.S.

ANTENNA GROUNDING KEYED NOTES:

- RF TRANSMISSION LINES (COAX) FROM ANTENNA
- 1/2" COAX JUMPER FROM ANTENNA
- CONNECTOR WEATHERPROOFING KIT REFER TO DETAIL 6023
- ANDREW "SUREGROUND" GROUND KIT (TYP.), REFER TO DETAIL 6023 FOR WEATHERPROOFING DETAILS
- ANTENNA CABLE TO SHELTER (TYP.)
- #6 AWG THHN COPPER CONDUCTOR
- TINNED SOLID ALLOY 110 COPPER ANTENNA GROUND BUS BAR (OPTIONAL BOND DIRECTLY TO TOWER STEEL WITH ANGLE ADAPTER IF NO ANTENNA BUS BAR IS AVAILABLE)

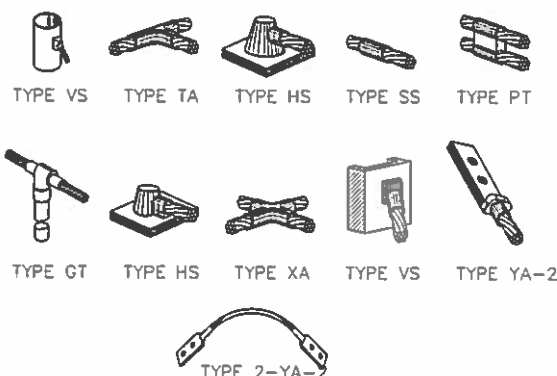


NOTE:
DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.

1 EQUIPMENT GROUNDING DETAIL

SCALE: N.T.S.

NOTE:
ERICO CADWELD "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER OR CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

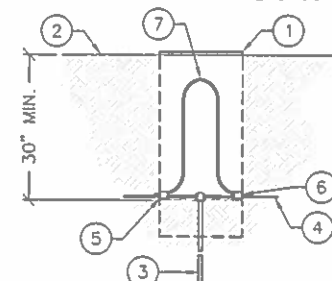


4 GROUND ROD INSTALLATION

SCALE: N.T.S.

TEST WELL KEYED NOTES:

- 10"x42" DEEP PVC SLOTTED GROUND TEST WELL WITH 3/8" THICK STEEL COVER (HARGER #360P42 OR EQUIVALENT)
- FINISHED GRADE
- 3/8"x10' LONG COPPER CLAD GROUND ROD
- #2 AWG SOLID TINNED BARE COPPER WIRE
- EXOTHERMIC WELD (TYPE PT)
- GROUND LEADS TO BE ROUTED THRU SLOTTED WELL
- #2 AWG SOLID TINNED BARE COPPER WIRE TEST LOOP "OMEGA" (Ω) EXTENSION; CADWELD AS CLOSE TO THE GROUND ROD AS POSSIBLE

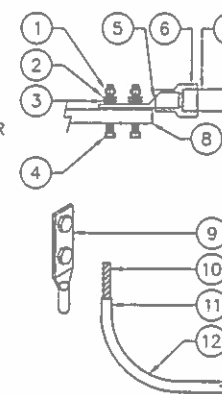


6 TOWER GROUND BUS BAR

SCALE: N.T.S.

GROUND LUG KEYED NOTES:

- NUT
- LOCK WASHER
- FLAT WASHER
- BOLT
- BURNDY GROUND LUG (SEE TABLE FOR SIZE AND MODEL)
- HEAT SHRINK (CLEAR)
- GROUNDING CONDUCTOR
- GROUND BUS BAR OR METALLIC BONDING SURFACE
- BURNDY 2-HOLE LUG W/ LONG BARREL FOR #6 AWG STRANDED
- BARE WIRE TO BE NO-OXED AT BOTH ENDS
- HEAT SHRINK
- #6 AWG THHN COPPER WIRE



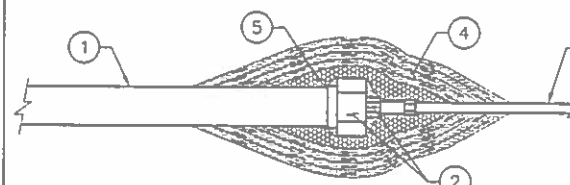
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG	YA6C-2TC38	3/8" - 16 NC S 3 BOLT
#2 AWG SOLID	YA3C-2TC38	3/8" - 16 NC S 3 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 3 BOLT
#2/0 AWG	YA2B-2TC38	3/8" - 16 NC S 3 BOLT
#4/0 AWG	YA2B-2N	1/2" - 16 NC S 3 BOLT

9 ANTENNA GROUNDING

SCALE: N.T.S.

WEATHERPROOFING KEYED NOTES:

- COAX
- COAX TO JUMPER CONNECTION (TYP.)
- JUMPER (TYP.)
- 3M SCOTCH SUPER 33+ VINYL ELECTRICAL TAPE (OR EQUIVALENT)
- VAPOR WRAP SEALANT



2 EXOTHERMIC WELD

SCALE: N.T.S.

5 TEST WELL

SCALE: N.T.S.

7 GROUND LUG

SCALE: N.T.S.

10 WEATHERPROOF

SCALE: N.T.S.



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FAX: (480) 836-1004
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PE SEAL:



NO.	DATE	DESCRIPTION	REVIEW	FINAL	REMOVED	REMOVED	REMOVED	REMOVED	REMOVED	REMOVED
A	05/10/16									
B	07/12/16									
C	08/02/16									
D	10/14/16									
E	01/23/17									
F	02/28/17									
G	04/11/17									
H	04/20/17									

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BLVD., # E
EL PASO, TX 79905

DRAWN BY:

JN

CHECKED BY:

YJ

DATE:

8/2/16

PROJECT #:

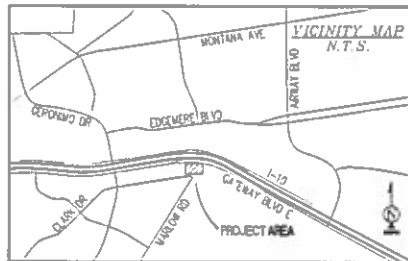
TBD

SHEET TITLE:

GROUNDING
DETAILS

SHEET NO.

EG-2



POSITION OF GEODETIC COORDINATES
LATITUDE 31° 46' 53.2" NORTH (NAD83)
LONGITUDE 106° 24' 08.7" WEST (NAD83)
GROUND ELEVATION @ 3858.3' (NAVD88)

SURVEY DATE
02/22/2016

BASIS OF BEARING

BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM TEXAS STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK

PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS "GEOID 12B" MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY RAW STATIC GPS DATA PROCESSED ON THE NGS OPUS WEBSITE. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

FLOOD ZONE

THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP ID #4802140035B, DATED 10/15/1982

UTILITY NOTES

SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTES

SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE ISSUED.

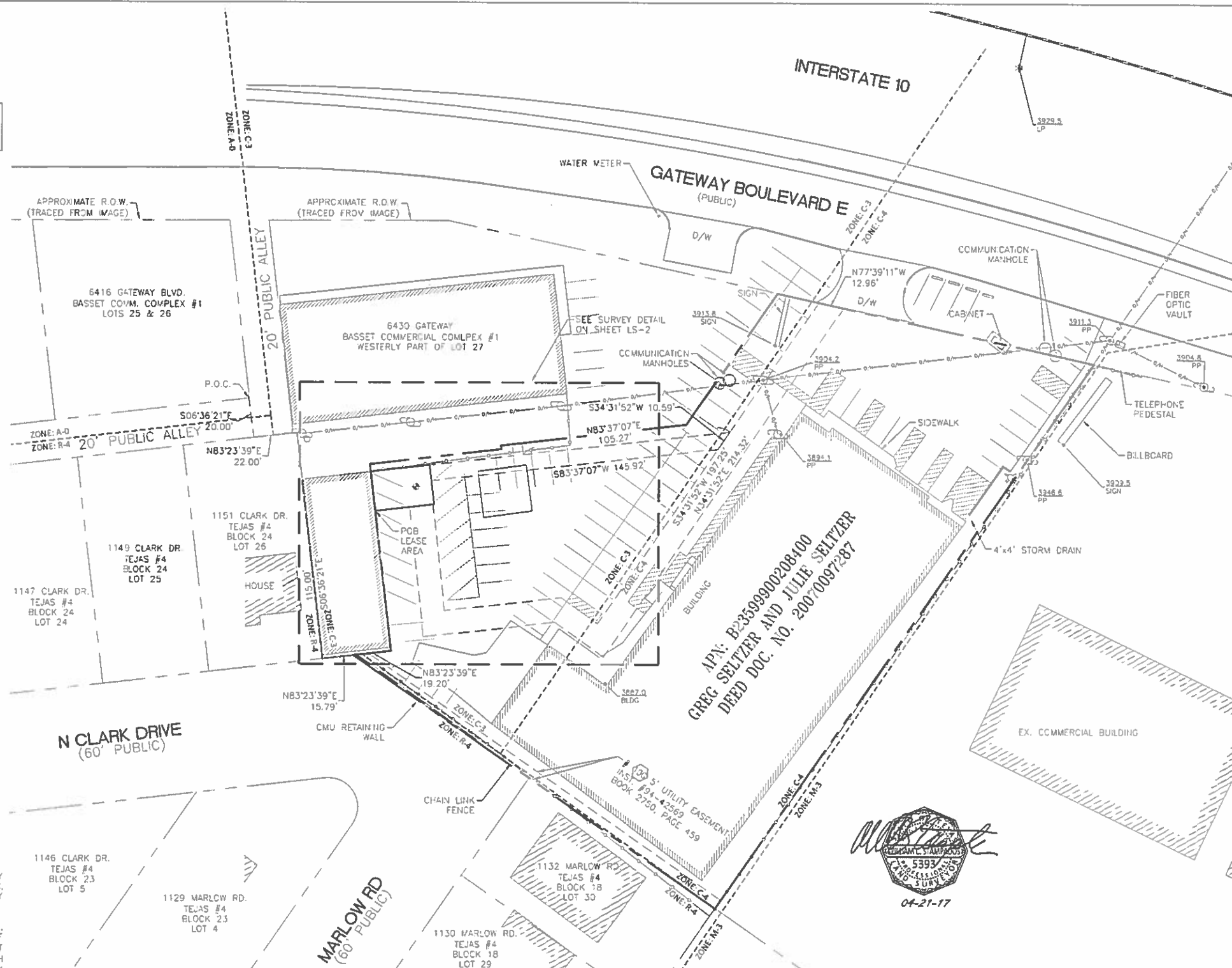
THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.

ALL DISTANCES SHOWN HEREON ARE GRID DISTANCES.

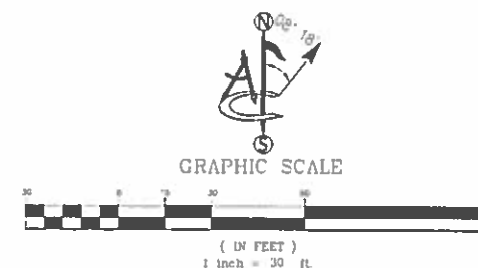
LESSOR'S LEGAL DESCRIPTION

A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT A FOUND 1/2" REBAR ON THE SOUTHEASTERLY CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 09°33'20" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY, THENCE ALONG SAID ALLEY NORTH 80°26'40" EAST A DISTANCE OF 22 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24, THENCE ALONG SAID LINE SOUTH 09°33'20" EAST A DISTANCE OF 115.00 FEET TO FOUND 1/2" REBAR ON SAID COMMON LINE AND THE NORTHERLY RIGHT-OF-WAY LINE OF CLARK ROAD (60' R.O.W.), THENCE ALONG SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 15.79 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 FOR THE "TRUE POINT OF BEGINNING"; THENCE CONTINUING ALONG SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 19.21 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 ON THE EASTERLY LINE OF SAID AND EXCEPT PORTION FROM POPULAR MANUFACTURING CORP. INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS, THENCE ALONG SAID LINE NORTH 09°33'20" WEST A DISTANCE OF 95.00 FEET TO A FOUND "X" ON CONCRETE, THENCE LEAVING SAID LINE NORTH 80°26'40" EAST A DISTANCE OF 67.65 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 09°33'20" WEST A DISTANCE OF 1.82 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 80°26'40" EAST A DISTANCE OF 94.42 FEET TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 31°51'10" EAST A DISTANCE OF 80.70 TO A FOUND 5/8" REBAR WITH CAP MARKED CONDE, INC. TX 2665 ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. INTERSTATE HIGHWAY NO. 10; THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTH 80°36'10" EAST A DISTANCE OF 164.58 FEET TO A FOUND "X" ON CONCRETE; THENCE LEAVING SAID RIGHT-OF-WAY LINE SOUTH 31°51'10" WEST A DISTANCE OF 335.67 FEET TO FOUND NAIL ON ROCKWALL WITH CAP MARKED CONDE, INC. TX 2665; THENCE NORTH 58°08'50" WEST A DISTANCE OF 223.56 FEET TO THE "TRUE POINT OF BEGINNING" AND CONTAINING 59,904.40 SQUARE FEET OR 1.38 ACRES OF LAND MORE OR LESS.



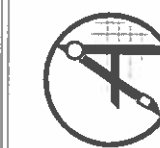
LEGEND	
AP	ASPHALT
BLDG	TOP OF BUILDING
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CONC	EDGE OF CONCRETE
D/W	ACCESS DRIVEWAY
LP	LIGHT POLE
FH	FIRE HYDRANT
PP	POWER POLE
LP	LIGHT POLE
GC	POSITION OF GEODETIC COORDINATES
SE	SPOT ELEVATION
WCV	WATER CONTROL VALVE
CMU WALLS	CMU WALLS
CHAIN LINK FENCE	CHAIN LINK FENCE
CURBLINES	CURBLINES
OVERHEAD LINES	OVERHEAD LINES
LEASE AREA LIMITS	LEASE AREA LIMITS
MAJOR CONTOUR INTERVAL	MAJOR CONTOUR INTERVAL
MINOR CONTOUR INTERVAL	MINOR CONTOUR INTERVAL



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PH: (480) 659-4372

REVISIONS	
NO.	DESCRIPTION
1	PRELIMINARY
2	TITLE REPORT (C)
3	ADD DESIGN (C)
4	COMMENTS (C)
5	REVISE UTILITY ESM (C) CK
6	REV. SCHED. "B" NOTE (C) RC
7	COMMENTS & REVISIONS (C) RC

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BOULEVARD E
EL PASO, TX 79905

DRAWN BY:

CK

CHECKED BY:

SB

DATE:

03/02/16

PROJECT #:

TBD

SHEET TITLE:

SITE SURVEY

SHEET NO.

LS-1

PORTION OF DEED DOCUMENT NO. 20000937287, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL CEMENT UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERN CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 23.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID ALLEY NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.00 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 71.18 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 06°36'21" WEST, 20.00 FEET; THENCE NORTH 83°23'39" EAST, 30.00 FEET; THENCE SOUTH 06°36'21" EAST, 20.00 FEET; THENCE SOUTH 83°23'39" WEST, 30.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 600 SQUARE FEET (0.014 ACRES) OF LAND, MORE OR LESS.

A PORTION OF DEED DOCUMENT NO. 20070097287, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 18, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERLY CORNER OF LOT#26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF A4 EXISTING 20' ALLEY THENCE LEAVING SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID ALLEY NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.00 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SA'D LINE NORTH 83° 23' 39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. IN UNDEVELOPED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 71.18 FEET; THENCE DEPARTING SA'D LINE NORTH 83°23'39" EAST A DISTANCE OF 17.33 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 06°16'08" EAST 66.06 FEET; THENCE NORTH 83°34'55" EAST 67.04 FEET; THENCE SOUTH 54°38'26" EAST 30.13 FEET; THENCE NORTH 34°31'52" EAST 214.32 FEET; THENCE NORTH 77°39'11" WEST 12.95 FEET; THENCE SOUTH 34°31'52" WEST, 197.25 FEET; THENCE SOUTH 54°38'26" WEST, 22.53 FEET; THENCE SOUTH 83°34'55" WEST 59.50 FEET; THENCE NORTH 08°16'06" WEST 54.10 FEET; THENCE SOUTH 83°23'39" WEST 12.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,466 SQUARE FEET (0.057 ACRES) OF LAND, MORE OR LESS.

A PORTION OF DEED DOCUMENT NO. 2007009728, EL PASO COUNTY RECORDS, TEXAS; ALSO BEING A PORTION OF LOT 27, BLOCK 2, BASSETT COMMERCIAL COMPLEX UNIT ONE, AN ADDITION TO THE CITY OF EL PASO, EL PASO COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF ON FILE IN VOLUME 12, PAGE 44, PLAT RECORDS, EL PASO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING FOR REFERENCE AT THE SOUTHEASTERLY CORNER OF LOT 26, BLOCK 2, SAID POINT ALSO BEING ON THE INTERSECTION OF THE NORTHERLY AND EASTERLY LINE OF AN EXISTING 20' ALLEY THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 20.00 FEET TO A POINT ON THE SOUTHERLY LINE OF AN EXISTING 20' ALLEY; THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 22.00 FEET TO A POINT ON THE COMMON LINE OF LOTS 26 & 27, BLOCK 24; THENCE ALONG SAID LINE SOUTH 06°36'21" EAST A DISTANCE OF 115.09 FEET TO THE INTERSECTION OF SAID COMMON LINE AND THE NORTHERLY RIGHT OF WAY LINE OF CLARK ROAD (60' R.O.W.); THENCE ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 15.79 FEET; THENCE CONTINUING ALONG SAID LINE NORTH 83°23'39" EAST A DISTANCE OF 19.20 FEET TO THE EASTERLY LINE OF "SAVE AND EXCEPT" PORTION FROM POPULAR MANUFACTURING CORP. INC. TO UNFINISHED FURNITURE CENTER INC. IN VOLUME 923, PAGE 688, DEED RECORDS OF EL PASO COUNTY, TEXAS; THENCE ALONG SAID LINE NORTH 06°36'21" WEST A DISTANCE OF 91.18 FEET; THENCE NORTH 83°23'39" EAST 33.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 83°37'07" EAST 42.61 FEET; THENCE NORTH 06°22'53" WEST, 5.81 FEET TO A POINT ON THE NORTHERLY LINE OF SAID DEED, THENCE ALONG SAID LINE 83°23'39" EAST, 4.00 FEET; THENCE ALONG SAID NORTH LINE, 5.03 FEET; THENCE DEPARTING SAID NORTH LINE SOUTH 06°22'53" EAST, 5.83 FEET; THENCE NORTH 83°37'07" EAST, 105.27 FEET TO AN ACCESS AND UTILITY EASEMENT, THENCE SOUTH 34°31'52" WEST ALONG SAID ACCESS AND UTILITY EASEMENT 10.59 FEET; THENCE DEPARTING SAID EASEMENT SOUTH 83°37'07" WEST 145.92 FEET; THENCE NORTH 06°36'21" EAST 8.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,929 SQUARE FEET (0.043 ACRES) OF LAND, MORE OR LESS.

REFERENCE IS MADE TO THE TITLE REPORT ORDER #16029254, ISSUED BY OLD REPUBLIC TITLE INSURANCE COMPANY, DATED MARCH 30, 2016. ALL EASEMENTS CONTAINED WITHIN SAID TITLE REPORT AFFECTING THE IMMEDIATE AREA SURROUNDING THE LEASE HAVE BEEN PLOTTED.

ITEMIZED NOTES:

SCHEDULE "B" ITEM NUMBERS 1 THROUGH 9 AS WELL AS 10A THROUGH 10E AND 10L THROUGH 10N ARE NOT SURVEY MATTERS, OR, HAVE NO EFFECT IN THE AREA OF THIS SURVEY.

- 10F TELEPHONE EASEMENT RECORDED IN BOOK 1257, PAGE 359 REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - UNABLE TO DELINEATE FROM ILL-936 DOCUMENT
- 10G UTILITY EASEMENT RECORDED AS INSTRUMENT NUMBER 94-42569 IN BOOK 2750, PAGE 459 REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - SHOWN AND NOTED HEREON, NO CONFLICT WITH LEASE AREA
- 10H DELETED FROM REPORT - NOTHING TO SHOW
- 10I ELECTRIC EASEMENT RECORDED MARCH 23, 2006 AS INSTRUMENT NUMBER 20050026087, OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, TEXAS - LIES TO THE EAST BEYOND THE SCOPE OF THIS SURVEY, NO CONFLICT WITH LEASE AREA
- 10J ELECTRIC EASEMENT RECORDED SEPTEMBER 10, 2003 AS INSTRUMENT NUMBER 20030808038 IN BOOK 4677, PAGE 842, OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY, TEXAS - LIES TO THE EAST BEYOND THE SCOPE OF THIS SURVEY, NO CONFLICT WITH LEASE AREA
- 10K CONTRACT FOR REZONING AND RESTRICTIONS RECORDED IN BOOK 492, PAGE 1351 AND IN BOOK 656, PAGE 8, REAL PROPERTY RECORDS OF EL PASO COUNTY, TEXAS - NOT A SURVEY WATER, NOTHING TO SHOW

I HEREBY CERTIFY TO SBA TOWERS IX, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, THE FOLLOWING:

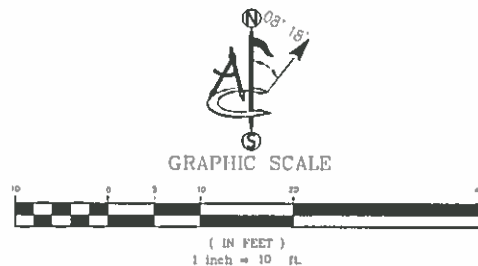
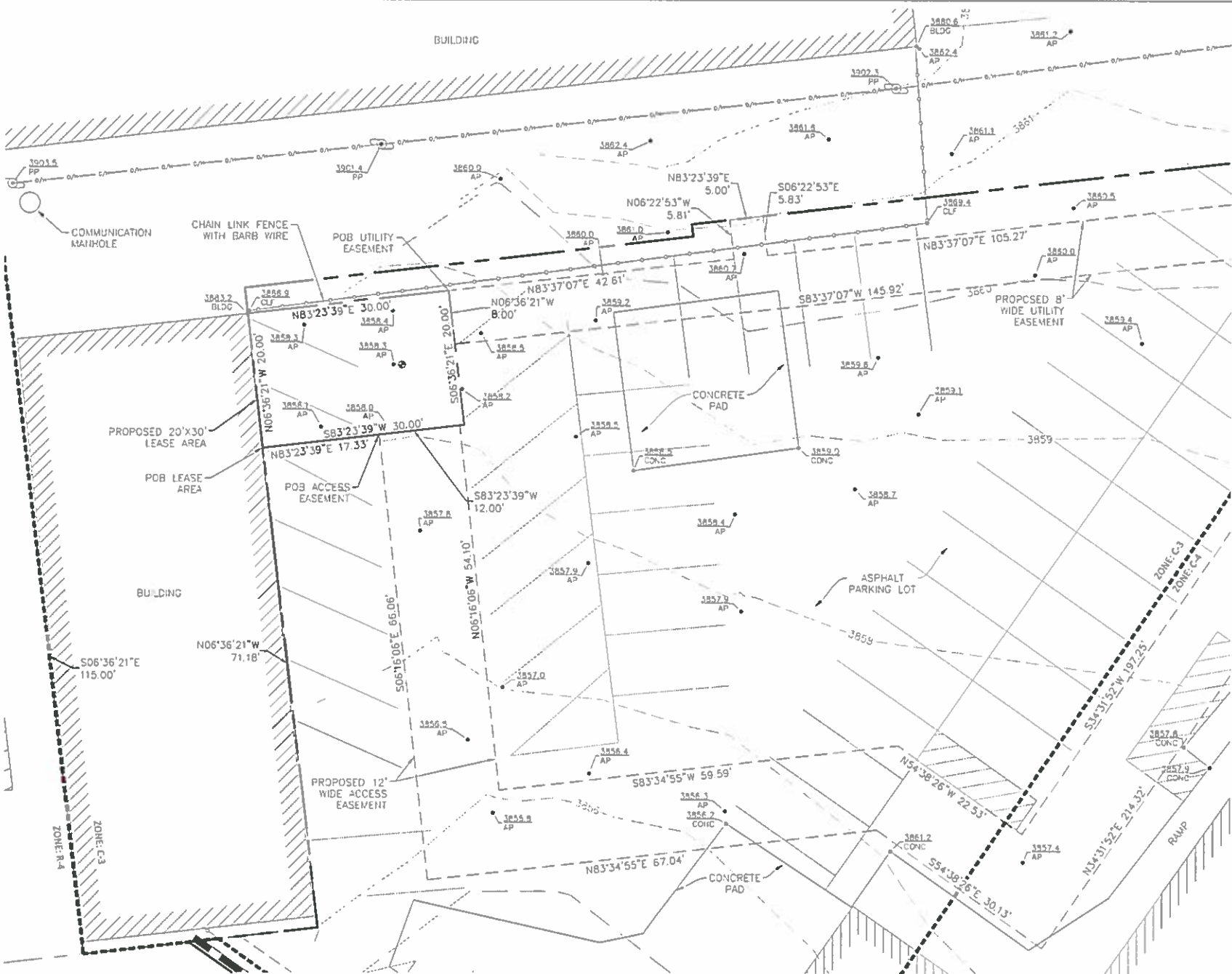
THIS SURVEYOR HAS RECEIVED AND REVIEWED THAT CERTAIN TITLE REPORT COMMITMENT NO. 16029254, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF MARCH 30, 2016 WHICH PROPOSES TO INSURE THE LANDS DESCRIBED UNDER ITS SCHEDULE A.

THIS SURVEYOR KNOWS OF HIS OWN KNOWLEDGE THAT THE LANDS DESCRIBED UNDER SAID SCHEDULE A OF THE TITLE COMMITMENT CONTAIN OR INCLUDE THE LANDS DESCRIBED IN AND DEPICTED ON THIS SURVEY.

THIS SURVEYOR FURTHER KNOWS TO THE BEST OF HIS KNOWLEDGE THAT THE EASEMENTS WERE RECORDED AND IDENTIFIED UNDER SCHEDULE B-2 OF SAID TITLE COMMITMENT ENUMBER THE LANDS DESCRIBED ON THIS SURVEY, BUT, EXCEPT WHERE NOTED HEREON, SAID EASEMENTS WILL NOT INTERFERE WITH THE LOCATION OF THE PROPOSED INSURED LANDS, INCLUDING THE LEASED AREA AND ANY AND ALL ACCESS, UTILITY AND GUY WIRE EASEMENT PARCELS. THERE MAY BE POSSIBLE CONFLICTS WITH TITLE REPORT EXCEPTION #10F.

I FURTHER CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF TEXAS TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

WILLIAM C. STAMPADOS, R.P.L.S. 5393 DATE



LEGEND

AP	ASPHALT
BLDG	TOP OF BUILDING
CLF	CHAIN LINK FENCE
CMU	CONCRETE MASONRY UNIT
CONC	EDGE OF CONCRETE
D/W	ACCESS DRIVEWAY
LP	LIGHT POLE
	FIRE HYDRANT
	POWER POLE
	LIGHT POLE
	POSTITCH OF
	GEODETIC COORDINATES
	SPOT ELEVATION
	WATER CONTROL VALVE
	CMU WALLS
	CHAIN LINK FENCE
	CURBS
	OVERHEAD LINES
	LEASE AREA LIMITS
	MAJOR CONTOUR INTERVAL
	MINOR CONTOUR INTERVAL



SBA TOWERS IX LLC.
DELAWARE LIMITED LIABILITY
COMPANY
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FAX: (480) 836-1004
www.sirnodesign.com



ambit consulting
110 E. SOUTHERN AVE. TEMPE, AZ 85282

REVIEWS		DATE	DESCRIPTION
1	A	03/02/16	PRELIMINARY
2	1	04/20/16	TITLE REPORT (C) RC
3	2	04/26/16	ADD DESIGN (C) SB
4	3	05/10/16	COMMENTS (C) RC
5	4	07/15/16	REVISE UTILITY ESM (C) CK
6	5	01/31/17	REV SCHED 76" NOTIF(C) RC
7	6	04/11/17	COMMENTS & REMARKS(C) RC
8	7	04/21/17	REV. ZONING LIMITS(C) RC

SITE I.D.:

TX17739-B

SITE NAME:

ELP CLARK

SITE ADDRESS:

6440 GATEWAY BOULEVARD E
EL PASO, TX 79905

DRAWN BY:	CK
CHECKED BY:	SB
DATE:	03/02/16
PROJECT #:	TBD

SHEET TITLE:

SITE SURVEY

SHEET NO.

LS-2

MEMORANDUM

DATE: May 23, 2017
TO: The Honorable Mayor and City Council
Tommy Gonzalez, City Manager
FROM: Jeff Howell, Senior Planner
SUBJECT: PZST16-00026

The City Plan Commission (CPC), on May 4, 2017, voted 6-0 to recommend **approval** of the special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455.F.

The CPC found that the special permit is in conformance with Plan El Paso. The CPC also determined that the special permit protects the best interest, health, safety and welfare of the public in general; that the proposed use is compatible with adjacent land uses; and the special permit will have no effect on the natural environment, social economic conditions, and property values in the vicinity and the city as a whole.

The Planning Division did not receive any communication in support or opposition to the special permit request.

Property Owner: Gregg Michael Seltzer and Julie Paris Seltzer Trust
Applicant: SBA Towers IX, LLC c/o Shaw & Associates, PLC
Representative: Jason Sanks, Shaw & Associates, PLC

Attachments:
Staff Report



City of El Paso – City Plan Commission Staff Report

Case No: PZST16-00026
Application Type: Special Permit and Detailed Site Development Plan
CPC Hearing Date: May 4, 2017
Staff Planner: Jeff Howell, 915-212-1607, howelljb@elpasotexas.gov
Location: 6440 Gateway Boulevard East
Legal Description: A portion of Lot 27, Block 2, Bassett Commercial Complex Unit One, City of El Paso, El Paso County, Texas
Acreage: 0.014-acre
Rep District: 3
Existing Zoning: C-3/sc (Commercial/special contract)
Existing Use: Commercial/retail
C/SC/SP/ZBA/LNC: Condition imposed through Special Contract by Ordinance No. 5177, dated January 8, 1973
Request: Special Permit to allow a Personal Wireless Service Facility (PWSF) within a one-half mile distance of an existing PWSF
Proposed Use: Ground-mounted PWSF
Property Owner: Gregg Michael Seltzer and Julie Paris Seltzer Trust
Applicant: SBA Towers IX, LLC
Representative: Jason Sanks, Shaw & Associates, PLC

SURROUNDING ZONING AND LAND USE

North: C-3/sc (Commercial/special contract) / Commercial/retail
South: R-4 (Residential) / Single-family dwellings
East: C-4/sc (Commercial/special contract) / Commercial/retail
West: C-3/sc (Commercial/special contract) / Warehouse, R-4 (Residential) / Single-family dwellings

PLAN EL PASO DESIGNATION: G-4, Suburban (Walkable) (Central Planning Area)

NEAREST PARK: Edgemere Median Park (3,314 feet)

NEAREST SCHOOL: Bonham Elementary School (4,522feet)

NEIGHBORHOOD ASSOCIATIONS

El Paso Central Business Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on April 19, 2017. The Planning Division has not received any communication in support or opposition to the special permit request. Planning did receive one phone call of inquiry.

APPLICATION DESCRIPTION

The applicant is requesting a special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within a one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455.F. The site plan shows a 600 sq. ft. lease area for a 56'-10" high structure with antennas and service equipment enclosure. The antennas and support structure will be camouflaged to resemble a pine tree, while the equipment will be screened by a walled enclosure at the edge of the property adjacent to an existing building. The proposed PWSF meets all setback and height requirements for location in a commercial district. The applicant opted to request a landscape buyout as permitted by the landscaping ordinance for PWSF facilities. Two nearest PWSF are 0.42 miles to the northeast and is located on Montana Avenue and 0.43 miles to the northeast and is

located on Montana as well. A maintenance access easement within a drive aisle is proposed from Gateway Boulevard East.

The existing conditions on the property as stated in the Special Contract imposed by Ordinance No. 5177, dated January 8, 1973 (*Attachment #9*) have already been satisfied or are not applicable to the proposed personal wireless service facility.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.10.455 PWSF, 20.04.320, Special Permit, and 20.04.150, Detailed Site Development Plan.

ANALYSIS

20.10.455 Personal Wireless Service Facility (PWSF)

F. C-3, C-4 and C-5 Commercial Districts.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:
 - a. Setbacks. The PWSF antenna support structure shall meet the yard standards of the district, except that a setback of one foot for each foot of height, measured from the PWSF antenna support structure base to any abutting property line of property in a residential or apartment zoning district shall be required. In the case where a right-of-way or easement separates the property from a residential zoning district, the width of such right-of-way or easement shall be included in meeting the setback requirement; provided, however, that the setback from the property line shall never be less than that required in the district yard standards.

The proposed PWSF meets the setback requirement of one foot setback for every one foot of height from the residential property line.

- b. Separation Between PWSF Antenna Support Structures. The minimum separation distance between ground-mounted PWSF antenna support structures shall be one-half mile, except as provided in subsection (F)(1)(c). Separation distance shall be measured by drawing or following a straight line between the base of any existing PWSF antenna support structure and the proposed base of a new PWSF antenna support structure.
- c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:
 - i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;

- iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
- v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

The applicant has submitted proof that all 5 findings have been met, (see attachment 7).

- d. Height Restriction. The PWSF antenna support structure and appurtenant antennas shall not exceed one hundred twenty-five feet in height, except as provided in subsection (F)(1)(e) or (F)(1)(f).
- e. Modified Height Restriction. If the applicant is collocating two or more antennas on a structure or if the structure is camouflaged, then the height for a PWSF antenna support structure and appurtenant antennas shall not exceed one hundred fifty feet.
- f. Special Permit for Additional Height in C-3 and C-4 Commercial Districts Only. The height for a ground-mounted PWSF antenna support structure and appurtenant antennas may be increased by city council upon approval of a special permit application, if the city council finds that:
 - i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant for a PWSF antenna support structure of the height being proposed by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - iii. The applicant cannot use another PWSF antenna support structure that is located such that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas; and
 - iv. Due to topographical conditions, the proposed height of the PWSF antenna support structure is reasonably necessary to enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable.
- g. Camouflage and Screening.
 - i. All Ground-Mounted PWSF Shall be Camouflaged. Camouflaging is a method of disguising or concealing the appearance of an object by changing its usual color, modifying its shape or locating it in a structure that complements the natural setting, existing and surrounding structures. In the context of this section, camouflaging, includes, but is not limited to, making PWSF antenna support structures resemble man-made trees, locating PWSF antenna support structures in bell steeples or clock towers, or on similar alternative-design mounting structures.
 - ii. Metallic Surfaces Shall be Painted to Reduce Glare and Reflections. No exterior paint colors shall be used which have a light reflecting value (LRV) greater than forty percent.

The LRV of a paint is available from paint manufacturers and it measures the amount of light reflected by a certain color.

- iii. Screening of antennas on PWSF antenna support structures may include the use of existing parapets, walls, or similar architectural elements provided that it is painted and texturized to integrate with the architecture of the surrounding structure.
- iv. Landscaping shall comply with all code requirements for landscaping.
- h. Other Requirements. The following must accompany a request for a building permit or special permit:
 - i. A detailed plan showing the PWSF antennas support, antennas, and equipment in relation to the existing surroundings including screening, fencing, camouflage, off-street parking, and access from the PWSF antennas support site to the nearest public street;
 - ii. A verification letter that all required FAA and FCC approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant;
 - iii. Satisfactory completion of a certification of compliance for personal wireless service providers issued by the public safety technology office prior to actual use of the proposed facility accompanied by a verification letter that all required Federal Aviation Administration (FAA) and Federal Communications Commission (FCC) approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant; and
 - iv. The design of related support structures for new PWSF antenna support structures shall incorporate materials, colors, textures, screening, and camouflaging techniques that will blend them to the extent reasonably possible into the natural setting and surrounding structures. The applicant will be required to provide photographs of predevelopment views versus post-development illustrations, at ninety-degree angles for a full three hundred sixty-degree radius, shown to scale. The building official shall review and consider any of the five items above to mitigate negative visual impacts created by the proposed PWSF antenna support structure and may require reasonable revisions necessary to bring the application into compliance with one or more of the five items above.
- i. A six-foot high screening fence or wall of other than chain-link shall be constructed around the base of an antenna support structure to provide for security. The gate which provides access to the antenna support shall remain locked at all times except when being used for access by maintenance personnel. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted after review and approval by the building official of a structural recertification report prepared and sealed by a licensed professional engineer.
- j. The access driveway and off-street parking spaces for use by maintenance vehicles shall be paved as approved by the building official.
- k. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted. A structural recertification report prepared and sealed by a licensed professional engineer shall be required, and such report shall be reviewed and approved by the building official prior to issuance of a building permit.

The application meets the requirements for PWSF.

20.04.320 Special permit approvals.

- A. Building and occupancy permits shall not be issued to any building or use identified in this title as requiring a special permit until after approval of such special permit by the city council.

- B. Building and occupancy permits shall not be issued for any building or use identified in this title as requiring an approved detailed site development plan as required by Article III, until such approval has been granted.
- C. No building or occupancy permit may be granted for the erection, rehabilitation, enlargement or demolition of any building in a designated historic area or for any building that is a designated historic landmark until prior approval has been granted by the historic landmark commission.
- D. The city council, after hearing and report by the city plan commission, may approve a special permit upon a finding that the proposed development meets the following minimum requirements necessary to protect the public health, safety and general welfare of the community:
 - 1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located; complies with any special standards applicable to the particular type of development being proposed, or to the particular area in which the development is proposed; complies with any special approvals required in connection with such development or area;
 - 2. The proposed development is in accordance with and in furtherance of the plan for El Paso, any special neighborhood plans or policies adopted by the city regarding the development area, or any approved concept plan;
 - 3. The proposed development is adequately served by and will not impose an undue burden upon the public improvements and rights-of-way by which it will be served or benefited, or which exist or are planned for installation within its boundaries or their immediate vicinity. A traffic impact study may be required to determine the effects of the proposed development on the public rights-of-way;
 - 4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development;
 - 5. The design of the proposed development mitigates substantial environmental problems;
 - 6. The proposed development provides adequate landscaping and/or screening where needed to reduce visibility to adjacent uses;
 - 7. The proposed development is compatible with adjacent structures and uses;
 - 8. The proposed development is not materially detrimental to the enjoyment or valuation of the property adjacent to the site.
- E. The applicant may request that the city plan commission waive one or more of the criteria based on its no applicability to the proposed development. The city plan commission, upon a recommendation of the planning official, shall make a determination on the no applicability of the criteria and shall render a finding based on such determination, and shall forward their recommendation to city council for final review and approval.

The application meets the requirements for special permit.

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Detailed Site Development Plan review is required as part of the special permit application.

20.04.150 Procedure.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.

1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and storm water drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff has reviewed the detailed site development plan, and verified that it meets all requirements of Sections 20.04.320, Special Permit, and 20.04.150 Detailed Site Development Plan.

Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-4 – Suburban (Walkable): This sector applies to modern single use residential subdivisions and office parks, large schools and parks, and suburban shopping centers. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.

The purpose of the C-3 (Commercial) district is to provide for establishments providing goods or rendering services which are used in support of the community's trade and service establishments and serving multi-neighborhoods. It also permits intensities designed to be compatible with each other and to provide for a wide range of types of commercial activity, including light automobile related uses.

COMMENTS:

Planning and Inspections Department – Planning Division - Transportation

No objections to the special permit request.

Planning and Inspections Department – Plan Review

No objections to proposed special permit.

At the time of submittal for building permits the project will need to comply with all applicable provisions of the IBC, Municipal Code, and TAS.

Planning and Inspections Department - Landscaping Division

No objection to proposed special permit per submitted landscape buyout letter.

Planning and Inspections Department - Land Development

1. No objections to proposed special permit for PWSF.
2. Approval of the site plans by CPC constitutes a determination that the applicant is in compliance with the minimum provisions. Applicant is responsible for the adequacy of such plans, insuring that stormwater is in compliance with ordinances, codes, DSC, and DDM. Failure to comply may require the applicant to seek re-approval of the site plans from CPC.

Texas Department of Transportation

If no changes to the grading plan and proposed development will use existing access driveways on Gateway East Blvd., TxDOT has no comments.

Fire Department

EPFD has no objections.

Sun Metro

Sun Metro does not oppose this request.

El Paso Electric

No objections.

El Paso Water Utilities**Water:**

1. There is an existing 12-inch diameter water main extending along the south side of Gateway Blvd. East, approximately 5-feet north of and parallel to the southern right-of-way line of Gateway Blvd. East. This water main is available for service.
2. There is an existing 8-inch diameter water main extending along the north side of Clark Dr., approximately 5-feet south of and parallel to the northern right-of-way line of Clark Dr. This water main is available for service.
3. EPWU records indicate two (1) active 3/4-inch water meter serving the subject property. The service address for these meters is 6430 Gateway East Blvd.
4. Previous water pressure from fire hydrant #4302 located approximately 1470-ft east of Geronimo Dr. has yield a static pressure of 110 (psi), a residual pressure of 85 (psi), and a discharge of 919 gallons per minute. The owner should, for his own protection and at his own expense, install at the discharge side of each water meter a pressure regulator, strainer and relief valve, to be set for pressure as desired by the customer. The Lot owner shall be responsible for the operation and maintenance of the above-described water pressure regulating device.

Sanitary Sewer:

5. There is an existing 8-inch diameter sanitary sewer main extending along Clark Dr. The alignment of the sewer main varies at intersection of Clark DR. and Marlow St. This main is available for service.

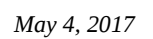
General:

6. Gateway East Blvd. is a Texas Department of Transportation (TxDOT) right-of-way. All proposed water and sanitary sewer work to be performed within Gateway East Blvd. right-of-way requires written permission from TxDOT.
7. EPWater requires a new service application to provide additional services to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWater Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Attachments

1. Zoning Map
2. Aerial Map
3. Detailed Site Development Plan
4. Simulation Pictures
5. Project Purpose Statement
6. Landscape Buyout Request
7. Findings Analysis-1/2 mile separation
8. Coverage Map
9. Special Contract

PZST16-00026



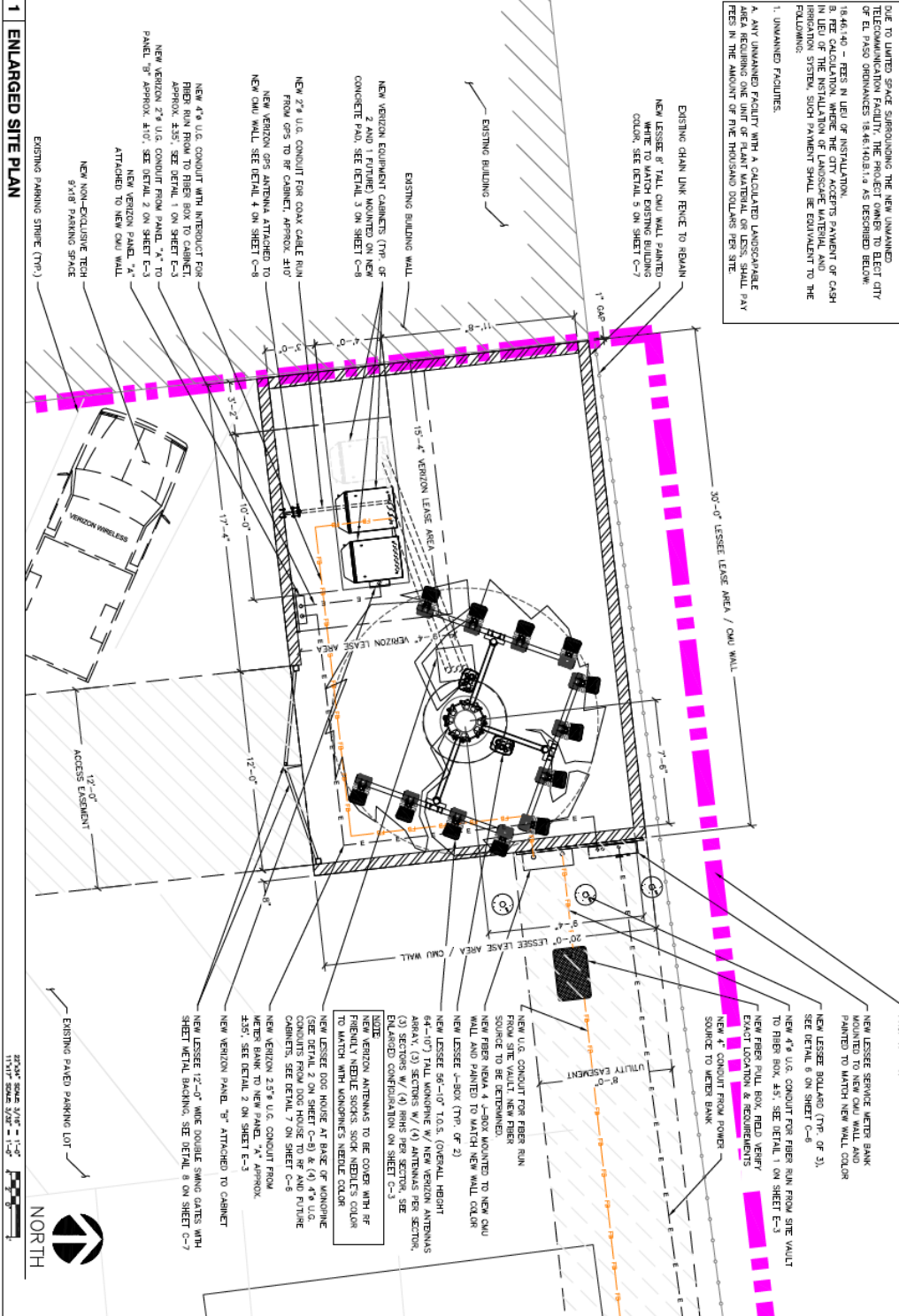
ATTACHMENT 2: AERIAL MAP

PZST16-00026



[illegible]

1. UNPAID FIDUCIARY.
- A. ANY UNPAID FACILITY WITH A CALCULATED LANDSCAPABLE AREA REQUIRING ONE UNIT OF PLANT MATERIAL OR LESS, SHALL PAY THE FIDUCIARY IN THE AMOUNT OF THE PLANTING COSTS PER THE 18-46-01-0 - FEES IN LIEU OF INSTALLATION.
- B. THE FACILITY OWNER, WHERE THE CITY ACCEPTS PAYMENT OF CASH IN LIEU OF PLANTING, SHALL PAY THE FIDUCIARY IN THE AMOUNT OF THE PLANTING COSTS PER THE 18-46-01-0 - FEES IN LIEU OF INSTALLATION.
- C. THE PLANTING SYSTEM SHALL BE EQUIVALENT TO THE



REVISONS		
NO.	DATE	DESCRIPTION
A	05/10/16	REVIEW
B	07/12/16	FINAL
C	08/02/16	REMOVED GENERATOR
D	10/14/16	CITY COMMENTS
E	01/23/17	CITY COMMENTS
F	02/28/17	CITY COMMENTS
G	04/11/17	CITY COMMENTS
H	04/20/17	CITY COMMENTS

SITE ID: TX17739-B	SITE NAME: ELP CLARK	SITE ADDRESS: 6440 GATEWAY BLVD., # E EL PASO, TX 79905
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DRAWN BY:	JN
CHECKED BY:	VJ
DATE:	8/2/16
PROJECT #:	TBD

ENLARGED
SITE PLAN

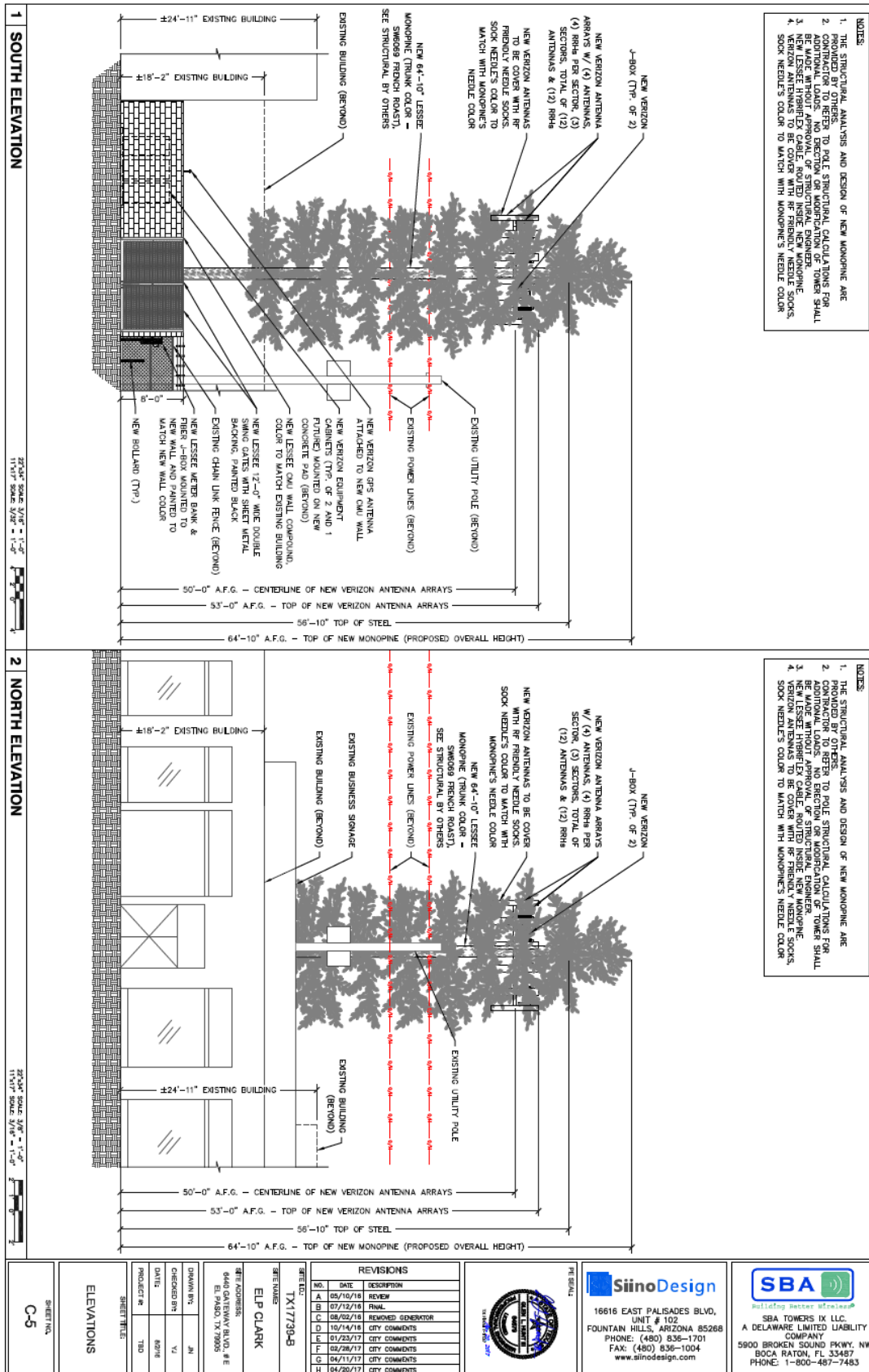
SHEET NO.
C-3



SiinoDesign
16616 EAST PALISADES BLVD,
UNIT # 102
FOUNTAIN HILLS, ARIZONA 85268
PHONE: (480) 836-1701
FAX: (480) 836-1004
www.siinodesign.com



Building Better Wireless
SBA TOWERS IX LLC.
A DELAWARE LIMITED LIABILITY
COMPANY
5900 BROKEN SOUND PKWY. NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



ATTACHMENT 4: SIMULATION PICTURES





EXISTING



PROPOSED





EXISTING



PROPOSED

ATTACHMENT 5: PROJECT PURPOSE STATEMENT

Planning and Inspections
City of El Paso
300 N Campbell
El Paso, TX 79901

Re: Review for a Wireless Service Facility

Applicant: Shaw & Associates, P.L.C. on behalf of SBA Towers

Site Information:

Address: 6440 Gateway Boulevard East
APN: B23599900208400
Owner: Gregg Michael Seltzer and Julie Parish Seltzer Trust
Zoning: C-3/sc and C-4/sc Commercial
Current Use: Commercial retail
Surrounding Uses: North – I-10 corridor; East – M-3 Manufacturing;
South – R-4 Residential; West – R-4 Residential

1. General Description of facility: SBA is requesting zoning approval and a Special Permit to construct a wireless communication facility consisting of a 56' 10" foot tall (top of steel) monopine and a 30' x 20' equipment compound on a commercially zoned parcel owned by the Gregg Michael Seltzer and Julie Parish Seltzer Trust.

2. Purpose of facility: The general purpose of this wireless communication facility is to provide solutions for wireless service providers. Specifically, SBA has entered into a long term ground lease with the Gregg Michael Seltzer and Julie Parish Seltzer Trust for a multi-tenant wireless communication facility. SBA will shortly enter into and an antenna space sublease with Verizon Wireless, who will be the anchor tenant at the facility. After the tower is constructed, other wireless service providers will be contacted and offered an opportunity to co-locate on the multi-tenant tower in lieu of constructing new verticality in the area.

Verizon Wireless' specific purpose of co-locating on this wireless communication facility is to provide 4th Generation (LTE – high speed wireless internet) capacity offload relief for its surrounding sites and for improved coverage for the numerous surrounding commercial and industrial businesses, Interstate 10, and the nearby residents. This site will enhance voice and data coverage for the ½ mile radius around the site and improve internet speeds for all smart phones or other air card enabled devices that facilitate connectivity to the Verizon Wireless network.

3. Detailed Description of facility:

- a. 56' 10" (top of steel) monopine: As indicated, the proposed tower will be a monopine. A monopine is a monopole that is designed to appear as pine tree. Verizon will mount its twelve antenna array at a height of 50 feet which leaves plenty of co-locatable space

on the tower for other wireless service providers. The coaxial cables that connect the antennas to the ground equipment will be entirely enclosed within the interior of the monopine. The monopine will continue to be maintained in accordance with all structural and building requirements of the applicable local, state and federal regulations for the development of wireless telecommunication sites. The monopine will maintain its feature bark texturing/cladding on its exterior to enhance the aesthetics of the pole. SBA will implement Verizon's equipment within the design such that the monopine branches will fully engulf the antenna array. Additionally, the equipment mounted near the branches will be painted to match said branches.

- b. Ground Equipment and Screening: SBA's lease area will be enclosed on the north, east, and south sides by a new 8 foot tall concrete masonry wall. The existing building west of the compound will enclose the equipment on the west side. Therefore, none of SBA's tenant's ground equipment (e.g., Verizon's radio and battery cabinets) will be visible to passersby or citizens and customers utilizing the adjacent parking lot. The monopine itself will be located approximately 156' 5" from the right of way to the north and 246' 6" from the adjacent manufacturing parcel to the east. The nearest residential parcel property line is approximately 56' 10" west of the monopine while the nearest residential structure (single family home) is approximately 64' 5" southwest of the monopine.
- c. Access and Utility Easements: As part of its lease with the Gregg Michael Seltzer and Julie Parish Seltzer Trust, SBA will lease access and utility easement rights to operate the facility. The utility easements will all be underground and the access easement will utilize the existing paved areas on the parcel. These easements are depicted in the site plan and survey attached to this application.

4. Other Information: The facility will be unmanned and will generate no refuse. It will have no impact on traffic, water, or sewer services and will not produce any odor. The noise produced by the facility will be limited to the air conditioning units attached to the equipment cabinet. The air conditioning units emit noise equivalent to most single-family residential air conditioning units. The facility is isolated from other buildings thereby minimizing any fire dangers. There should be no demand for police services. All construction methods and materials will be implemented in accordance with all applicable codes and regulations.

5. On behalf of SBA I respectfully ask for approval of this project and thank you for your time and consideration of this matter. Please contact me if you have any questions at all about this submittal.

Feasibility Study

Search Area: In order to achieve the coverage and capacity objectives for SBA's anchor tenant, Verizon Wireless (as stated in the narrative), the facility must be located within the area highlighted below in red. According to the Verizon Wireless radiofrequency engineer, the purpose of this site is to provide 4G LTE capacity offload for its ELP Westmoreland site and to improve coverage along the I-10 corridor and the commercial and residential areas in the vicinity of the proposed tower location. The attached RF Significant Gap Statement provided by Verizon's RF engineer provides a statement and a graphic that depicts the nearby Verizon cell sites located to the southeast, west and north of ELP Clark – the graphic further illustrates the specific needs for ELP Clark and moving it a small distance in any direction will interfere with those sites and reduce the effectiveness of ELP Clark.

As can be seen in the below aerial photograph, this search area consists of commercial businesses just south of I-10, mostly manufacturing/industrial uses in the east half of the search area and mostly residential uses in the west half of the search area. The ring is essentially split in half regarding uses: east half consists of heavy industrial use and the west half consists of single family homes with a sliver of commercial use in the north part of the west half. The east half of the ring is vacant industrial land owned by an oil refinery. It is a large area and both Verizon and SBA have contacted the refinery owners numerous times over the past couple of years to place a site on their property. The refinery has been adamant and consistent that it can't allow a cell site on their property due to Homeland Security restrictions.



Existing Verticality: SBA's initial step when searching for a new site on behalf of a wireless service provider is to locate and analyze all existing verticality in the search area. For this particular search area, the existing verticality consists of a number of billboards, 12kv wooden and 69kv metal El Paso Electric utility poles. Said verticality is either of insufficient height and mass to support a cell site installation or simply not co-locatable per El Paso Electric internal policy. Said wooden poles are located south of the Gateway Boulevard East right of way and run parallel to the right of way throughout the commercial parcels. The metal poles run along the eastern border of the parent tract of the proposed facility location. The tallest commercial and/or industrial buildings in the search area are insufficient in height to meet Verizon's coverage needs for this area. While SBA's monopine will add additional verticality to this area, the monopine's co-locatable attributes will reduce the need for additional towers in the future.



Site Selection: Since there were no existing structures that were available for co-location, the remainder of the search area was canvassed for possible new build options. Three viable candidates were located and all of them are within city of El Paso jurisdiction. The three sites are: 1) Seltzer Trust/Guitar Center, 2) Renata Properties, LLC, and 3) El Paso Board of Realtors. While all three candidates are zoned commercial, the Seltzer Trust/Guitar Center location is preferred by the radiofrequency engineer, offers the most ground space for SBA's facility and provides a decent buffering from the surrounding homes and rights of way (there are existing buildings surrounding the proposed tower location that will substantially conceal SBA's equipment). Additionally, the owner of the Guitar Center property was the most willing to enter into a lease agreement with SBA for a portion of his parcel. See below aerial for the location of these three sites.



The Renata Properties, LLC parcel was made available to SBA by the owner for a stealth tower. This site was not selected, however, because of the limited space that the parcel could offer. The only space available on this parcel for a wireless communications facility would require SBA to utilize the existing parking spaces. If SBA were to construct a site on this parcel, it is possible that the land owner would be in violation of the required number of parking spaces needed to operate a commercial business. Additionally, the facility would ultimately be very visible to passersby along Gateway Boulevard East and I-10 given its proximity to the right of way.

The El Paso Board of Realtors property was vetted as a possible site location for a stealth tower but it was not selected by SBA as it offered less space when compared to the Seltzer Trust/Guitar Center candidate. Additionally, this site would be substantially more visible to passersby along Gateway Boulevard East and I-10 and the nearby homes.

Based on the above discussion, it's clear that the Seltzer Trust/Guitar Center location is the best alternative not only for SBA, but also for the surrounding businesses and homes. The Seltzer Trust/Guitar Center site is located on a commercially zoned property, meets the RF engineer's objectives and is buffered to the north and west by other buildings so that the ground equipment is concealed. This makes it the best choice from a planning perspective. The proposed tower location is located at a distance greater than a 1:1 tower setback from the nearest home.

Compatibility: In addition to the discussion above the Seltzer Trust/Guitar Center site has additional compatibility features that should be highlighted. The ground equipment will be screened on all sides visible to the public by a new concrete masonry wall or existing buildings and is "tucked away" in a corner of the parking lot that is essentially unusable. The only part of the site that will be visible from nearby rights of way is the top part of the faux pine (see the attached photo simulations taken from the nearest rights of way).

A faux pine design was selected as the best design for this location as the pine tree will blend well with its surroundings and will not damage the fabric of the aesthetic features of the surrounding community. There are numerous live pines in the immediate areas near the property so a monopine was a natural choice for this site. Also, the monopine design offers great flexibility for future carriers to co-locate on the structure – as a matter of fact, the monopine is one of the best designs to promote co-location. Please see before/after photo simulations provided in the application materials.

Note that a clock tower design was not selected at this location mostly due to space issues. A faux clock tower is basically a monopole with walls around it. The clock tower design is a larger structure than a monopine and would have required much more ground space that is not available on this particular property. A clock tower design would have taken additional parking spaces causing the land owner to no longer be in compliance with the required parking. Regarding co-location, a clock tower does not offer the same flexibility for future co-locators as a monopine does. Clock towers can be problematic for carriers whereas the monopine can typically be utilized by all carriers.

The monopine is a better design for this location given the smaller size, the fact that it will blend with the existing live pine trees and its co-location capabilities.

RF Statement: Please see the attached RF Significant Gap Statement which provides an explanation of the expected coverage of the site. The site will have many positive impacts on network coverage, the most notable of which is indoor/outdoor voice and wireless internet (4G) coverage improvement within ½ mile of the site.

Summary: Locating a site within the boundaries of a RF engineered search area helps to avoid the need for additional sites. Such additional sites are often needed to fill in gaps created by less than optimal initial site locations. In this case, the proposed Seltzer Trust/Guitar Center lease area is an optimal location for this search area since it is within the search area boundaries, is compatible with the surrounding area, and provides a co-locatable tower for other carrier's needs in the future. This site will enhance voice and data coverage for the ½ mile radius around the site and improve internet speeds for all smart phones or other air card enabled devices that facilitate connectivity to SBA's tenant's networks.

ATTACHMENT 6: LANDSCAPE BUYOUT REQUEST

RE: Request for Special Permit Approval
SBA Tower Site/ID: Clark/TX17739-B
PID: B23599900208400
Address: 6440 Gateway Blvd East, El Paso, TX 79905

Dear Mr. Howell,

SBA has chosen the one time buy out fee of \$5,000.00 for unmanned facilities under Chapter 18.46.140 for said property listed above. The one time buy out fee is in lieu of the requirement to provide 15% landscaping coverage with associated watering system on the lease area portion of the subject parcel.

SBA will submit said payment at the appropriate request from City of El Paso staff.

Please feel free to contact me with any questions or concerns directly at 318-218-8192 or cspiegel@shaw-associates.com

Sincerely,

Casey Spiegel

ATTACHMENT 7: FINDINGS ANALYSIS

i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

- i. VZW is unable to utilize either of the existing towers indicated on the ELP Clark .5 Mile Radius Map (noted as 6560 Montana and 6596 Montana) as they are not within the "Search Ring" identified by VZW's engineers. Both are nearly a half mile too far north from this specific geographic area to provide additional capacity (.47 miles), one is already operated by Verizon and will work in tandem with our proposed facility to provide service to our customers. Neither of those facilities can be modified to provide the much needed 4G LTE capacity offload for the VZW ELP Westmoreland site.

ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

- ii. VZW has searched the service area for several months for the best location to add network enhancements. For this particular search area, the existing verticality consists of a number of billboards, 12kv wooden and 69kv metal El Paso Electric utility poles. Said verticality is either of insufficient height and mass to support a cell site installation or simply not co-locatable per El Paso Electric internal policy. Nearly 4/5ths of the property within our Search Ring is comprised of single family homes or the Western Refining facility – all of which is unavailable for site location. That said, we were tasked with proposing a new PWSF in the form of a "monopine" on the commercial property on the far north end of the search ring. A "clock tower" design will not work in this location due to size and ground space constraints. Also, co-location is more feasible on a monopine rather than a clock tower which will not work for all carriers.

iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;

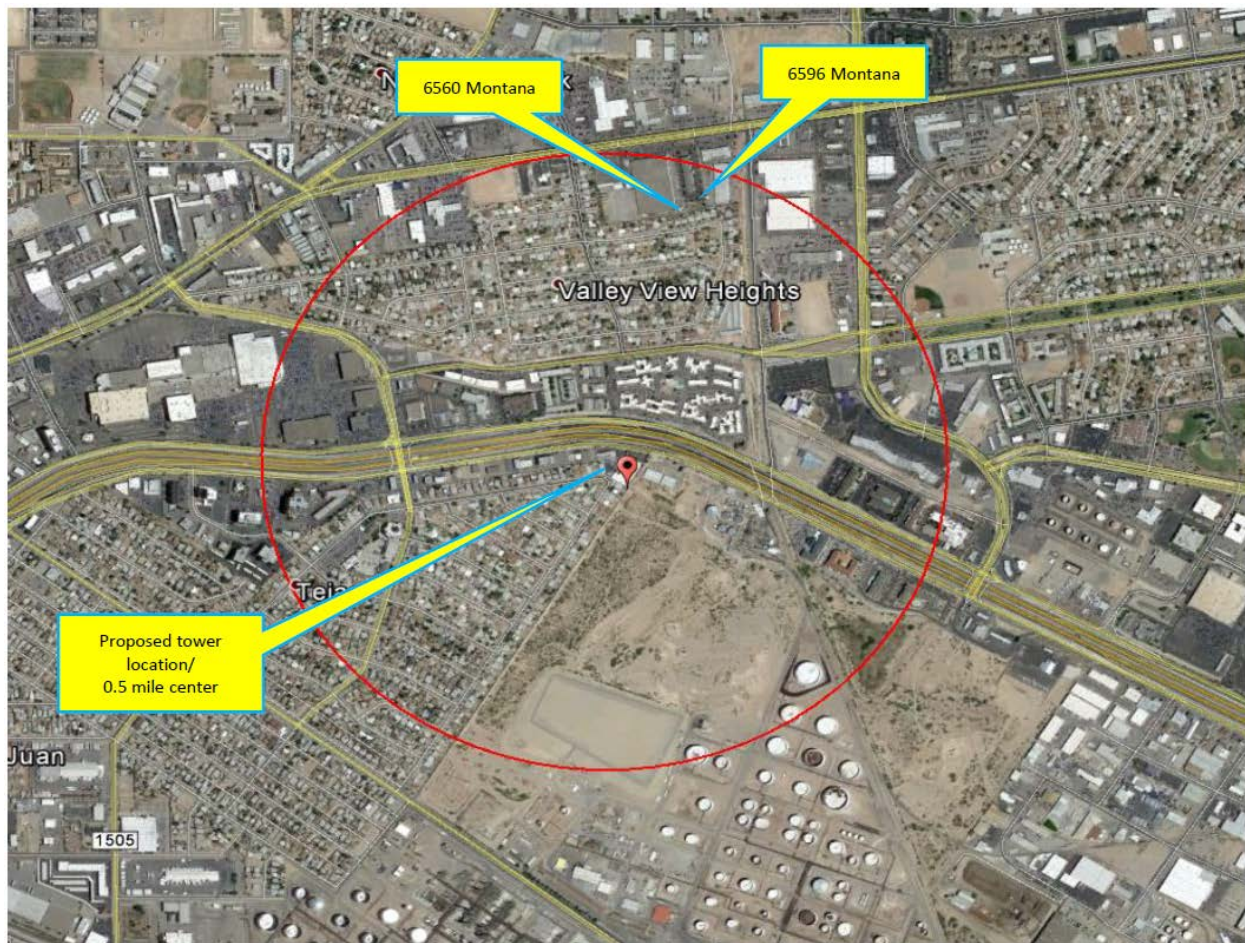
- iii. This proposed PWSF is designed to provide extra capacity within the VZW wireless network for the existing ELP Westmoreland site. Refer to VZW's Radio Frequency Engineer's map for adjacent VZW sites in the vicinity. Installing additional antennas at the ELP Westmoreland site will not adequately increase the capacity and coverage service in the immediate area.

- iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and**

iv. The relative location of this property makes it unique for the purposes of locating a PWSF based on the need for strict adherence to the grid plan. Engineers at VZW have identified the need for a PWSF within the City of El Paso. Based on a computerized engineering study considering local population density, topography, and traffic along the I-10 corridor, engineers at VZW have issued a "Search Ring" as identified in the submitted ELP Clark Feasibility Study. The Search Ring represents the area in which a facility must be located to allow it to function as an integral part of the wireless network system in the State of Texas and the El Paso area. PWSF facilities are laid out in a grid pattern and the spacing, height and location of this component site are critical for the successful operation of the network. The subject property meets the engineering criteria for the necessary PWSF in this area. If the strict letter of the regulations were carried out, the PWSF could not be constructed due to the separation distance of one-half mile. Please note that we are very close to meeting this requirement as we are .47 miles away from the nearest other PWSF. The hardship has resulted from the need to located a PWSF within the grid pattern at a height that is necessary for antennas to receive and transmit signals. The hardship is also a result of wireless technology and has not been created by any person having an ownership interest in the property. Please also note that nearly half of the Search Area is controlled by Western Refining who it uninterested in hosting a PWSF site due to security concerns. Nearly the entire other half of the Search Ring is comprised of single-family residential homes, making site location all the more difficult.

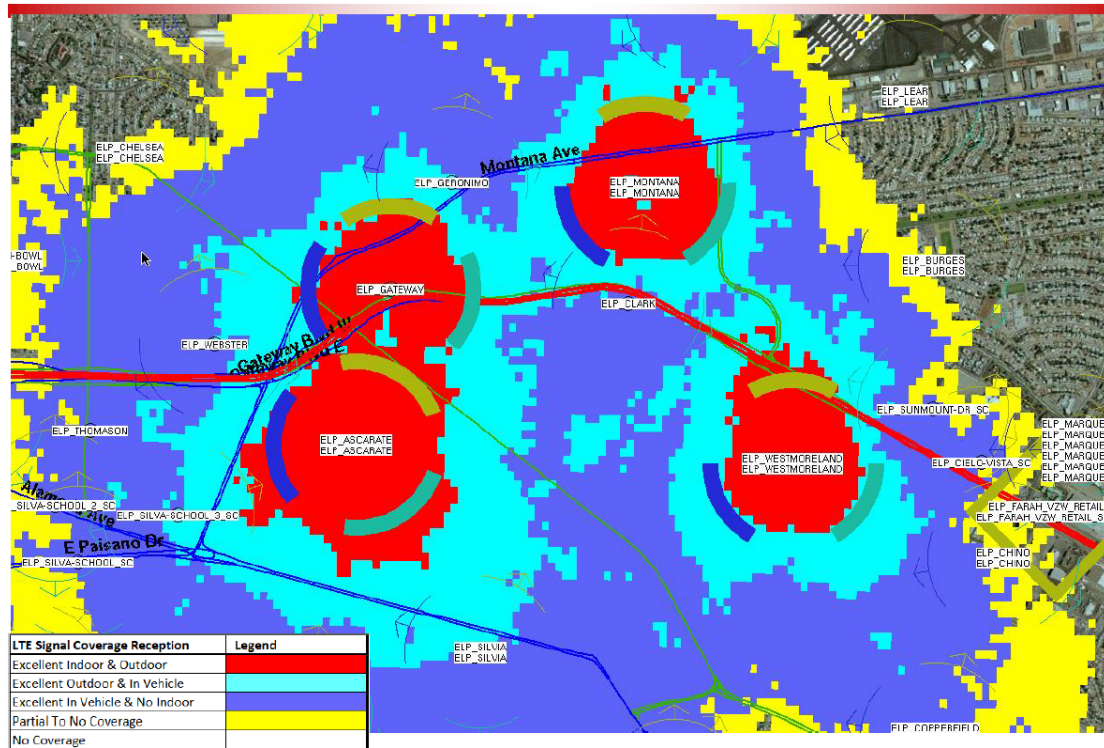
- v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.**

v. Refer to ELP Clark 0.5 mile radius map for the two existing PWSFs located within a .5 miles from this proposed PWSF.

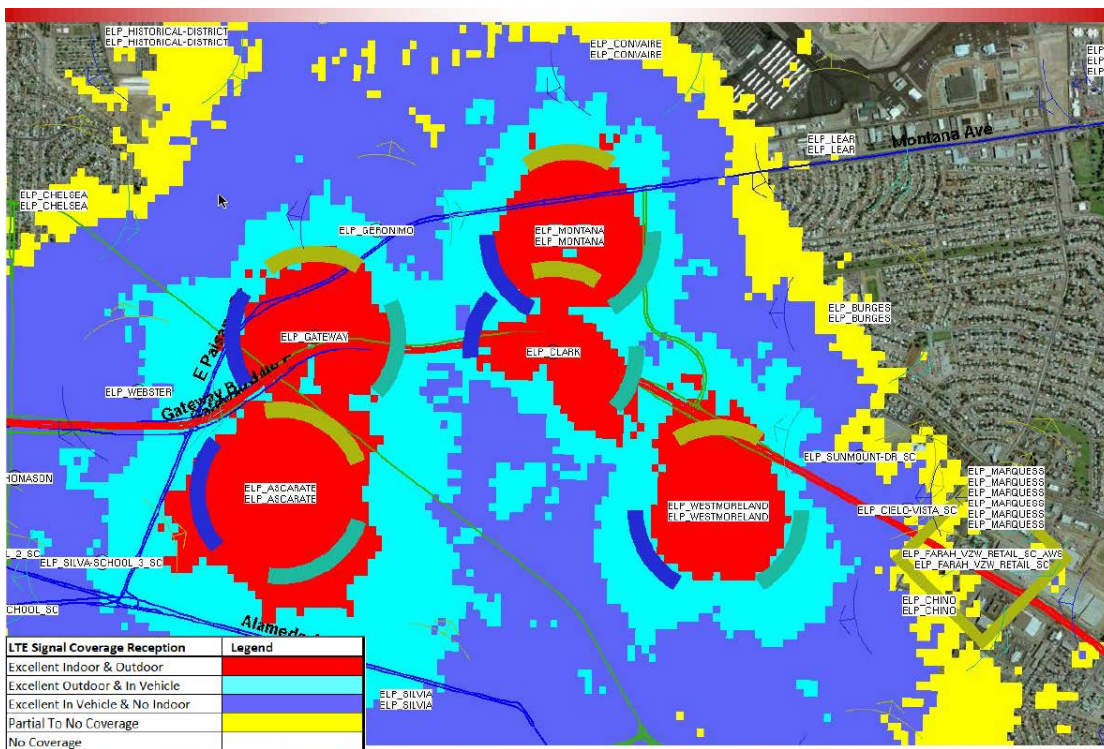


- 1) 6560 Montana located app. 0.42 miles from proposed ELP Clark (Verizon's ELP Montana site)
- 2) 6596 Montana located app. 0.43 miles from proposed ELP Clark

ATTACHMENT 8: COVERAGE MAP



EXISTING

**PROPOSED**

ATTACHMENT 9: SPECIAL CONTRACT

AN ORDINANCE CHANGING THE ZONING
OF LOT 27, BLOCK 2, BASSETT COM-
MERCIAL COMPLEX, THE PENALTY BE-
ING AS PROVIDED IN SECTION 25-10 OF
THE EL PASO CITY CODE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

That the zoning of Lot 27, Block 2, Bassett Commercial Complex
be changed to C-3 within the meaning of the Zoning Ordinance, and the zon-
ing map of the City be revised accordingly.

PASSED AND APPROVED this 6 day of December
1973.

James H. Hargis
Mayor

ATTEST:

1-1-73
City Clerk

I CERTIFY THAT THE FOLLOWING ZONING MAPS
HAVE BEEN REVISED: V.L.
12-27-73 COUNTER
12-26-73 ORIGINAL
12-27-73 BLDG. INSPECTION
12-26-73 CONTROL R. Gonzales

certify that the zoning map has been revised to
reflect the amendment of ordinance # 5177
Raul Gonzales Date 1-8-73

90.
1- 3773

C O N T R A C T

This contract, made this 22 day of June, 1973, by and between JACKIE F. CRAWFORD (individually and as Independent Executrix of the Estate of Perry M. Crawford, deceased) and THE BANK OF EL PASO, formerly CHELMONT STATE BANK, (Trustee under the will of Perry M. Crawford, deceased), First Parties, and the CITY OF EL PASO, Second Party, witnesseth:

Application has been made to the CITY OF EL PASO for rezoning of Lot 27, Block 2, Bassett Commercial Complex Unit 1, in the City of El Paso, El Paso County, Texas.

In order to remove certain objections to such rezoning, First Parties covenant that if the property is rezoned to C-3 (commercial) within the meaning of the Zoning Ordinance of the City of El Paso, it shall be subject to the following restrictions:

1. First Parties shall, at no cost to the City, do the following:
 - (a) Install a concrete sidewalk along the property line adjacent to Gateway Boulevard East.
 - (b) Install a 6-foot high masonry wall along the westerly and southerly property lines.
 - (c) Pave the entire width of the north-south portion of the alley in Block 2, Bassett Commercial Complex Unit 1, adjacent to the westerly property line.
2. The above improvements shall be made in accordance with plans and specifications to be approved by the City Engineer of the CITY OF EL PASO and must be completed by First Parties and approved by the City Engineer prior to the issuance of certificates of occupancy and compliance for any buildings constructed on the property.

This agreement is a restriction, condition and covenant running with the land and a charge and servitude thereon, and shall bind First Parties and their successors in title. Any future conveyance of the land shall contain this restriction, condition and covenant and shall embody this agreement by express reference.

The City may enforce this agreement by injunction or any other legal or equitable remedy. The City Council of the CITY OF EL PASO may release the above restrictions, conditions and covenants in its discretion without the consent of any third person who may be benefited thereby.

WITNESS the following signatures and seals:

ATTEST:

[Signature]
Cashier

[Signature]
JACKIE F. CRAWFORD

THE BANK OF EL PASO, formerly
CHELMONT STATE BANK, a corpo-
ration, Trustee

By [Signature]
Vice. President

ATTEST:

[Signature]
City Clerk

THE CITY OF EL PASO

By [Signature]
Mayor

THE STATE OF TEXAS)
COUNTY OF EL PASO)

BEFORE ME, the undersigned authority, on this day personally appeared JACKIE F. CRAWFORD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND OFFICIAL SEAL this 22nd day of October, 1973.

My commission expires:
June 1, 1975.

[Signature]
NOTARY PUBLIC, El Paso County,
Texas.

THE STATE OF TEXAS)
COUNTY OF EL PASO)

BEFORE ME, the undersigned authority, on this day personally appeared A. C. DONELL, President of THE BANK OF EL PASO, formerly CHELMONT STATE BANK, a corporation, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged before me in my county aforesaid that the same was the act of said corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND OFFICIAL SEAL this 22nd day of October, 1973.

My commission expires:
June 1, 1975.

[Signature]
NOTARY PUBLIC, El Paso County,
Texas.

THE STATE OF TEXAS)
COUNTY OF EL PASO)

BEFORE ME, the undersigned authority, on this day personally appeared FRED HERVEY, Mayor of the CITY OF EL PASO, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged before me in my county aforesaid that he had executed the same for the purposes and consideration and in the capacity therein expressed, and as the act and deed of the CITY OF EL PASO.

GIVEN UNDER MY HAND AND OFFICIAL SEAL this 6th day of December, 1973.

My commission expires:
June 1, 1975.

Billie Jean Branham
NOTARY PUBLIC, El Paso County,
Texas.

BILLIE JEAN BRANHAM, Notary Public
in and for the County of El Paso, Texas
My Commission Expires June 1, 1975



Recommendation/Public Input

- Planning Division recommendation: Approval
- CPC Vote: Approval Recommendation (6-0)
- Public Input: No communication in support or opposition to the Special Permit request.

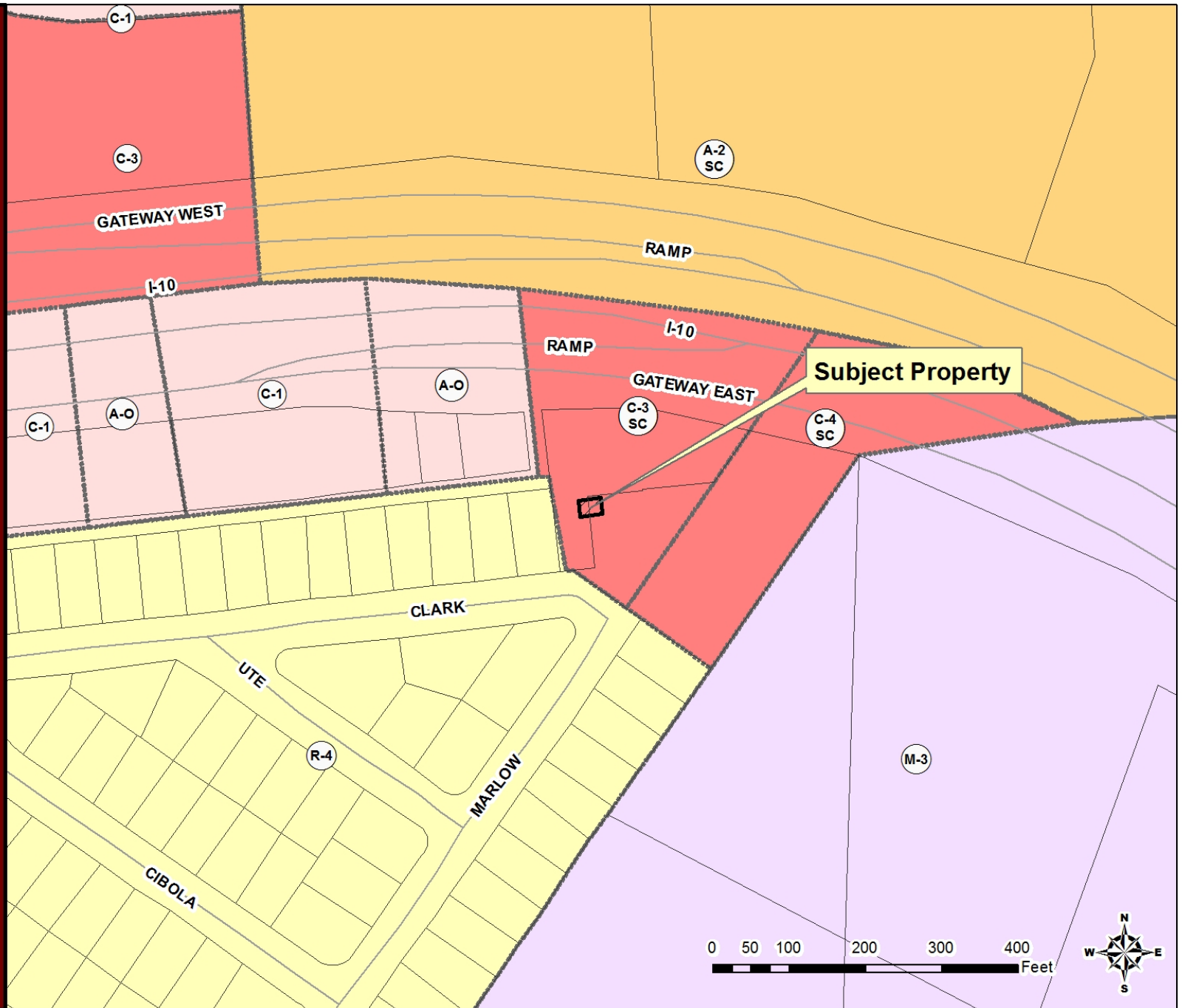
Strategic Goal #3 Promote the Visual Image of El Paso

3.1 Provide business friendly permitting and inspection processes

3.2 Improve the visual impression of the community

PZST16-00026

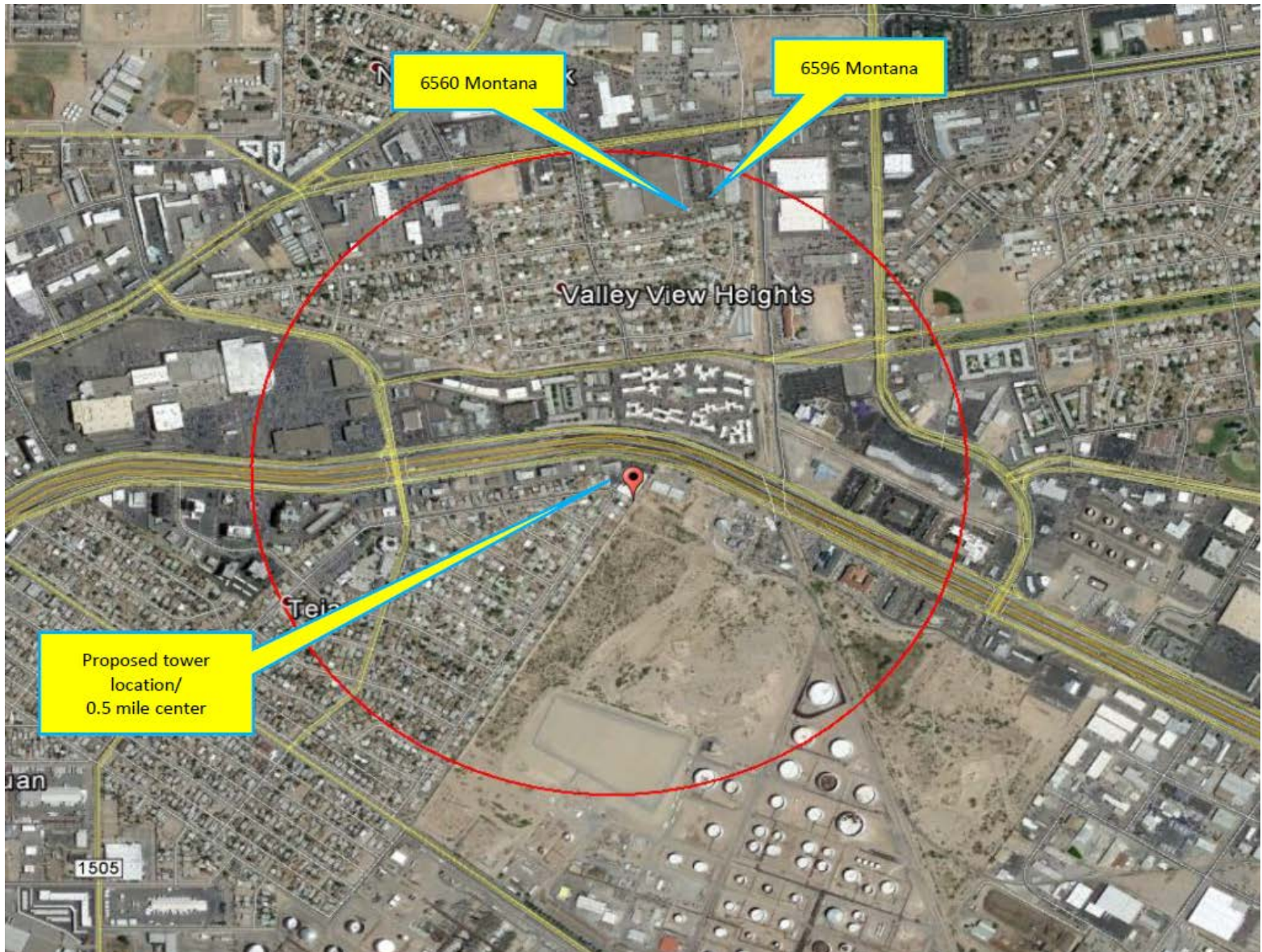
2

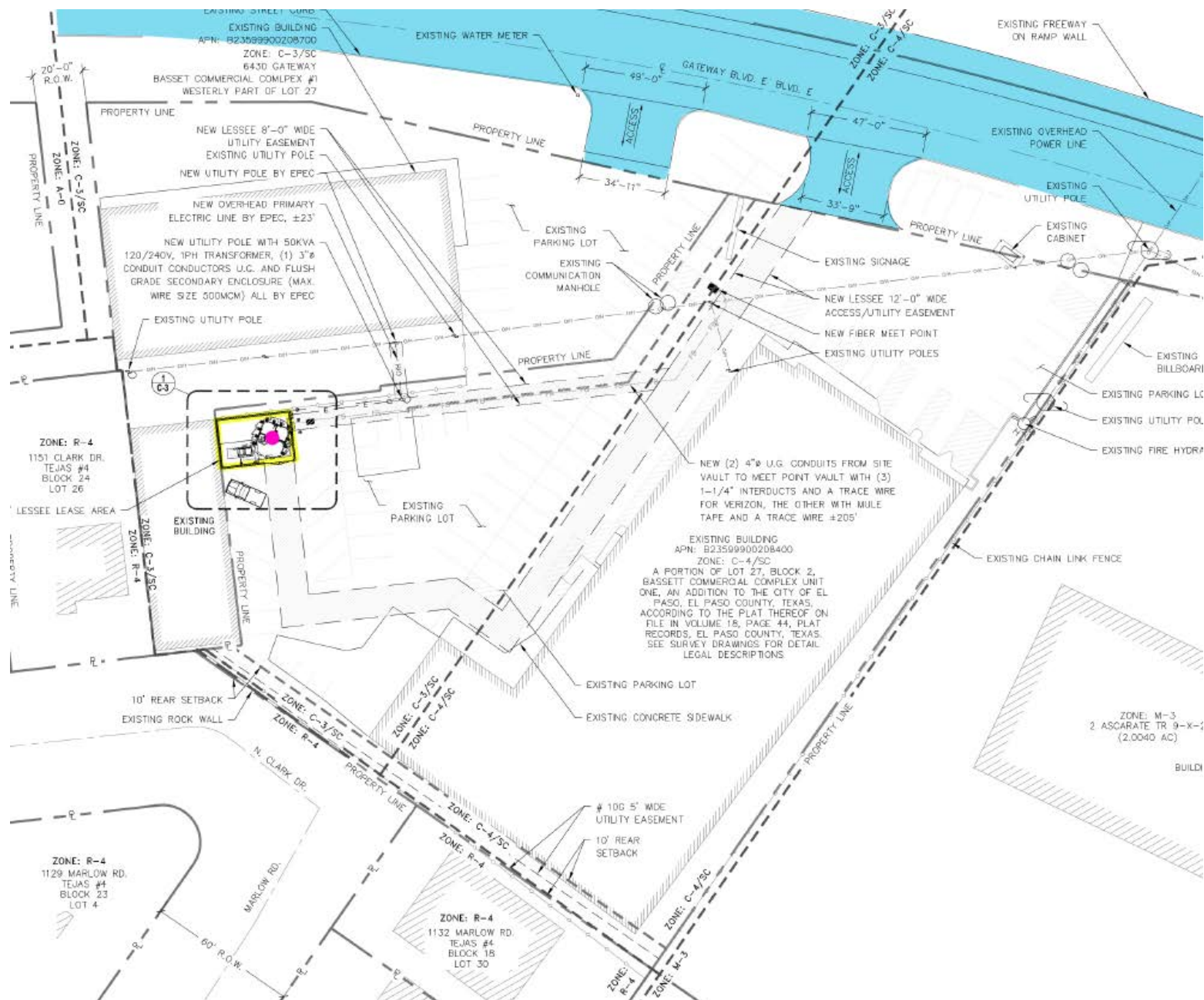


PZST16-000026

3









LANDSCAPING NOTE:

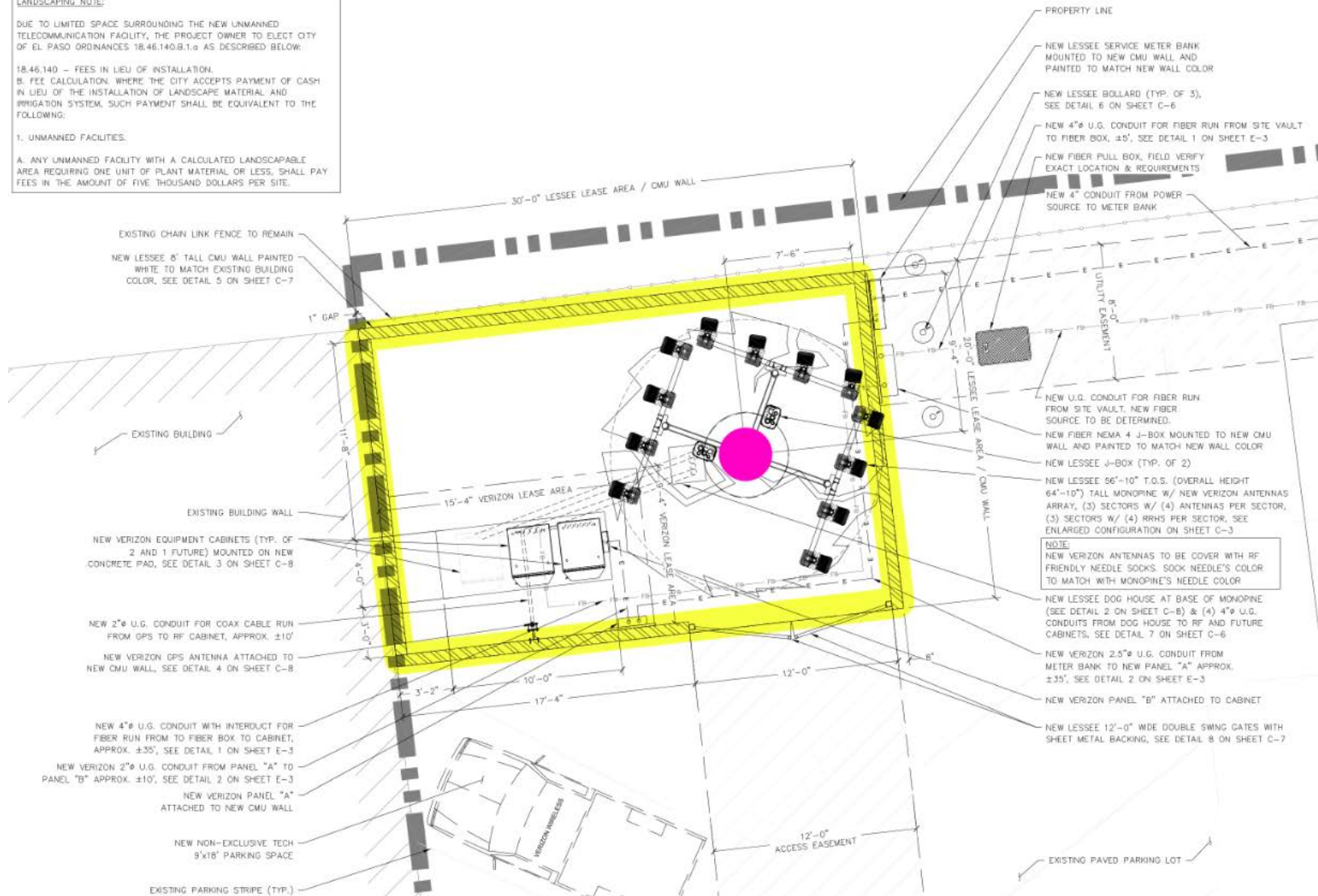
DUE TO LIMITED SPACE SURROUNDING THE NEW UNMANNED TELECOMMUNICATION FACILITY, THE PROJECT OWNER TO ELECT CITY OF EL PASO ORDINANCES 18.48.140.B.1.0 AS DESCRIBED BELOW:

18.46.140 - FEES IN LIEU OF INSTALLATION.

B. FEE CALCULATION: WHERE THE CITY ACCEPTS PAYMENT OF CASH IN LIEU OF THE INSTALLATION OF LANDSCAPE MATERIAL AND IRRIGATION SYSTEM, SUCH PAYMENT SHALL BE EQUIVALENT TO THE FOLLOWING:

1. UNMANNED FACILITIES:

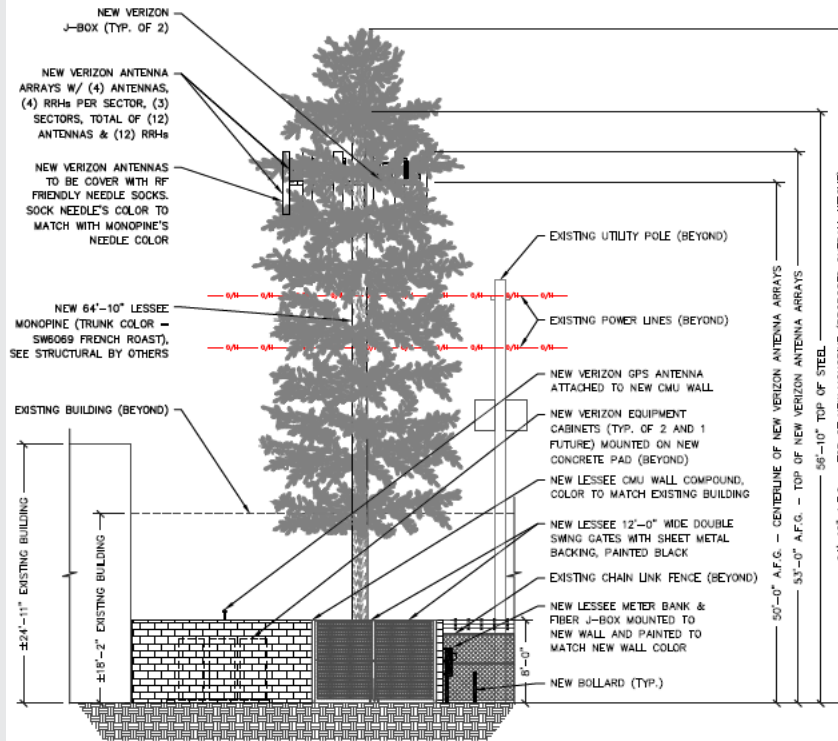
A. ANY UNMANNED FACILITY WITH A CALCULATED LANDSCAPABLE AREA REQUIRING ONE UNIT OF PLANT MATERIAL OR LESS, SHALL PAY FEES IN THE AMOUNT OF FIVE THOUSAND DOLLARS PER SITE.





NOTES:

1. THE STRUCTURAL ANALYSIS AND DESIGN OF NEW MONOPINE ARE PROVIDED BY OTHERS.
2. CONTRACTOR TO REFER TO POLE STRUCTURAL CALCULATIONS FOR ADDITIONAL LOADS. NO ERECTION OR MODIFICATION OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
3. NEW LESSEE HYBRIFLEX CABLE, ROUTED INSIDE NEW MONOPINE.
4. VERIZON ANTENNAS TO BE COVER WITH RF FRIENDLY NEEDLE SOCKS, SOCK NEEDLE'S COLOR TO MATCH WITH MONOPINE'S NEEDLE COLOR

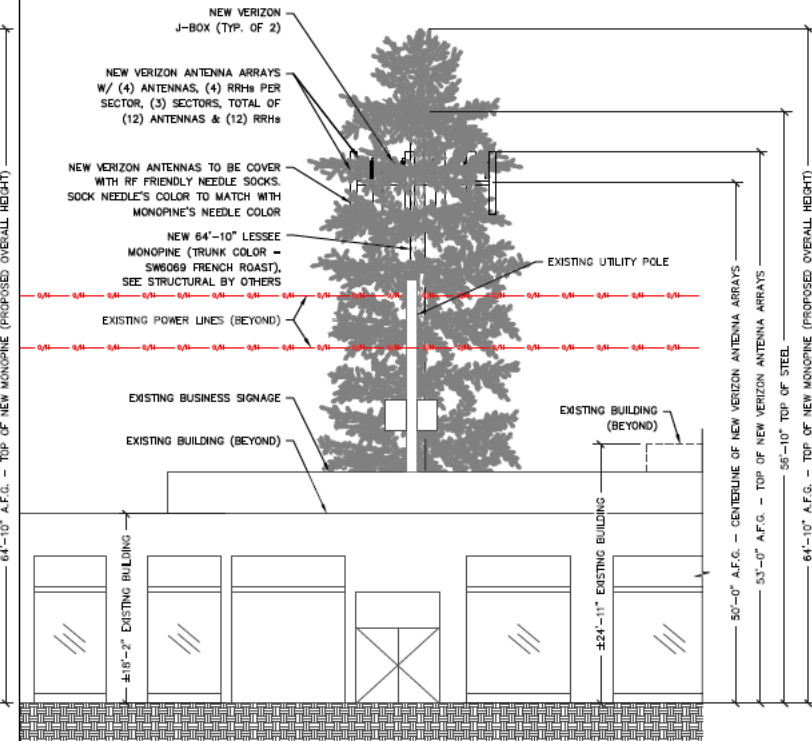


1 | SOUTH ELEVATION

22"x34" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"

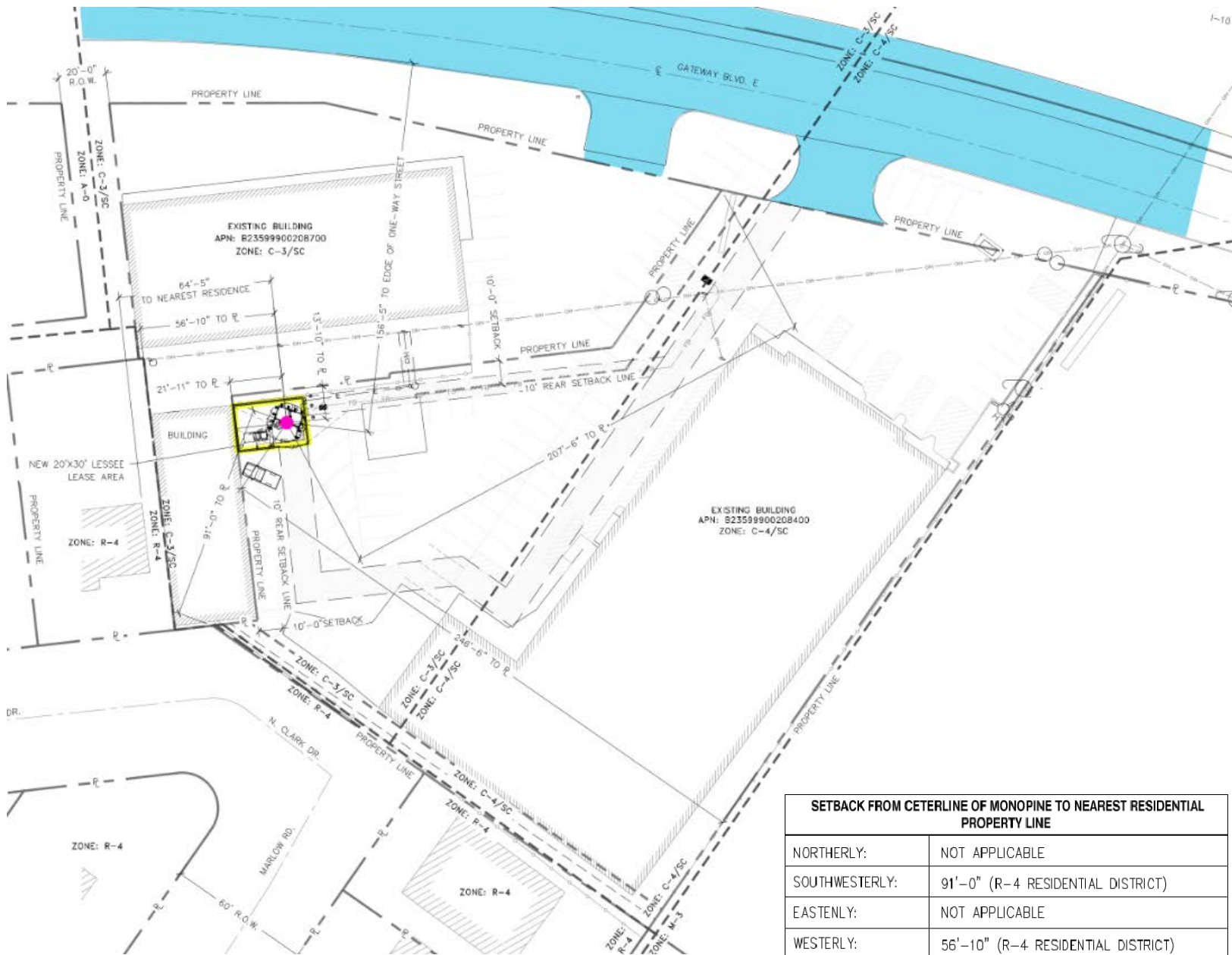
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2 | NORTH ELEVATION

22"x34" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"



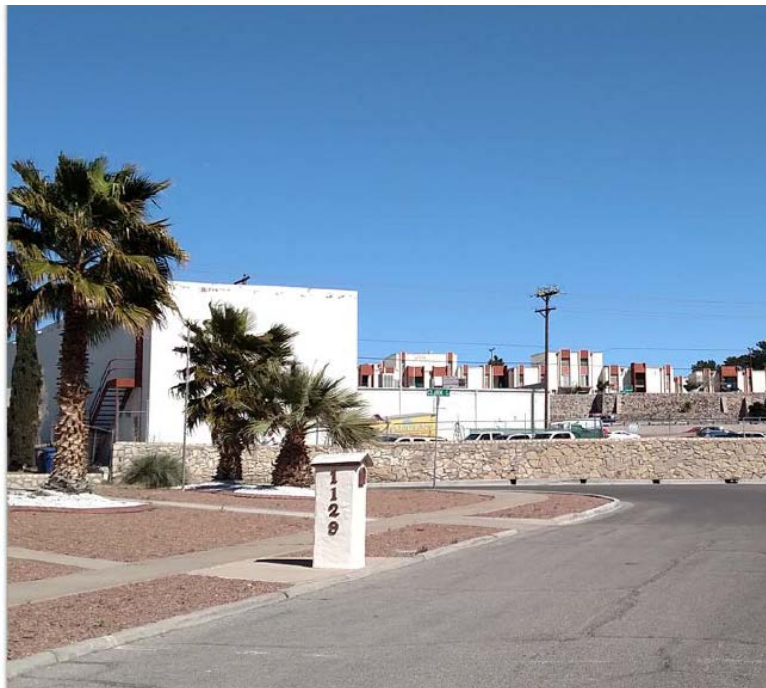
Existing



9 Proposed



Existing



10 Proposed



Existing



11 Proposed



Existing



12 Proposed







