

**CITY OF EL PASO, TEXAS
AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM**

DEPARTMENT: Planning and Inspections Department, Planning Division

AGENDA DATE: Introduction: April 19, 2016
Public Hearing: May 17, 2016

CONTACT PERSON/PHONE: Larry Nichols, (915) 212-1550, nicholslf@elpasotexas.gov
Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov

DISTRICT(S) AFFECTED: 2

SUBJECT:

An Ordinance granting Special Permit No. PZST16-00002, to allow for a Ground-mounted 68' Personal Wireless Service Facility on the property described as a portion of Lots 1 and 2, Block 109, Morningside Heights, 4801 Dyer Street, City of El Paso, El Paso County, Texas, Pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 4801 Dyer Street. Property Owner: Mohammed Farokhnia. PZST16-00002 (**District 2**)

BACKGROUND / DISCUSSION:

On March 10, 2016, the CPC reviewed and recommended approval of the special permit request.

PRIOR COUNCIL ACTION:

There is no prior City Council action on this special permit application.

AMOUNT AND SOURCE OF FUNDING:

N/A

BOARD / COMMISSION ACTION:

City Plan Commission (CPC) – Approval Recommendation (5-1).

*****REQUIRED AUTHORIZATION*****

LEGAL: (if required) N/A

FINANCE: (if required) N/A

DEPARTMENT HEAD: Larry F. Nichols
Director, Planning and Inspection Department

APPROVED FOR AGENDA:

CITY MANAGER: _____

DATE: _____

ORDINANCE

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST16-00002, TO ALLOW FOR A GROUND-MOUNTED 68' PERSONAL WIRELESS SERVICE FACILITY ON THE PROPERTY DESCRIBED AS A PORTION OF LOTS 1 AND 2, BLOCK 109, MORNINGSIDE HEIGHTS, 4801 DYER STREET, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Mohammed Farokhnia property owner and **Dallas MTA, LP d/d/a Verizon Wireless** have applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for the construction and installation of a ground-mounted Personal Wireless Service Facility (PWSF) that is 68 foot tall and camouflaged as a palm tree; and

WHEREAS, the Section 20.10.455 allows for a ground-mounted personal wireless service facility by Special Permit; and

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and

WHEREAS, the City Plan Commission has recommended approval of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320 of the El Paso City Code.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows, is in a **C-4 (Commerical)** Zone District: *Portion of Lots 1 and 2, Block 109, Morningside Heights, 4801 Dyer Street, City of El Paso, El Paso County, Texas*; and as more particularly described be metes and bounds on the attached Exhibit "A"; and
2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted 68-foot tall personal wireless service facility on the property described in Paragraph 1 of this Ordinance; and

3. Furthermore, the City Council makes the following findings to reduce below one-half mile the minimum separation distance between ground-mounted PWSF antenna support structures:
 - i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
 - iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
 - v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.
4. That this Special Permit is issued subject to the development standards in **C-4 (Commerical)** District regulations and is subject to the approved Detailed Site Development Plan signed by the Property Owner and the Applicant, the City Manager and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "B" and is incorporated herein by reference for all purposes; and
5. That if at any time the Property Owner or Applicant fail to comply with any of the requirements of this Ordinance, **Special Permit No. PZST16-00002** shall be subject to termination; construction or occupancy shall be discontinued; and the Property Owner or Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal equitable remedy; and

6. That the Property Owner and Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filled with the Zoning Administrator and the Executive Secretary to the City Plan Commission before building permits are issued.

ADOPTED this ____ day of _____, 2016.

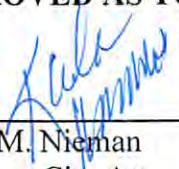
THE CITY OF EL PASO

Oscar Leeser
Mayor

ATTEST:

Richarda Duffy Momsen
City Clerk

APPROVED AS TO FORM:



Karla M. Nieman
Assistant City Attorney

APPROVED AS TO CONTENT:

Larry F. Nichols, Director
Planning & Inspections Department

AGREEMENT

Mohammed Farokhnia (Property Owner), and Dallas MTA, LP d/b/a Verizon Wireless referred to in the above Resolution, hereby agree to develop the above-described property in accordance with the approved Detailed Site Development Plan attached to same Resolution, and in accordance with the standards identified in the **C-4 (Commercial)** District regulations, and subject to all other requirements set forth in this Resolution.

EXECUTED this ____ day of _____, 2016.

By: _____
Mohammed Farokhnia/Property Owner

(signature)

ACKNOWLEDGMENT

THE STATE OF TEXAS)
)
COUNTY OF EL PASO)

This instrument is acknowledged before me on this ____ day of _____, 2016, by _____, as _____ for **Mohammed Farokhnia**, as owner.

My Commission Expires:

Notary Public, State of Texas
Notary's Printed or Typed Name:

By: _____
Authorized Representative
Dallas MTA, LP d/b/a/ Verizon Wireless

(signature and title)

ACKNOWLEDGMENT

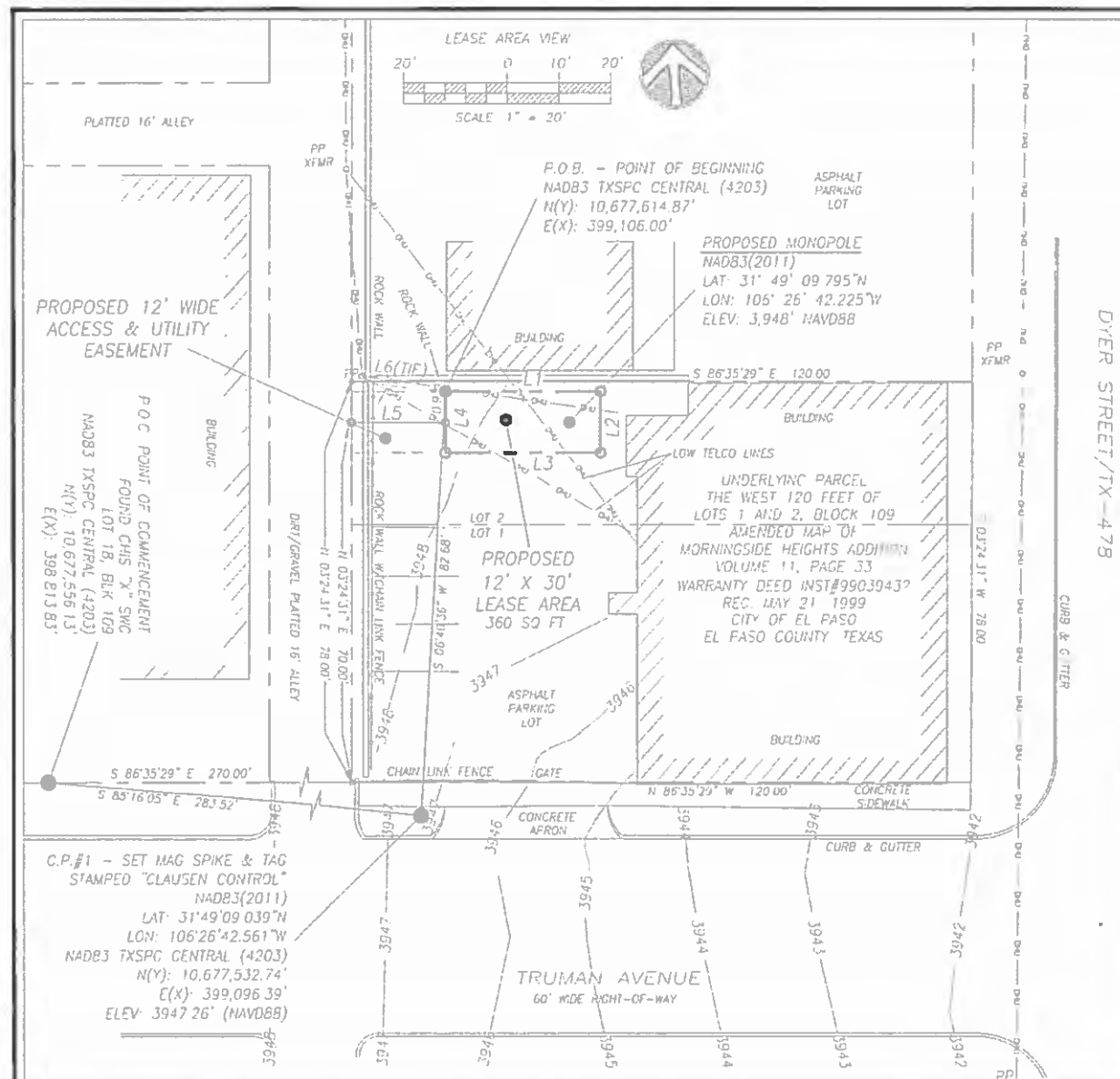
THE STATE OF TEXAS)
)
COUNTY OF EL PASO)

This instrument is acknowledged before me on this ____ day of _____,
2016, by _____, as _____ for **Dallas**
MTA, LP d/b/a Verizon Wireless.

My Commission Expires:

Notary Public, State of Texas
Notary's Printed or Typed Name:

EXHIBIT "A"



TOPOGRAPHIC & PROPOSED LEASE AREA
SURVEY

LAND INCLIMBING - PROPOSED 12'X30' LEASE AREA
A 12 X 30 PARCEL OF LAND FOR A PROPOSED
TELECOMMUNICATIONS LEASE AREA ("PROPOSED 12' X 30' LEASE
AREA") WITHIN LOT 2, BLOCK 109, ACCORDING TO THE AMENDED
MAP OF MORRISDALE HEIGHTS ADDITION AS THE SAME IS
RECORDED IN PLAT NUMBER 11, BOOK 8 OF P.C., AND
A PORTION OF LOT 2 BEING AFORESAID REFERRED AS
"UNDERLYING PACE". (SEE ASSUMPTION WARRANTY DEED
RECORDED ON 5-21-1999 AS INSTRUMENT NUMBER 99030432,
OFFICIAL PUBLIC RECORDS OF EL PASO COUNTY), SAID
12' X 30' LEASE AREA BEING MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

A POINT OF INTEREST ("P.O.") BEING A FOUND CRYSTAL "C" AT THE SW CORN OF LOT 18, ELKTON 109, AND HAVING MADS TRESP CENTRAL (#203) COORDINATES OF N(7); 10677.556-13; E(X); 398.815-25; THENCE, FROM SAID P.O. SOUTH 86°32'29" EAST 270.00 FEET TO THE SOUTHWEST CORNER OF LOT 1 IN SAID ELKTON 109, DISTANCE 0.32124 IN, 76.00 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 7, THENCE, SOUTH 82° 18' 27" EAST 18.27 FEET TO A 1/2 PEARL WITH CAP SET FOR THE NORTHWEST CORNER OF THE PROPOSED 12' X 30' LEASE AREA. THE SAME HAVING MADS TRESP CENTRAL (#203) COORDINATES OF N(7); 10677.618-87; E(X); 393.100-00; AND BEING THE POINT BEING THE CENTER OF THE PROPOSED 12' X 30' LEASE AREA DESCRIPTION, THENCE FROM SAID P.O. BY THE FOLLOWING FOUR (4) COURSES,

3. NORTH 85° E 29' EAST 30.00 FEET TO A 1/8 REBAR WITH
CAP SET FOR THE NORTHWEST CORNER OF THE PROPOSED 12' x
30' LEASE AREA;
4. NORTH 83° 24' 31" WEST 12.00 FEET TO A 1/8 REBAR WITH
CAP SET FOR THE SOUTHEAST CORNER OF THE PROPOSED 12' x
30' LEASE AREA;
5. NORTH 66° 35' 29" WEST 30.00 FEET TO A 1/8 REBAR WITH
CAP SET FOR THE SOUTHWEST CORNER OF THE PROPOSED 12' x
30' LEASE AREA;
6. NORTH 83° 24' 31" EAST 12.00 FEET TO THE POINT OF
BEGINNING, CONTAINING 360 SURVEY FEET OF AREA TOGETHER
WITH THE FOLLOWING PROPOSED EASEMENT - A TWELVE (12) FOOT
WIDE CORRIDOR FOR ACCESS AND UTILITIES DEPARTMENT BY CENTERLINE
AS FOLLOWS:

2. PROPOSED 12' WIDE ACCESS & UTILITY EASEMENT

CENTERLINE DESCRIPTION:
A STRIP OF JAND FIFTEEN FEET IN WIDTH FOR THE PURPOSE OF
AN ACCESS & UTILITY EASEMENT ("PROPOSED 12' WIDE ACCESS &
UTILITY EASEMENT") TO SERVE THE HEREBEFORE DESCRIBED
PROPOSED 12' X 30 LEASE AREA, MORE PARTICULARLY DESCRIBED
BY CENTERLINE AS FOLLOWS:

THE POINT OF BEGINNING BEING THE MIDPOINT OF THE WESTERLY BOUNDARY LINE OF THE HERETOFORE DESCRIBED PARCELS, PROPOSED 12 & 30' LEASE AREA, THENCE NORTH 86° 35' 29" WEST 18.15 FEET TO TERMINATE AT A POINT IN THE WEST BOUNDARY LINE OF SAID LOT 2, THE SAME BEING THE EAST RIGHT-OF-WAY LINE OF A PLATTED 16' WIDE ALLEY.

NOTES

1. REFERENCE WAS MADE TO A REPORT OF TITLE BY US TITLE SOLUTIONS
FILE NO. 3-672-18352-5083, REFERENCE NO. 280836, TITLE NAME ELP
TRUMAN, DATED 01-03-2018, THE AFO AND SCHEDULE B, SECTION B
EXCEPTIONS RELATING TO EASEMENTS AND MONTS-OF-WAY
2. SCHEDULE B, SECTION B (EXCEPTING)
3. EASEMENT AND MONTS-OF-WAY (NONE WITHIN FLOOD SEARCHED)
3. MAPS OF BEAVERHEAD IS GRID NORTH FOR THE NAD83 7E45 STATE
PLANE COORDINATE SYSTEM, CENTRAL ZONE (4203) THUS ARE GRID

CERTIFICATION:

HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY DEPICTING A PROPOSED LEASE AREA WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT THE INFORMATION PRESENTED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEETS THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYING IN TEXAS. THIS IS NOT A BOUNDARY SURVEY OF THE PATENT PARCEL. THIS IS NOT A LAND DIVISION. 02-07-2015 (FIELD NO. 3-2015)

Christian A. Clausen
CHRISTIAN A. CLAUSEN, RPLS. (TX 551) NAW 14087-42 38621)
3328 CLAYBURY CIRCLE DART M. PASO, TX 79932
915-355-6485 - suncoast@comcast.net

LINE	BEARING	DISTANCE
L1	S 96°55'20" E	30.00'
L2	S 0°24'51" W	12.00'
L3	N 86°35'53" W	35.00'
L4	N 0°22'45" E	12.00'
L5	N 86°35'20" W	18.15'
L6	S 8°19'22" E	19.25'

PROJECT INFORMATION

PROPOSED
WEAPON WHEELLESS
LEASE AREA

The information contained in this set of documents is proprietary to nature. Any use or disclosure other than that which relates to the client name is strictly prohibited.



CFE TELECOM

Box 2122 Round Rock, TX 78680
in 2, 425 44 55 Fax 512 425 4473
Box 2122 Round Rock, TX 78680

[illegible]

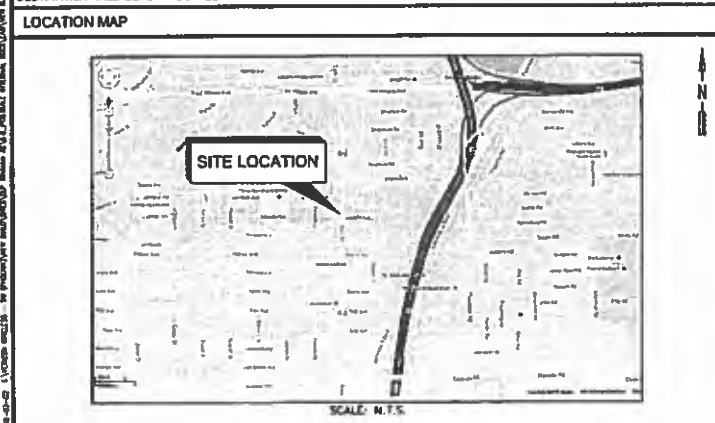
DATE NAME
F_P TRUMAN


TE ADDRESS
4801 DYER STREET
EL PASO TEXAS 79930

SHEET TITLE
SURVEY SHEET

SHEET NUMBER
SUR-1

PROJECT TEAM		PROJECT DATA	
CPE CONTACT CPE TELECOM CONTACT: SCHERIL RIVERA PROJECT MANAGER 204 TX AVE., SUITE A ROUND ROCK, TX 78664 PHONE: 512.278.5050 FAX: 512.852.7688		SITE LOCATION LAT: 31° 49' 09.795" N LONG: 108° 28' 42.225" W ELEV: 3948' AMSL (NAV088) ASR: COUNTY: EL PASO JURISDICTION: CITY OF EL PASO OCCUPANCY: NOT FOR HABITATION CODE: 2009 IRC ZONING: C4 COMMERCIAL USE: UNMANNED TELECOMMUNICATIONS FACILITY	
VERIZON WIRELESS CM CONTACT: JEFF DEWALT MOBILE: 505.250.0004 EMAIL: JEFF.DEWALT@VERIZONWIRELESS.COM		ONE CALL CONTRACTOR TO CALL BEFORE DIGGING!! NW ONE CALL, INC. PHONE: DIAL 811 STATEWIDE 866.344.6662	
ENGINEER CPE TELECOM CONTACT: J. CARROLL FAULKNER, PE 204 TEXAS AVE SUITE A ROUND ROCK, TEXAS 78664 PHONE: 512.278.5950 FAX: 512.852.7688		PROPERTY OWNER MOHAMMED FAROKHMA 525 CANYON SPRINGS DR EL PASO, TEXAS 79912 PHONE: 915.383.8709	
SURVEYOR CLAUSEN LAND SURVEYING CONTACT: CHRISTIAN CLAUSEN, R.P.L.S. 5328 COUNTRY OAKS DRIVE EL PASO, TX 79932 PHONE: 915.355.9482 EMAIL: SURVEYOR@CLAUSENCGMAIL.COM		TOWER OWNER VERIZON WIRELESS 126 W GERMING DRIVE TEMPE, ARIZONA 85283	
LEGAL PARCEL NUMBER/LEGAL DESCRIPTION UNDERLYING PARCEL THE WEST 120 FEET OF LOTS 1 AND 2 BLOCK 109, ANCHORED MAP OF MORRINGSIDE HEIGHTS ADDITION VOLUME 11, PAGE 33 WARRANTY DEED INST#98039432 REC. MAY 21, 1999 CITY OF EL PASO EL PASO COUNTY, TEXAS			
DRIVING DIRECTIONS FROM EL PASO INT'L AIRPORT: TAKE AIRPORT RD N TOWARDS LIBERTY EXPY/801 TURN LEFT ON LIBERTY EXPY/801 EXIT FRED WILSON AVE (BEFORE HWY 54) TURN LEFT ON DYER STREET DESTINATION WILL BE ON YOUR LEFT			






ELP - TRUMAN NEW BUILD - RAW LAND

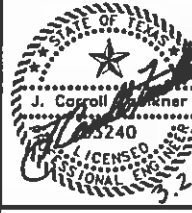
SITE LOCATION
EL PASO
EL PASO COUNTY, TEXAS

SITE ADDRESS
4801 DYER STREET
EL PASO, TEXAS 79930

AERIAL VIEW




SCOPE OF WORK CONSTRUCTION OF PROPOSED ANTENNAS AND RADIO EQUIPMENT ON A PROPOSED 62'-0" VERIZON WIRELESS MONOPOLM TOWER (OVERALL HEIGHT 86'-0" AGL), ALONG WITH PROPOSED RADIO EQUIPMENT IN PROPOSED EQUIPMENT CABINET.	
SHEET INDEX	
T1	TITLE SHEET
GN1	GENERAL NOTES
C1	CIVIL NOTES
SUR1	SITE SURVEY
C2	OVERALL SITE PLAN
C2.1	DETAILED SITE PLAN
C3	TOWER ELEVATION
C3.1	RF INFORMATION
C3.2	ANTENNA PLAN
C3.3	ANTENNA GROUNDING PLAN
C4	CONSTRUCTION DETAILS
C5	ICE BRIDGE DETAILS
C5.1	ENTRY PORT DETAILS
C6	SIGN DETAILS
C7	MASONRY WALL DETAILS
C8	CHAIN LINK GATE DETAIL
S1	STRUCTURAL NOTES
S2	FOUNDATION PLANS & DETAILS
E1	ELECTRICAL & GROUNDING NOTES
E2	SITE UTILITY ROUTING PLAN
E2.1	COMPOUND UTILITY ROUTING PLAN
E2.2	UTILITY DIAGRAM & DETAILS
E2.3	ELECTRICAL ONE LINE DIAGRAM
E3	SITE GROUNDING PLAN & DETAILS
E4	GROUNDING SYSTEM DIAGRAMS
E5	GROUNDING DETAILS
ATTACHMENTS	
RF EQUIPMENT SPECIFICATIONS GENERATOR/DIESEL BELLY TANK SPECIFICATION ELP - TRUMAN SITE SURVEY BY CLAUSEN LAND SURVEYING SHEET 1 FINAL, DATED: 05/07/2015	
APPROVALS	
VERIZON WIRELESS PROJECT MANAGER	DATE
VERIZON WIRELESS RF ENGINEER	DATE
Landlord Approved	Date



TELECOM

204 TEXAS AVENUE, SUITE A
ROUND ROCK, TEXAS 78664
P: 512.278.5950
F: 512.852.7688
PO BOX 2116 78668
WWW.CPELAUNCH.COM



ELP - TRUMAN

SET ISSUED FOR		DATE
BOX 20's REVIEW		05/06/15
BOX 10's REVIEW		05/13/15
CONSTRUCTION		10/30/15
REV. 0		02/01/16
REV. 1		02/19/16
REV. 2		02/26/16

REVISIONS		
NO.	DATE	DESCRIPTION
0	02/01/16	ZONING COMMENTS
1	02/19/16	CHANGE WKT TO S ON C1.1
2	02/26/16	ZONING COMMENTS

TITLE SHEET

T1

1.1 INTENT

- A. THESE SPECIFICATIONS AND THE CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THIS PROJECT.
- B. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH.
- C. THE INTENTION OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
- D. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE ON PERMITTED WITHOUT ISSUING A CHANGE ORDER.

1.2 CONFLICTS

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS, WHICH MAY BE FOUND, SHALL BE SUBMITTED TO THE CONSTRUCTION MANAGER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.

1.9 STORAGE

- A. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK. ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.

14 CLEAN UP

- A. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK, HE SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL HIS TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS AND SHALL LEAVE HIS WORK CLEAN AND READY FOR USE.

8. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SLUDGES AND OTHER FOREIGN MATTER.

- c. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.

2. IF NECESSARY TO ACHIEVE A UNIFORM DEGREE OF CLEANNESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.

1.5 QUALITY ASSURANCE

- A. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE BUT NOT BE LIMITED TO THE LATEST VERSION OF THE FOLLOWING:

1. AWS/BA - 222 - B - 2008
2. INTERNATIONAL BUILDING CODE (IBC), EDITION 2015
3. BUILDING OFFICIALS AND CODE ENFORCEMENT (BOCA) 1999 (FOURTEENTH EDITION)
4. NATIONAL ELECTRICAL CODE (NEC) WITH LOCAL AMENDMENTS 2014
5. UNDERWRITERS LABORATORIES APPROVED ELECTRICAL PRODUCTS
6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
7. AWS/WFA - 70 LIFE SAFETY CODE WFA - 101 - 2015
8. AWS/A - 1010 - A - 2008

1.6 EMERGENCY NOTIFICATION SIGNAGE

- A. EMERGENCY NOTIFICATION SIGNAGE WILL BE ALTERED AS NECESSARY TO COMPLY WITH JURISDICTION ORDINANCE.

PART 1 GENERAL

4.1 WORK INCLUDED

- A. INSTALL ICE BRIDGE AS INDICATED ON DRAWINGS. INSTALL NEW COAX, ANTENNAS, AND MOUNTS AS INDICATED ON DRAWINGS AND VERIFIED BY RF ENGINEER.

- B. SUPPLY AND INSTALL GROUND BARS AND GROUNDING SUPPLIES AS INDICATED IN THE DRAWINGS, AND VERIZON APPROVED STANDARDS, VERIFIED BY AN ELECTRICIAN.

C. LABEL CHANGE

4.1 RELATED WORK

- A FURNISH THE FOLLOWING WORK AS SPECIFIED UNDER CONSTRUCTION DOCUMENTS, BUT COORDINATE WITH OTHER TRADES PRIOR TO BID.

1. FLASHING OPENINGS INTO OUTSIDE WALLS.
2. SEALING AND CAULKING ALL OPENINGS.
3. PAINTING.
4. CUTTING AND PATCHING.
5. ENTRY PORT/PORT HOLE CUSHIONS.
6. ANTENNA/CABLE CIRCUMFERRING.

4.1 REQUIREMENTS OF REGULATORY AGENCIES

- A. FURNISH U.L. LISTED EQUIPMENT WHERE SUCH LABEL IS AVAILABLE AND INSTALL IN CONFORMANCE WITH U.L. STANDARDS WHERE APPLICABLE.

- B. INSTALL ANTENNA CABLES AND GROUNDING SYSTEM IN ACCORDANCE WITH DRAWINGS AND SPECIFICATION IN EFFECT AT PROJECT LOCATION AND RECOMMENDATIONS OF STATE AND LOCAL BUILDING CODES, SPECIAL CODES HAVING JURISDICTION OVER SPECIFIC PORTIONS OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

1. IDA/BA-222-G-2008, STRUCTURAL STANDARDS FOR STEEL ANTENNA
TOWERS AND ANTENNA SUPPORTING STRUCTURES.
2. FAA-FEDERAL AVIATION ADMINISTRATION ADVISORY CIRCULAR AC
70/460-1K, OBSTRUCTION MARKING AND LIGHTING & AC 70/460-2K,
PROPOSED CONSTRUCTION OR ALTERATION OF OBJECTS THAT MAY
AFFECT THE NAVIGABLE AIRSPACE.
3. AISC-AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR
STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.
4. NEC-NATIONAL ELECTRICAL CODE-ON TOWER LIGHTING KITS.
5. LR-UNDERWATERS LABORATORIES APPROVED.
6. IN ALL CASES, PART 77 OF THE FAA RULES AND PARTS 17 AND 22 OF
THE FAR RULES, APPLY. IN THE EVENT OF CONFLICT,
SUPERSEDE ANY OTHER STANDARDS OF SPECIFICATIONS.
7. AWS/A-10A - 70 LIFE SAFETY CODE MPA-101 EDITION 2013

4.4 MATERIALS

- A. ALL MATERIALS/HARDWARE SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

4.1. CONTINUING

CONTRACTOR SHALL PROVIDE EASY IDENTIFICATION AND UNIFORM MARKING OF ANTENNA CABLING PER THE FOLLOWING INSTRUCTIONS:























- A. ALL TRANSMISSION LINES SHALL BE MARKED WITH APPROPRIATE COLOR TAPE BANDS (ONE INCH WIDE COLOR TAPE) FOR IDENTIFICATION NEAR ANTENNA, JUST BEFORE ENTERING THE EQUIPMENT CABINET/BUILDING/WATER TANK AS WELL AS INSIDE THE EQUIPMENT CABINET/BUILDING/WATER TANK, WITHIN 24" OF THE ENTRY POINT. TAPE SHALL BE FADE-RESISTANT, WEATHER-RESISTANT, UV-RESISTANT AND CHEMICAL RESISTANT. REFERENCE FSC A-A-5580B (102-1007).

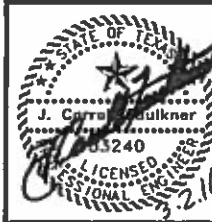
- B. WHERE VISIBILITY (NO TO END) IS NOT POSSIBLE, ADDITIONAL BANDING SHALL BE INSTALLED.

4.6 GROUNDING

- A. ANTENNA AND CABLE GROUNDING SHALL BE INSTALLED CONTEMPORANEOUSLY WITH INSTALLATION. NO UNGROUNDED COAX SHALL BE ROUTED INTO THE EQUIPMENT CABINET OR CONNECTED TO EQUIPMENT.

SITE LEGEND

PROPERTY/LEASE LINE	
FENCE LINE	
FENCE LINE EXISTING	
FENCE W/ BARBWARE LINE	
FENCE GATES	EXISTING  PROPOSED 
EQUIPMENT LINE	
EQUIPMENT LINE EXISTING	
BUILDING LINE	
BUILDING LINE EXISTING	
ACCESS ROAD LINE (12' WIDE)	
ACCESS ROAD LINE (12' WIDE) EXISTING	
HYBRID CABLE	
SITE SURFACING	
METER POLE / UTILITY POLE	EXISTING  PROPOSED 
METER ROAD FOR CO-LOCATION	EXISTING  PROPOSED 
METER BOARD FOR RAILROAD	EXISTING  PROPOSED 
WAVEGUIDE BRIDGE (2"x10")	EXISTING  PROPOSED 



ELP - TRUMAN

SET ISSUED FOR	DATE
90% CD's REVIEW	05/08/15
90% CD's REVIEW	05/15/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

REVISIONS		
NO.	DATE	DESCRIPTION
0	02/01/10	ZONING COMMENTS
1	02/19/10	CHANGE W/10 TO 3 ON C3
2	02/26/10	ZONING COMMENTS

GENERAL NOTES

GN1

PART 2 GENERAL

PART 2 GENERAL

2.1 WORK INCLUDED

- A. SITE WORK AND DRAINAGE DETAILS ARE WRITTEN TO COVER A VARIETY OF POSSIBLE SITE CONFIGURATIONS. SPECIFIC SERVICES WILL BE PERFORMED AS INDICATED IN THE SITE PLAN AND AGREED UPON BY CUSTOMER AND THE CONSTRUCTION MANAGER.
- B. REFER TO COMPLETE DRAWING SET AND REFERENCED SPECIFICATIONS/STANDARDS FOR WORK INCLUDED.

2.2 RELATED WORK

- A. CONSTRUCTION FOR BUILDING FOUNDATION
- B. PLACEMENT OF EQUIPMENT CABINET
- C. INSTALLATION OF GROUNDING & ELECTRICAL SYSTEM
- D. INSTALLATION OF ANTENNA SYSTEM

2.1 DESCRIPTIONS

- A. ACCESS ROAD, TURNAROUND AREAS, AND COMPOUND AREAS SHALL BE CONSTRUCTED TO PROVIDE A WELL-DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.

2.4 QUALITY ASSURANCE

- A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION (USE AS NEEDED).
- B. VEGETATION AND LANDSCAPING, IF REQUIRED WITHIN THE CONTRACT, WILL BE PLACED AND MAINTAINED AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.

2.9 SEQUENCING

- A. CONFIRM SURVEY STAKES AND SET ELEVATION STAKES PRIOR TO ANY CONSTRUCTION. PLACE SILT FENCE ON OTHER REQUIRED EROSION CONTROLS DOWN GRADIENT OF CONSTRUCTION AREA.
- B. THE COMPLETED ROAD AND SITE AREA WILL BE CLEARED OF HEAVY GROWTH OF GRASS, TREES, SHRUBS AND TOPSOIL PRIOR TO FOUNDATION CONSTRUCTION OR PLACEMENT OF BACKFILL ON SUB-BASE MATERIAL.
- C. CONSTRUCT TEMPORARY CONSTRUCTION ZONE ALONG ACCESS DRIVE WHEN REQUIRED FOR NEW LIGHT POLES.
- D. THE SITE AREA WILL BE BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ACCESS ROAD TO BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS.
- E. APPLY SOIL HERBICIDE PRIOR TO PLACING BASE MATERIALS.
- F. IF REQUIRED, GRAZE, SEED, FERTILIZE AND MANAGE DISTURBED AREA IMMEDIATELY AFTER BRUSHING THE SITE AND ACCESS ROAD TO BASE COURSE ELEVATION. WATER TO ENSURE GROWTH.
- G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE.
- H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL HERBICIDE TO THE STONE SURFACE.

PART 2 PRODUCTS

2.8 MATERIALS

- A. ROAD AND SITE MATERIALS: FILL MATERIAL-ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH LOCAL DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- B. SOIL HERBICIDE SHALL BE EPA REGISTERED OF LIQUID COMPOSITION AND OF PRE-EMERGENCE DESIGN.
- C. SOIL STABILIZER FABRIC SHALL BE WRAFAT-500X.

2.3 EQUIPMENT

- A. COMPACTION SHALL BE ACCOMPLISHED BY MECHANICAL MEANS.
- B. ALL LARGER AREAS SHALL BE COMPACTED BY SHEEPS FOOT, VIBRATORY OR RUBBER TIED ROLLERS WEIGHING AT LEAST FIVE TONS.
- C. SMALLER AREAS SHALL BE COMPACTED BY POWER-DRIVEN, HAND-HELD JAMPERS.

PART 2 EXECUTION

2.9 INSPECTIONS

- A. LOCAL BUILDING INSPECTION SHALL RECEIVE ADEQUATE NOTIFICATION IN ADVANCE OF CONCRETE POURS WHEN REQUIRED.
- 2.8 PREPARATION
 - A. CLEAR TREES, BRUSH AND DEBRIS FROM SITE AREA AND ACCESS ROAD RIGHT OF WAY (IF REQUIRED).
 - B. PRIOR TO ANY EXCAVATION AND CONSTRUCTION EFFORTS CLEAR SITE OF ORGANIC MATERIAL TO MINIMUM OF SIX INCHES BELOW ORIGINAL GROUND LEVEL.
 - C. DO NOT REMOVE TREES, BRUSH, OR DEBRIS FROM THE PROPERTY WITHOUT CONSTRUCTION MANAGER APPROVAL.

D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, PROOF ROLL THE SOIL

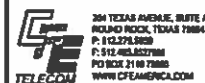
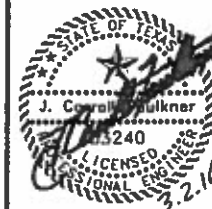
- E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, COVER CLEARED AREAS WITH STABILIZER MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.

2.12 INSTALLATION

- A. THE COMPOUND AND TURNAROUND AREAS SHALL BE AT THE SUB-BASE COURSE ELEVATION PRIOR TO FORMING FOUNDATIONS, GRADE OR FILL THE SITE AND ACCESS ROAD AS REQUIRED IN ORDER THAT THERE IS EVEN DISTRIBUTION OF SPILLS RESULTING FROM FOUNDATION EXCAVATIONS. THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM FINISHED GRADES OR SLOPES, AS INDICATED.
- B. IF ANY, EXCESS SPILLS WILL BE CLEANED FROM JOB SITE, AND NOT SPREAD BEYOND THE LIMITS OF OWNER/LEASED PROPERTY UNLESS AUTHORIZED BY PROJECT MANAGER.
- C. THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION PRIOR TO FOUNDATION CONSTRUCTION TO PERMIT USE. COMPACTION SHALL BE DONE DURING CONSTRUCTION OF THE SITE.
- D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POOL.
- E. WHEN IMPROVING AN EXISTING ACCESS ROAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
- F. THE FINISH GRADE, INCLUDING TOP SURFACE COURSE, SHALL EXCEED A MINIMUM OF ONE FOOT BEYOND THE SITE FENCE AND SHALL COVER THE AREA AS INDICATED.
- G. RIPRAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR DRAINAGE SNALES.
- H. RIPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FENCED SITE AREAS, PARKING AREAS AND TO ALL OTHER SLOPES GREATER THAN 2:1.
- I. RIPRAP ON THE DITCH FOR SIX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS OR AS INDICATED IN THE DRAWINGS.

2.15 FIELD QUALITY CONTROL

- A. COMPACTION SHALL BE AT LEAST 83% OF MAXIMUM DENSITY AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-1557.
- B. LANDSCAPING: VERIZON WIRELESS HAS CHOSEN THE "BUY OUT FEE" OF \$5000.00.
- C. ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION. STRAW BALES WILL BE PLACED AT THE INLET APPROACH TO ALL NEW OR EXISTING CULVERTS.



HELP - TRUMAN

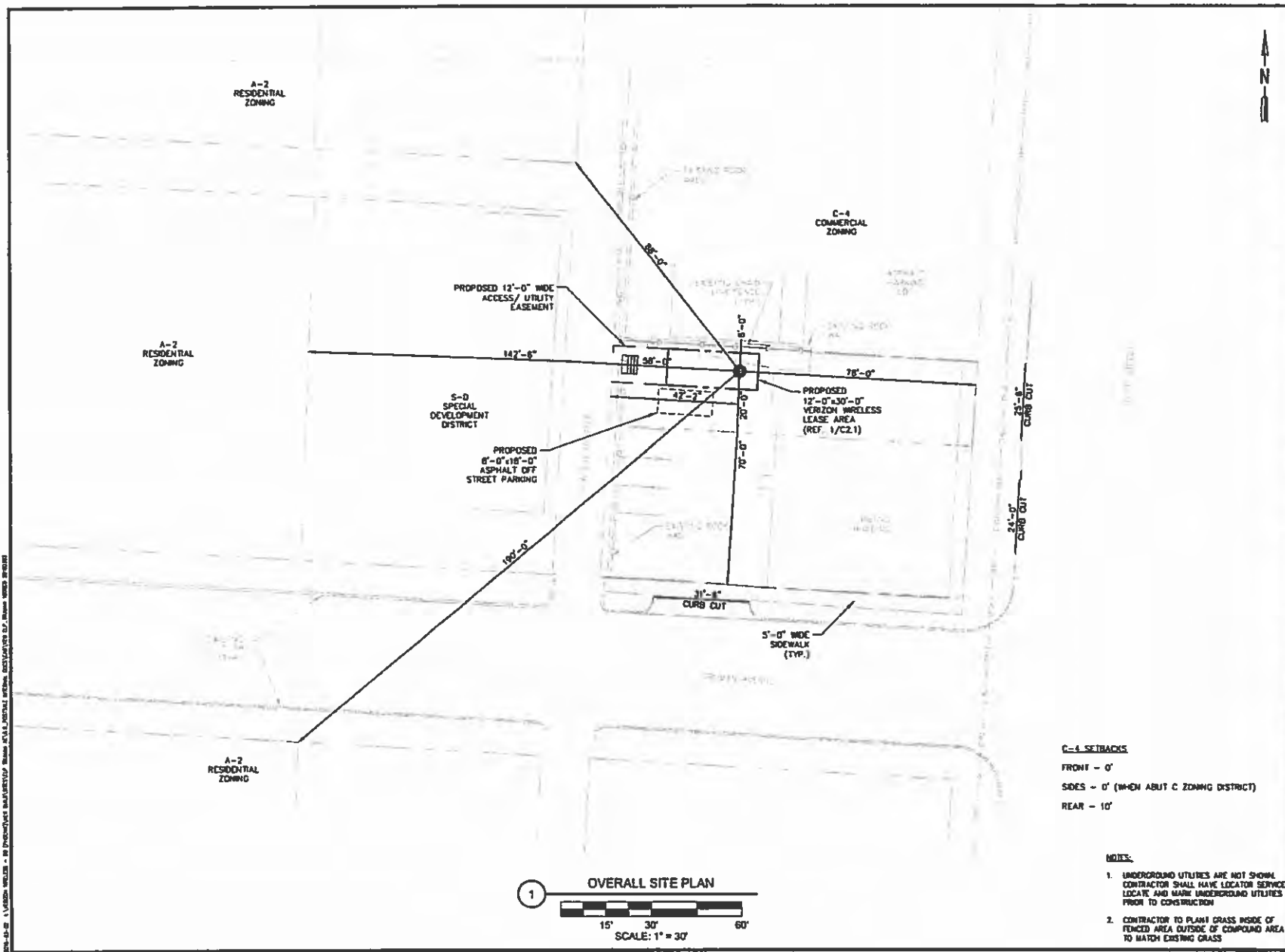
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902 CD'S REVIEW	05/15/13
CONSTRUCTION	10/30/13
REV. 0	02/01/10
REV. 1	02/10/16
REV. 2	02/26/16

REVISIONS		
NO.	DATE	DESCRIPTION
0	02/01/16	ZONING COMMENTS
1	02/19/16	CHANGE MAP TO 5' ON C-3
2	02/16/16	ZONING COMMENTS

CIVIL NOTES

C1

2014-05-15 1:40PM WELLS - 20 PROPOSED WAREHOUSE BUILDING 2014-05-15 1:40PM WELLS - 20 PROPOSED WAREHOUSE BUILDING



verizon

ELP - TRUMAN

SET ISSUED FOR	DATE
BOX 204 REVIEW	05/08/15
BOX 207 & REVIEW	05/15/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

REVISIONS		
NO.	DATE	DESCRIPTION
0	02/01/16	ZONING COMMENTS
1	02/19/16	CHANGE NB TO 'S' ON C31
2	02/26/16	ZONING COMMENTS

OVERALL SITE PLAN

C2

C-4 SETBACKS

FRONT - 0'

SIDES - 0' (WHEN ADJUT C ZONING DISTRICT)

REAR - 10'

- NOTES:**
- UNDERGROUND UTILITIES ARE NOT SHOWN. CONTRACTOR SHALL HAVE LOCATOR SERVICE LOCATE AND MARK UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION
 - CONTRACTOR TO PLANT GRASS INSIDE OF FENCED AREA OUTSIDE OF COMPOUND AREA TO MATCH EXISTING GRASS

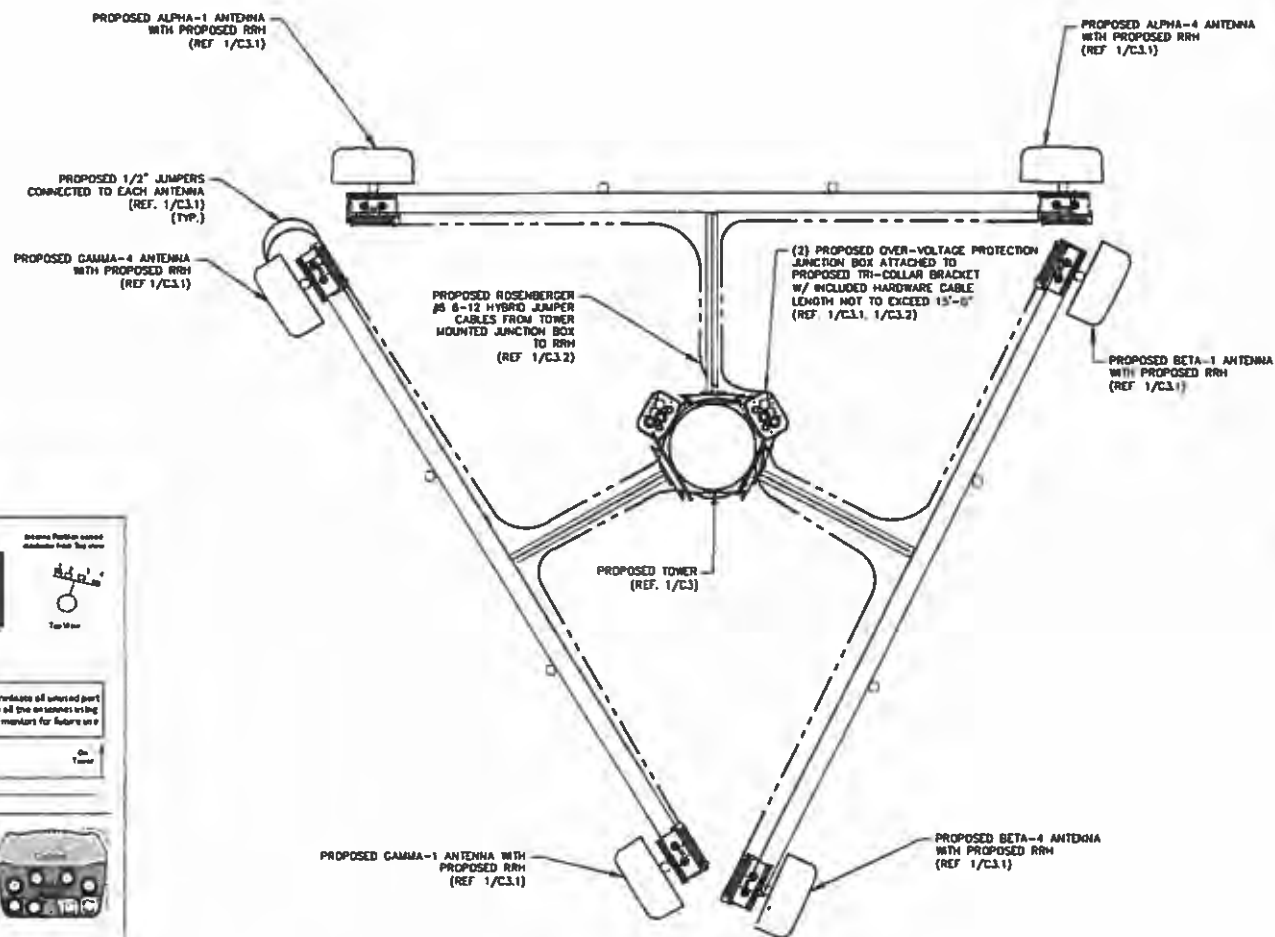
REFERENCE ANTENNA PLANS ON SHEET C.3.2 FOR MOUNT INFORMATION

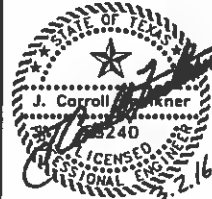
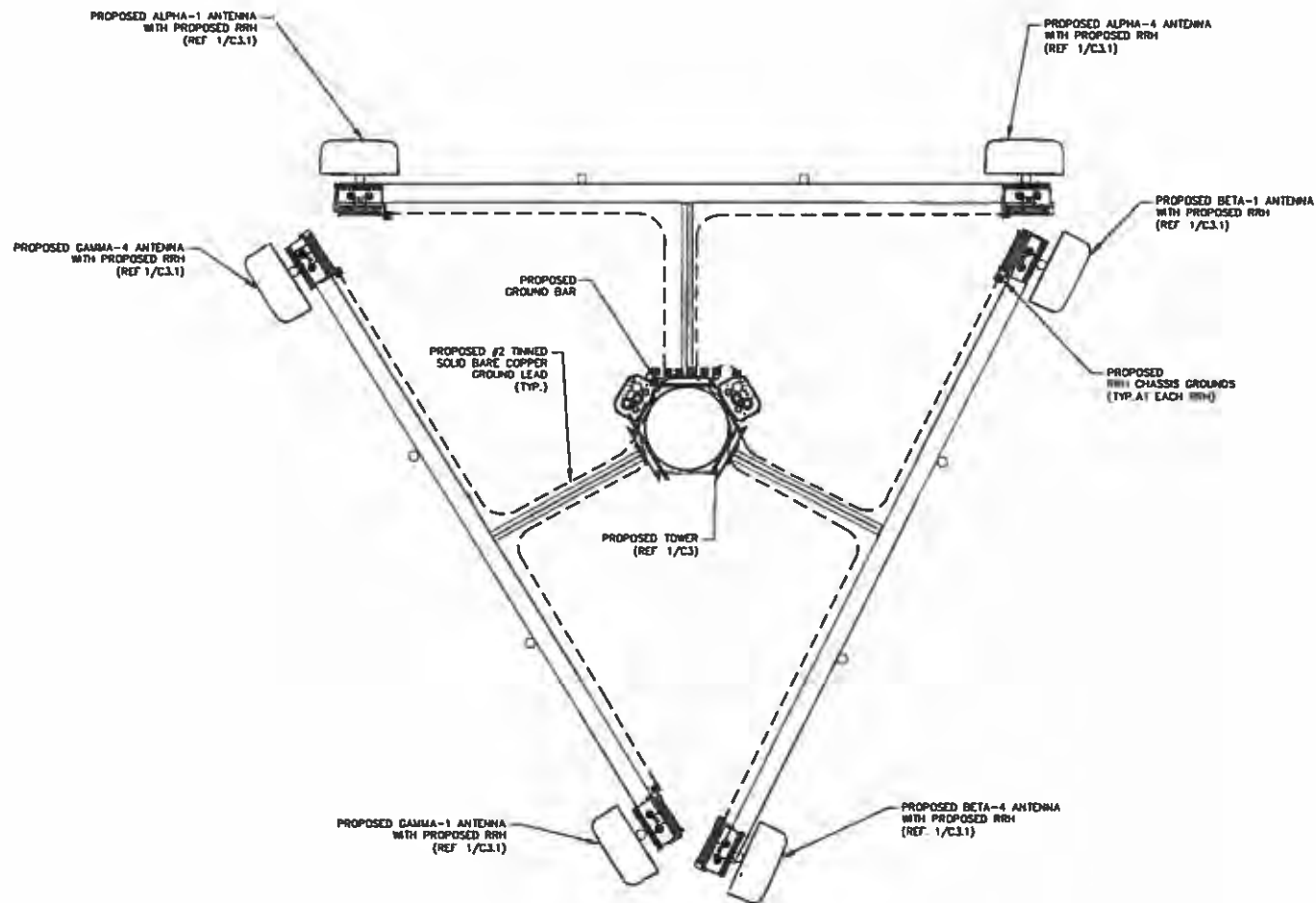
MANUFACTURER	SIZE	MODEL NUMBER	MIN. BENDING RADIUS
ROSENBERGER	#6 5-12	HYBRID FEEDER	21.11"
ROSENBERGER	#6 2-4	HYBRID FEEDER	14.09"
ROSENBERGER	#6 1-1	HYBRID FEEDER	16.57"

2 TRANSMISSION LINE BENDING RADIUS CHARTS



NAME	QTY	MANUFACTURER	PART #	DESCRIPTION
SECTOR MOUNT	1	SABRE	C10-858-801	(3) ROUND WEAPON 1-ARMS AND TR-COLLAR BRACKET
ARTICULA	6	SABRE	C10-900-107	2 3/8" x 7" LONG ARTICULA PWT
TRI-COLLAR BRACKET	1	SABRE	C10-112-300	1-BOX MOUNT





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90% 2D: REVIEW	05/08/15
90% 3D: REVIEW	05/15/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

REVISIONS		
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1	02/19/16	CHANGE MW TO J ON C3
2	02/28/16	ZONING COMMENTS

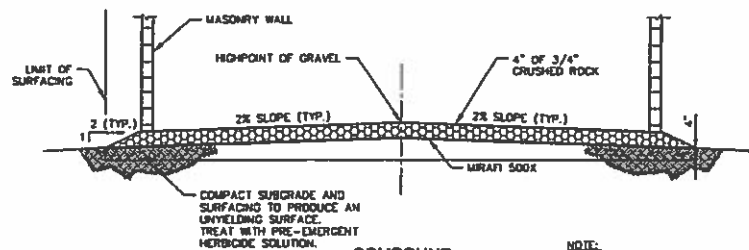
ANTENNA GROUNDING PLAN

C3.3

1. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL, AND OTHER REQUIREMENTS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
2. CONSTRUCTION AT THE SITE MUST BEGIN WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION.
3. EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAMATIC PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY.
4. ALL SILT FENCES MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER IS INSTALLED.
5. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
6. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT REACHES 12" IN HEIGHT WITHIN SILT FENCE BARRIERS.
7. FAILURE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES MAY RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE UNTIL SUCH MEASURES ARE CORRECTED.
8. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT IF REQUIRED, SHALL BE PRESENT ON THE JOB SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
9. ANY AREA OF DISTURBANCE LEFT EXPOSED OR THAT IS ANTICIPATED TO BE EXPOSED BEFORE THE EXPOSURE PERIOD REQUIRED BY LOCAL AUTHORITIES SHALL BE STABILIZED WITH TEMPORARY SEEDING.
10. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED IF REQUIRED UPON INSPECTION BY AND DIRECTION FROM LOCAL AUTHORITIES.
11. UPON COMPLETION OF WORK, OR AS DIRECTED BY EROSION CONTROL AUTHORITIES, ALL DISTURBED AREAS NOT WORKED UP WITH GRAVEL SHALL BE SEEDED WITH PERMANENT SEEDING MATERIAL SUITABLE FOR THE LOCAL GROWING AREA.



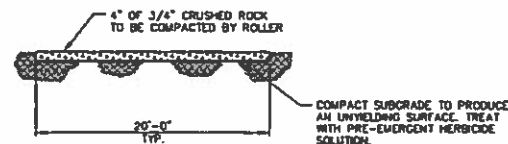
SILT FENCE



**COMPOUND
SURFACING DETAIL**

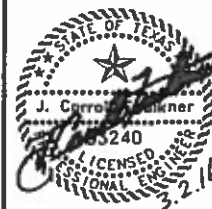
SCALE: N.T.S.

NOTE:
CONTRACTOR SHALL GRADE SITE
TO DRAIN AWAY FROM
FOUNDATION LOCATIONS.



**ACCESS
EASEMENT DETAIL**

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INTENTIONALLY LEFT BLANK



204 TEXAS AVENUE, SUITE A
ROUND ROCK, TEXAS 78664
P: 512.271.5820
F: 512.495.0527/5804
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BOX 20% REVIEW	05/08/15
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CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

[illegible]

CONSTRUCTION DETAILS

C4

SECTION VIEW @
ICE BRIDGE
SCALE: N.T.S.

NOTES:

1. ADJUST CENTERLINE OF ICE BRIDGE TO ALIGN WITH ENTRY PORT ON EXISTING EQUIPMENT CABINET.
2. REFER DETAIL 2/E4 FOR ICE BRIDGE GROUNDING DETAIL.
3. ALL MATERIALS USED FOR ICE BRIDGE SHALL BE HOT-DIPPED GALVANIZED. ALL FIELD CUTS OR DRILLED OPENINGS SHALL BE RESEALED WITH 3 COATS OF COLD-GALVANIZING COMPOUND TO CLEANED SURFACES.
4. ADDITIONAL SECTIONS OF ICE BRIDGE MAY BE REQUIRED AS INDICATED IN SITE PLAN. SUPPORT EACH 10' SECTION WITH A MINIMUM OF TWO POSTS WITH A MAXIMUM SPACING OF 8'.

ICE BRIDGE PLAN
SCALE: N.T.S.

NOTE:

1. CONTRACTOR TO ROTATE AND ATTACH COAX/WAVEGUIDE TO TRAPEZE SUPPORT IN A MANNER THAT WILL ACHIEVE THE MINIMUM BENDING AND TURNING RADII.

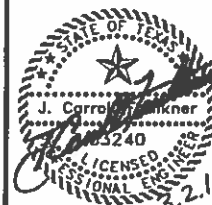
ICE BRIDGE CABLE SUPPORT
VIEW LOOKING TOWARD ENTRY PORT
FROM CABINET EXTERIOR

3

SCALE: N.P.S.

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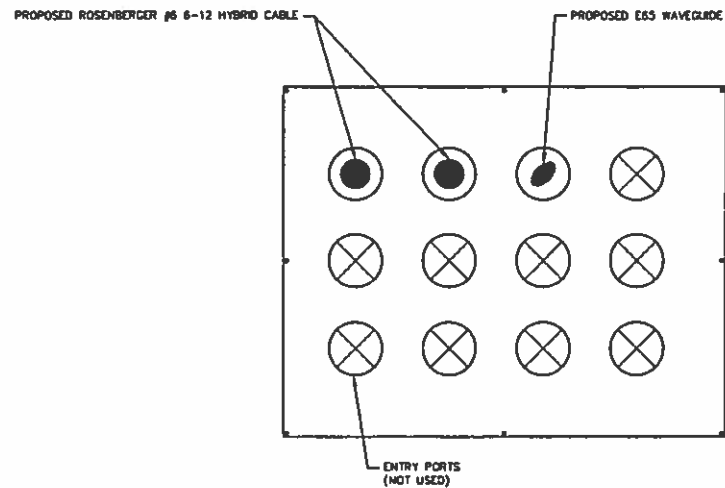
ELP - TRUMAN

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CONSTRUCTION	12/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

REVISIONS		
NO	DATE	DESCRIPTION
0	02/01/18	ISSUING COMMENTS
1	02/19/18	CHANGE WIR TO 3 ON C3
2	02/26/18	ISSUING COMMENTS

ICE BRIDGE DETAILS

C5



1 ENTRY PORT DETAILS
SCALE: N.T.S.

NOTE:
1. REFER TO 1/C.1 FOR COAX LINE INFORMATION.



204 TEXAS AVENUE, SUITE A
ROCKWELL, TEXAS 78064
P: 512.379.5833
F: 512.465.8577
PO BOX 2110 78060
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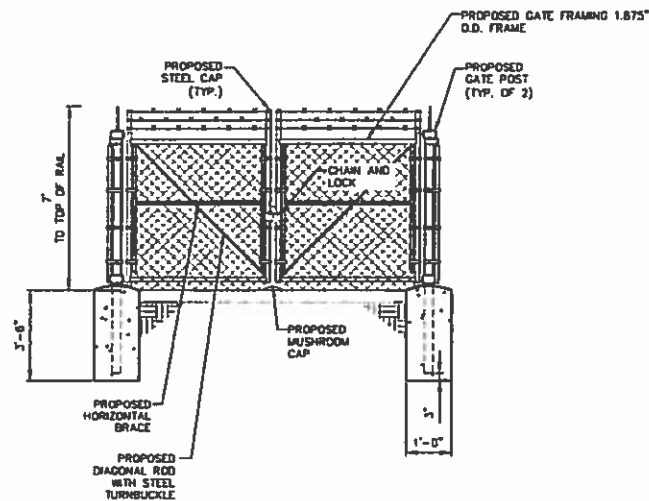
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90% CD+ REVIEW	05/15/15
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REV. 2	02/26/16

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ENTRY PORT DETAILS

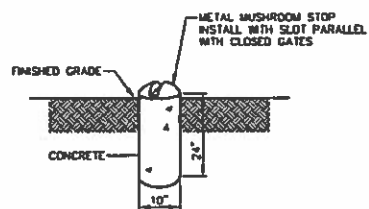
C5.1



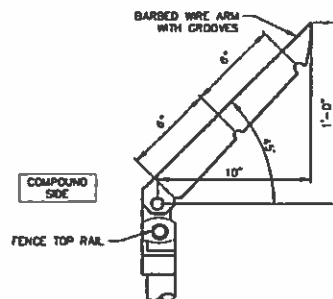


1 CHAIN LINK GATE DETAIL
SCALE: N.T.S.

- NOTES:
1. ALL MATERIALS TO BE GALVANIZED.
 2. MAXIMUM POST SPACING SHALL BE 10'-0".
 3. CONCRETE SHALL HAVE 5000 PSI MINIMUM 28-DAY COMPRESSIVE STRENGTH.
 4. ALL POST TO BE SCHEDULE 40 PIPE.

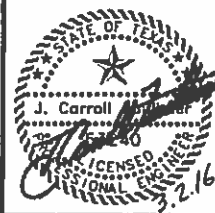


2 MUSHROOM STOP DETAIL
SCALE: N.T.S.



3 EXTENSION ARMS
SCALE: N.T.S.

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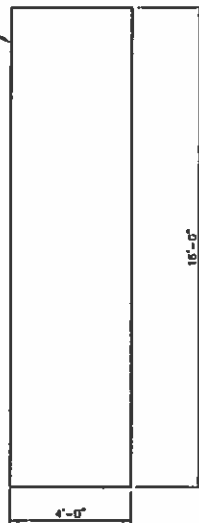
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CONSTRUCTION	10/30/13
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

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CHAIN LINK GATE DETAIL

C8

10" CONCRETE SLAB-ON-GRADE
REINFORCED W/ #4 @ 12" O.C.E.W.
TOP AND BOTTOM



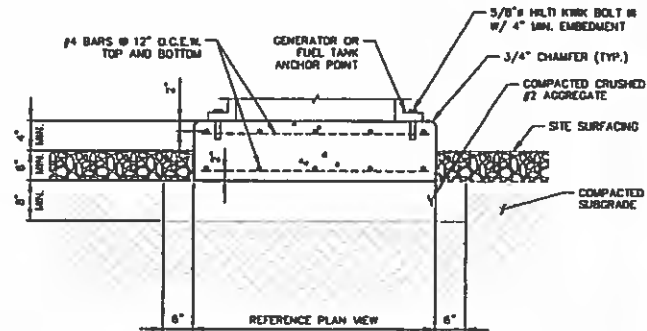
NOTES:

1. REFERENCE CIVIL DRAWINGS FOR PLAN NORTH.
2. FINISHED FLOOR ELEVATION OF SLAB SHALL BE LEVEL AND 4" ABOVE ADJACENT GRADE.

PROPOSED
EQUIPMENT CABINET & GENERATOR
PAD PLAN

1

SCALE: N.T.S.



PROPOSED GENERATOR
AND CABINET PAD SECTION

2

SCALE: N.T.S.

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P: 512.278.2800
F: 512.486.8278
PO BOX 3118 FARMING
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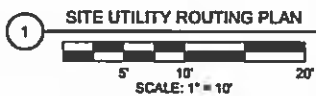
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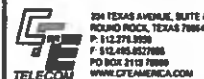
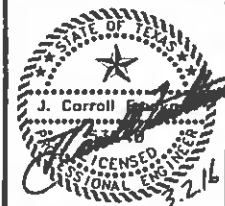
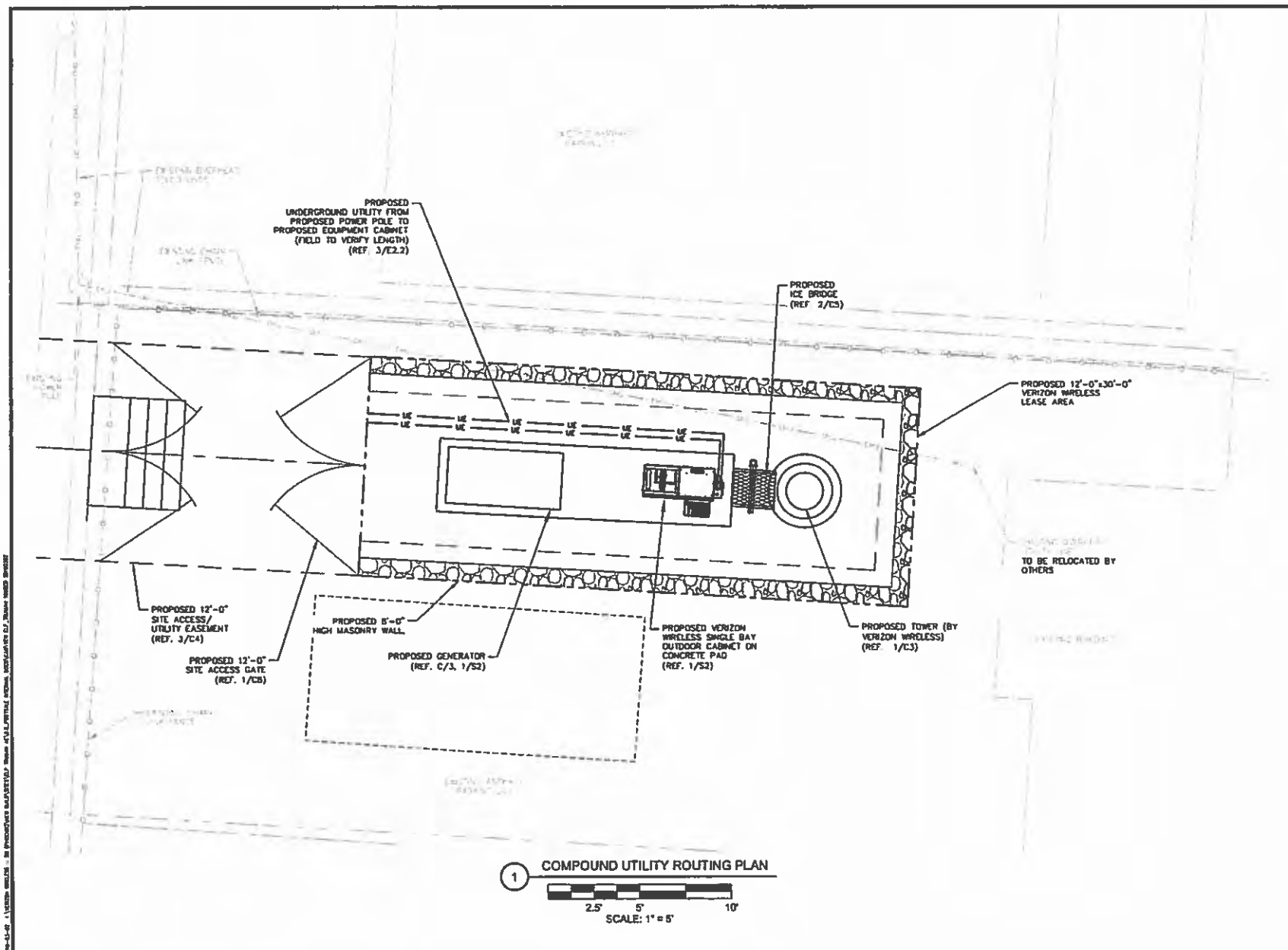
NO.	DATE	DESCRIPTION
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2	02/26/16	ZONING COMMENTS

FOUNDATION
PLANS & DETAILS

S2

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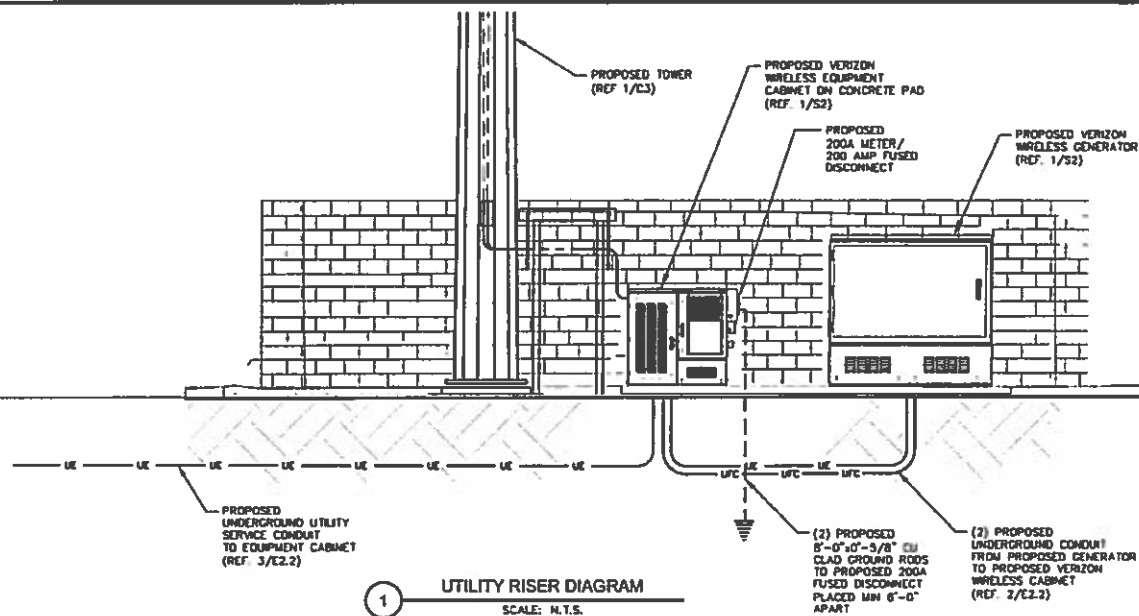
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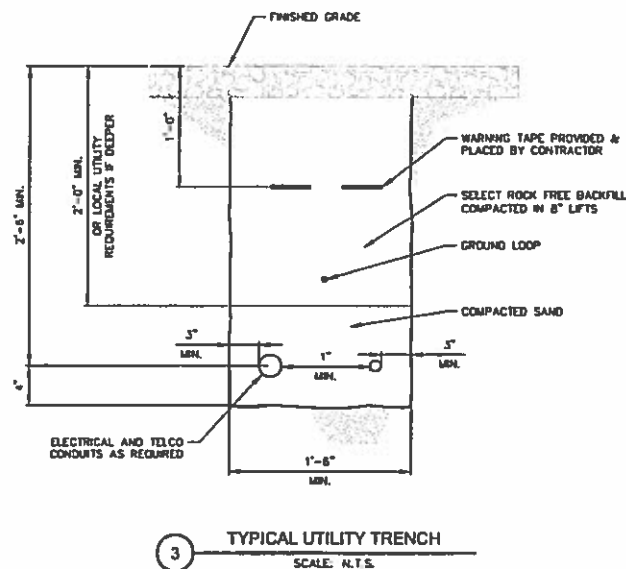
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COMPOUND
UTILITY
ROUTING PLAN

E2.1

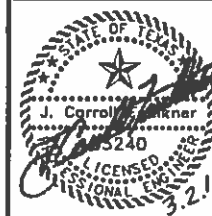


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NOTES:

1. ALL UNDERGROUND PRIMARY CABLE SHALL BE MARKED IN THE TRENCH USING MARKING TAPE PROVIDED BY UTILITY COMPANY.
2. THE MARKING TAPE SHALL BE PLACED APPROXIMATELY 12 INCHES BELOW FINISHED GRADE WHILE BACKFILLING ELECTRICAL TRENCH.
3. SELECTED BACKFILL OF ROCK-FREE SOIL SHALL BE PLACED IN 6 INCH LAYERS AT A TAPED AND EACH LAYER WELL TAMPED.
4. SCHEDULE 40 PVC MAY BE USED ON HORIZONTAL RUNS UNDER CODE SPECIFIED COVER. SCHEDULE 80 PVC MUST BE USED UNDER ROAD BED OR ANY TRAFFIC AREAS AND ON VERTICAL RUNS. CONDUIT SUPPLIED AND INSTALLED BY CONTRACTOR.
5. ALL CONDUIT BENDS SHALL BE LONG SWEEP TYPE.
6. ALL WIRES TERMINATING AT THE GENERATOR MUST BE STRANDED.



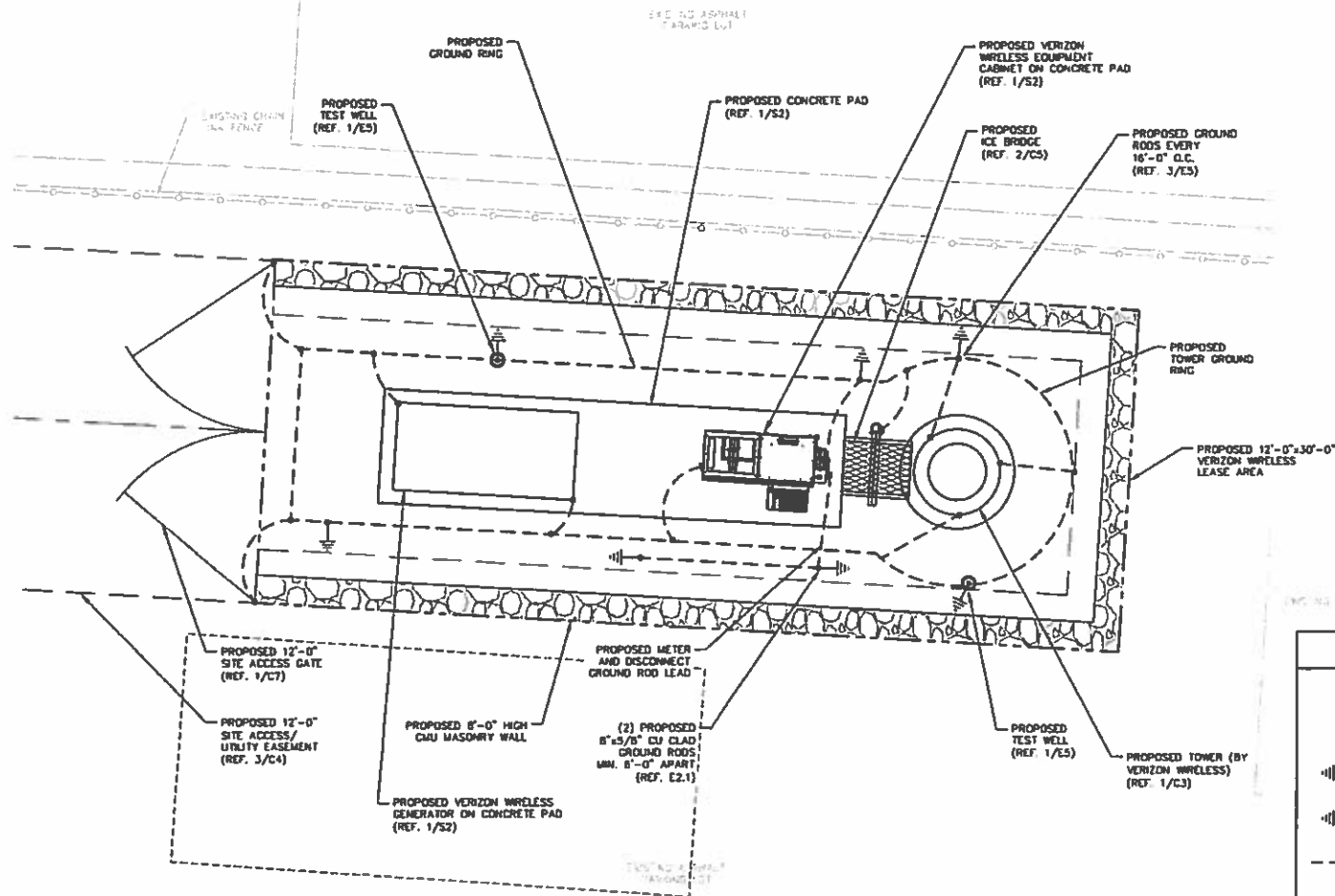
ELP - TRUMAN

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BOX CD's REVIEW	05/15/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/28/16

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UTILITY DIAGRAM & DETAILS

E2.2

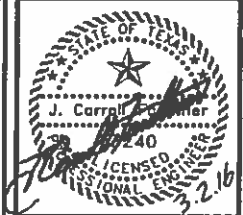


1 SITE GROUNDING PLAN & DETAILS

2.5' 5' 10'

SCALE: 1" = 5'

LEGEND	
•	EXOTHERMIC WELD
■	MECHANICAL CONNECTION
⊕	GROUND ROD WITH EXOTHERMIC WELD
⊕	GROUND ROD WITH TEST WELL
---	#2 SOLID BARE TAPPED COPPER GROUND WIRE
---	FENCE



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PO BOX 2118 FLORES
WWW.CFAMERICA.COM

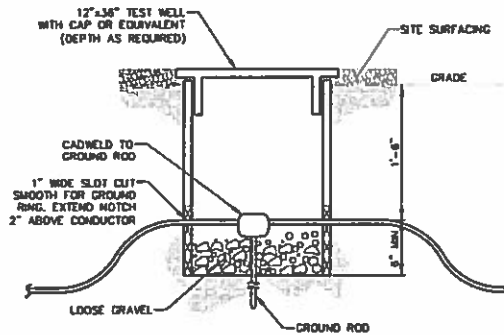
ELP - TRUMAN

SET ISSUED FOR	DATE
90% 2D REVIEW	05/06/15
90% CD REVIEW	05/15/15
CONSTRUCTION	10/30/15
REV. 0	02/01/16
REV. 1	02/19/16
REV. 2	02/26/16

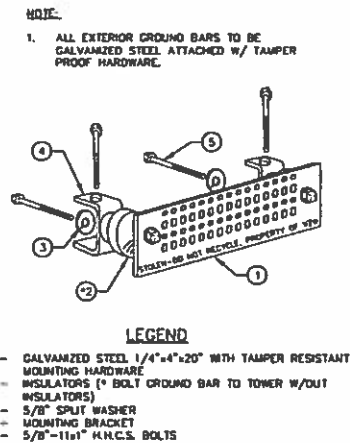
REVISIONS		
NO.	DATE	DESCRIPTION
0	02/01/16	ZONING COMMENTS
1	02/19/16	CHANGE MW TO 3" ON C11
2	02/26/16	ZONING COMMENTS

SITE GROUNDING PLAN & DETAILS

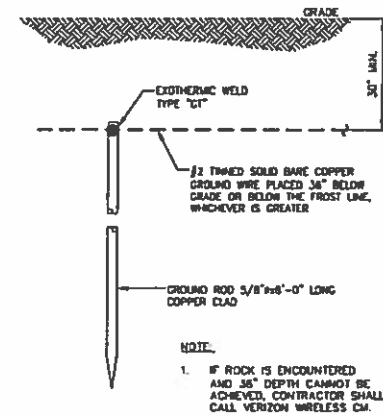
E3



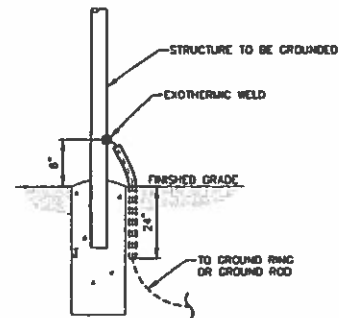
1 TEST WELL DETAIL
SCALE: N.T.S.



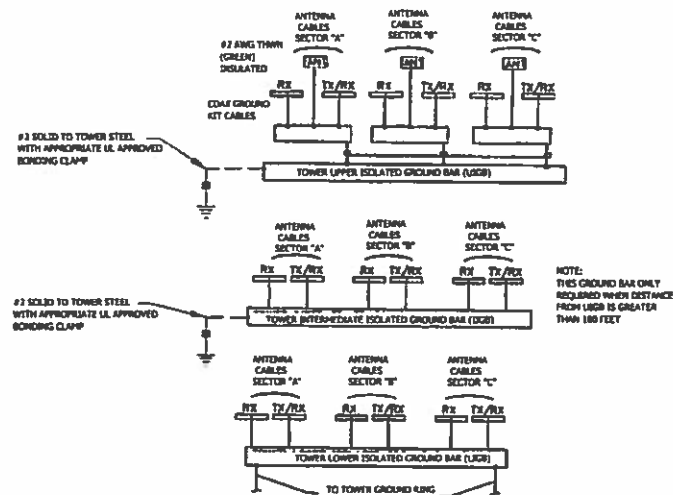
2 GROUND BAR MOUNTING DETAIL
SCALE: N.T.S.



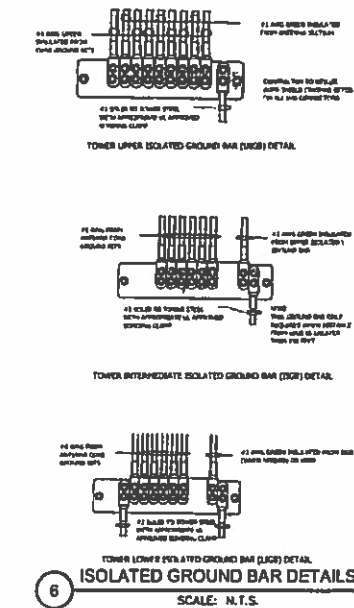
3 GROUND ROD DETAIL
SCALE: N.T.S.



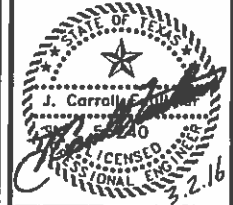
4 GROUND WIRE PROTECTION DETAIL
SCALE: N.T.S.



5 GROUNDING RISER DIAGRAM
SCALE: N.T.S.



6 ISOLATED GROUND BAR DETAILS
SCALE: N.T.S.



704 TEXAS AVENUE, SUITE A
RELAND ROCK, TEXAS 75864
P: 817.279.8000
F: 817.495.8577
PO BOX 2118 75866
WWW.CFEAMERICA.COM

verizon
ELP - TRUMAN

SET ISSUED FOR DATE
BOX 20+ REVIEW 05/06/15
BOX 20+ REVIEW 05/15/15
CONSTRUCTION 10/30/15
REV. 0 02/01/16
REV. 1 02/16/16
REV. 2 02/26/16

REVISIONS
NO. DATE DESCRIPTION
0 01/01/16 ZONING COMMENTS
1 01/16/16 CHANGE UP TO 5 ON C3.1
2 01/28/16 ZONING COMMENTS

GROUNDING
DETAILS

E5

MEMORANDUM

DATE: April 11, 2016
TO: The Honorable Mayor and City Council
Tommy Gonzalez, City Manager
FROM: Andrew Salloum, Planner
SUBJECT: PZST16-00002

The City Plan Commission (CPC), on March 10, 2016, voted 5-1 to recommend **approval** of the special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within two one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F.

The CPC found that the special permit is in conformance with Plan El Paso. The CPC also determined that the special permit protects the best interest, health, safety and welfare of the public in general; that the proposed use is compatible with adjacent land uses; and the special permit will have no effect on the natural environment, social economic conditions, and property values in the vicinity and the city as a whole.

The Planning Division received 1 phone call and one person spoke at the CPC in opposition to the special permit request.

Property Owner: Mohammed Farokhnia
Applicant: Dallas MTA, LP d/b/a Verizon Wireless
Representative: Debra Weiss, Agent, KGI Wireless

Attachments:
Minority Report
Staff Report

MEMORANDUM

DATE: April 18, 2016
TO: Mayor and City Council
FROM: Jose M. Landeros, City Plan Commission
SUBJECT: **Minority Report PZST16-00002**

As the demand for cellular service continues to expand across the nation, communities are challenged in accommodating the installation of these facilities against protecting the needs and concerns of the community's residents. While there are numerous federal standards and regulations related to personal wireless service facilities (PWSF), the authority for a local government to also regulate these facilities is very narrow. However, there are some amendments that, if adopted by Council, would allow further opportunity for the public, Commission and Council to discuss and consider additional factors whenever a PWSF requests a special permit from the City. The City Attorney's office has advised that this Commission make a recommendation to City Council to amend the current zoning regulations for personal wireless service facilities in order to take into consideration the effect this use has on the community.

As a matter of policy, the City should amend the regulating ordinance to make the standards of review consistent with other rezoning matters. Members of the public also deserve the opportunity to share these concerns and have them fully considered by the Council and Commission's decision-making process.



CC: Larry F. Nichols, Director, Planning & Inspections
Carlos Gallinar, Planning Deputy Director
Kimberly L. Forsyth, Planning Program Manager



City of El Paso – City Plan Commission Staff Report

Case No: PZST16-00002
Application Type: Special Permit and Detailed Site Development Plan Review
CPC Hearing Date: March 10, 2016
Staff Planner: Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov

Location: 4801 Dyer Street
Legal Description: A portion of Lots 1 & 2, Block 109, Morningside Heights, City of El Paso, El Paso County, Texas
Acreage: 0.008 acres
Rep District: 2
Zoning: C-4 (Commercial)
Existing Use: Motor vehicle repair, major
C/SC/SP/ZBA/LNC: None
Request: Special Permit to allow for a Personal Wireless Service Facility (PWSF) within a one-half mile distance to another PWSF
Proposed Use: Ground-mounted PWSF

Property Owner: Mohammed Farokhnia
Applicant: Dallas MTA, LP d/b/a Verizon Wireless
Representative: Debra Weiss, Agent, KGI Wireless

SURROUNDING ZONING AND LAND USE

North: C-4 (Commercial) / Pawn shop
South: C-4 (Commercial) / Limousine service
East: C-4/sp (Commercial/special permit) / Restaurant, Bar and Lounge
West: S-D (Special Development) / Vacated building

PLAN EL PASO DESIGNATION: G-2, Traditional Neighborhood (Walkable) (Central Planning Area)
NEAREST PARK: Pollard Park (1,498 feet)
NEAREST SCHOOL: Travis Elementary (1,284 feet)

NEIGHBORHOOD ASSOCIATIONS

Central Neighborhood Association
El Paso Central Business Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on February 24, 2016. The Planning Division has received a phone call in opposition to the special permit request.

APPLICATION DESCRIPTION

The applicant is requesting a special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within a one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F. The site plan shows a 360 sq. ft. lease area for a 68-foot high structure with antennas and service equipment enclosure. The antennas and support structure will be camouflaged to resemble a palm tree. The proposed PWSF meets all setback and height requirements for location in a commercial district. The applicant opted to request a landscape buyout as permitted by the landscaping ordinance for PWSF facilities. Two nearest PWSF are 0.35 miles to the southeast and is located on Tyler Avenue and 0.44 miles to the southwest and is located on Fillmore

Avenue. A maintenance access easement within a driveway is proposed from the alley via Truman Avenue.

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.10.455 PWSF, 20.04.320, Special Permit, and 20.04.150, Detailed Site Development Plan.

ANALYSIS

20.10.455 Personal Wireless Service Facility (PWSF)

F. C-3, C-4 and C-5 Commercial Districts.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:

a. Setbacks. The PWSF antenna support structure shall meet the yard standards of the district, except that a setback of one foot for each foot of height, measured from the PWSF antenna support structure base to any abutting property line of property in a residential or apartment zoning district shall be required. In the case where a right-of-way or easement separates the property from a residential zoning district, the width of such right-of-way or easement shall be included in meeting the setback requirement; provided, however, that the setback from the property line shall never be less than that required in the district yard standards.

b. Separation Between PWSF Antenna Support Structures. The minimum separation distance between ground-mounted PWSF antenna support structures shall be one-half mile, except as provided in subsection (F)(1)(c). Separation distance shall be measured by drawing or following a straight line between the base of any existing PWSF antenna support structure and the proposed base of a new PWSF antenna support structure.

c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:

- i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
- ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
- iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
- iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
- v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

The applicant has submitted proof that all 5 findings have been met, (see attachment 6).

d. Height Restriction. The PWSF antenna support structure and appurtenant antennas shall not exceed one hundred twenty-five feet in height, except as provided in subsection (F)(1)(e) or (F)(1)(f).

- e. **Modified Height Restriction.** If the applicant is collocating two or more antennas on a structure or if the structure is camouflaged, then the height for a PWSF antenna support structure and appurtenant antennas shall not exceed one hundred fifty feet.
- f. **Special Permit for Additional Height in C-3 and C-4 Commercial Districts Only.** The height for a ground-mounted PWSF antenna support structure and appurtenant antennas may be increased by city council upon approval of a special permit application, if the city council finds that:
 - i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant for a PWSF antenna support structure of the height being proposed by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
 - iii. The applicant cannot use another PWSF antenna support structure that is located such that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas; and
 - iv. Due to topographical conditions, the proposed height of the PWSF antenna support structure is reasonably necessary to enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable.
- g. **Camouflage and Screening.**
 - i. **All Ground-Mounted PWSF Shall be Camouflaged.** Camouflaging is a method of disguising or concealing the appearance of an object by changing its usual color, modifying its shape or locating it in a structure that complements the natural setting, existing and surrounding structures. In the context of this section, camouflaging, includes, but is not limited to, making PWSF antenna support structures resemble man-made trees, locating PWSF antenna support structures in bell steeples or clock towers, or on similar alternative-design mounting structures.
 - ii. **Metallic Surfaces Shall be Painted to Reduce Glare and Reflections.** No exterior paint colors shall be used which have a light reflecting value (LRV) greater than forty percent. The LRV of a paint is available from paint manufacturers and it measures the amount of light reflected by a certain color.
 - iii. Screening of antennas on PWSF antenna support structures may include the use of existing parapets, walls, or similar architectural elements provided that it is painted and texturized to integrate with the architecture of the surrounding structure.
 - iv. Landscaping shall comply with all code requirements for landscaping.
- h. **Other Requirements.** The following must accompany a request for a building permit or special permit:
 - i. A detailed plan showing the PWSF antennas support, antennas, and equipment in relation to the existing surroundings including screening, fencing, camouflage, off-street parking, and access from the PWSF antennas support site to the nearest public street;
 - ii. A verification letter that all required FAA and FCC approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant;
 - iii. Satisfactory completion of a certification of compliance for personal wireless service providers issued by the public safety technology office prior to actual use of the proposed facility accompanied by a verification letter that all required Federal Aviation Administration (FAA) and Federal Communications Commission (FCC) approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant; and
 - iv. The design of related support structures for new PWSF antenna support structures shall incorporate materials, colors, textures, screening, and camouflaging techniques that will blend them to the extent reasonably possible into the natural setting and surrounding

structures. The applicant will be required to provide photographs of predevelopment views versus post-development illustrations, at ninety-degree angles for a full three hundred sixty-degree radius, shown to scale. The building official shall review and consider any of the five items above to mitigate negative visual impacts created by the proposed PWSF antenna support structure and may require reasonable revisions necessary to bring the application into compliance with one or more of the five items above.

- i. A six-foot high screening fence or wall of other than chain-link shall be constructed around the base of an antenna support structure to provide for security. The gate which provides access to the antenna support shall remain locked at all times except when being used for access by maintenance personnel. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted after review and approval by the building official of a structural recertification report prepared and sealed by a licensed professional engineer.
- j. The access driveway and off-street parking spaces for use by maintenance vehicles shall be paved as approved by the building official.
- k. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted. A structural recertification report prepared and sealed by a licensed professional engineer shall be required, and such report shall be reviewed and approved by the building official prior to issuance of a building permit.

The application meets the requirements for PWSF.

20.04.320 Special permit approvals.

- A. Building and occupancy permits shall not be issued to any building or use identified in this title as requiring a special permit until after approval of such special permit by the city council.
- B. Building and occupancy permits shall not be issued for any building or use identified in this title as requiring an approved detailed site development plan as required by Article III, until such approval has been granted.
- C. No building or occupancy permit may be granted for the erection, rehabilitation, enlargement or demolition of any building in a designated historic area or for any building that is a designated historic landmark until prior approval has been granted by the historic landmark commission.
- D. The city council, after hearing and report by the city plan commission, may approve a special permit upon a finding that the proposed development meets the following minimum requirements necessary to protect the public health, safety and general welfare of the community:
 - 1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located; complies with any special standards applicable to the particular type of development being proposed, or to the particular area in which the development is proposed; complies with any special approvals required in connection with such development or area;
 - 2. The proposed development is in accordance with and in furtherance of the plan for El Paso, any special neighborhood plans or policies adopted by the city regarding the development area, or any approved concept plan;
 - 3. The proposed development is adequately served by and will not impose an undue burden upon the public improvements and rights-of-way by which it will be served or benefited, or which exist or are planned for installation within its boundaries or their immediate vicinity. A traffic impact study may be required to determine the effects of the proposed development on the public rights-of-way;
 - 4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development;
 - 5. The design of the proposed development mitigates substantial environmental problems;
 - 6. The proposed development provides adequate landscaping and/or screening where needed to reduce visibility to adjacent uses;
 - 7. The proposed development is compatible with adjacent structures and uses;

8. The proposed development is not materially detrimental to the enjoyment or valuation of the property adjacent to the site.
- E. The applicant may request that the city plan commission waive one or more of the criteria based on its no applicability to the proposed development. The city plan commission, upon a recommendation of the planning official, shall make a determination on the no applicability of the criteria and shall render a finding based on such determination, and shall forward their recommendation to city council for final review and approval.

The application meets the requirements for special permit.

20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Detailed Site Development Plan review is required as part of the special permit application.

20.04.150 Procedure.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.
 1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
 2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
 3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and storm water drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
 4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
 5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff has reviewed the detailed site development plan, and verified that it meets all requirements of Sections 20.04.320, Special Permit, and 20.04.150 Detailed Site Development Plan.

Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-2 – Traditional Neighborhood (Walkable): This sector includes the remainder of central El Paso as it existed through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in this Comprehensive Plan.

The purpose of the C-4 (Commercial) district is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses

characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities. Within the central business district, more intensive commercial uses are allowed, the predominant of which are retail trade and service uses, providing less restrictive height and area regulations.

COMMENTS:

Planning and Inspections Department – Planning Division - Transportation

No objections to the special permit request.

Note:

All existing / proposed paths of travel (accessible sidewalks, wheelchair access curb ramps and driveways) within public rights-of-way shall be in compliance with current ADA/TAS rules and regulations and the current City of El Paso Design Standards for Construction.

Planning and Inspections Department – Plan Review

No objections to proposed special permit.

Note:

At the time of submittal for building permits the project will need to comply with all applicable provisions of the IRC and local municipal code.

Planning and Inspections Department - Landscaping Division

No objection to proposed special permit per submitted landscape buyout letter.

Planning and Inspections Department - Land Development

1. No further objections.
2. Approval of the site plans by CPC constitutes a determination that the applicant is in compliance with the minimum provisions. Applicant is responsible for the adequacy of such plans, insuring that stormwater is in compliance with ordinances, codes, DSC, and DDM. Failure to comply may require the applicant to seek re-approval of the site plans from CPC.

Texas Department of Transportation

No permit is necessary since no work is proposed on TxDOT right of way.

Fire Department

EPFD has no objections.

Sun Metro

Sun Metro does not oppose this request. Sun Metro does have an existing bus stop serviced by Routes 32 & 35 immediately adjacent to 4831 Dyer. If there is any work to be done along Dyer that may impact this bus stop, coordination is recommended with Sun Metro Operations.

El Paso Water Utilities

EPWU does not object to this request.

Water:

There is an existing 6-inch diameter water main extending along the east side of the alley, west of Dyer Street between Truman Avenue and Lincoln Street, approximately 6-feet west of and parallel to the eastern right-of-way of the alley. This water main is available for service.

EPWU records indicate a killed water service at the subject property.

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main extending along the west side of Dyer Street, approximately 21-feet east of and parallel to the western right-of-way of Dyer Street. This sanitary sewer main is available for service.

There is an existing 8-inch diameter sanitary sewer main extending along the south side of Truman Avenue, approximately 25-feet north of and parallel to the southern right-of-way of Truman Avenue. This sanitary sewer main is available for service.

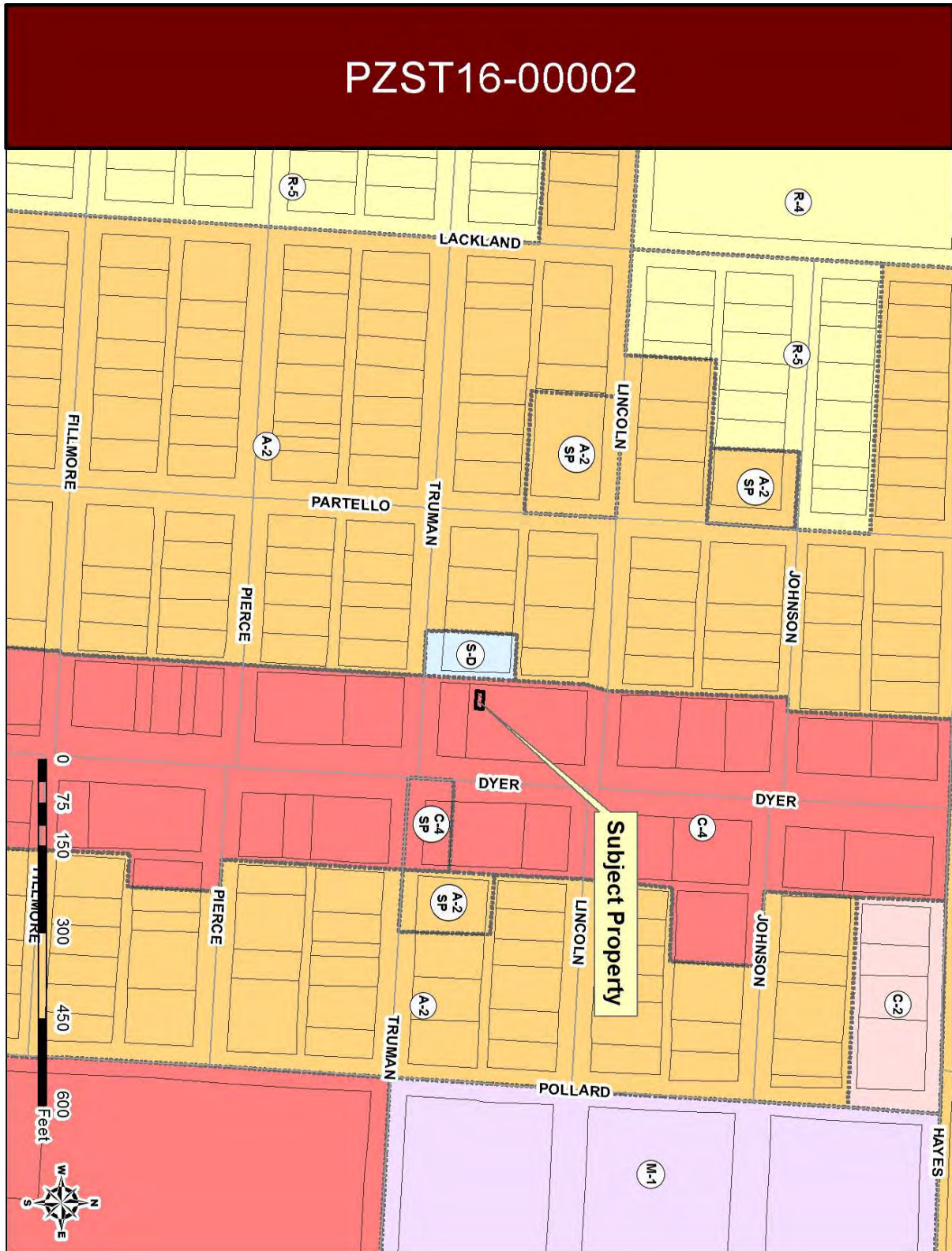
General:

EPWU requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

Attachments

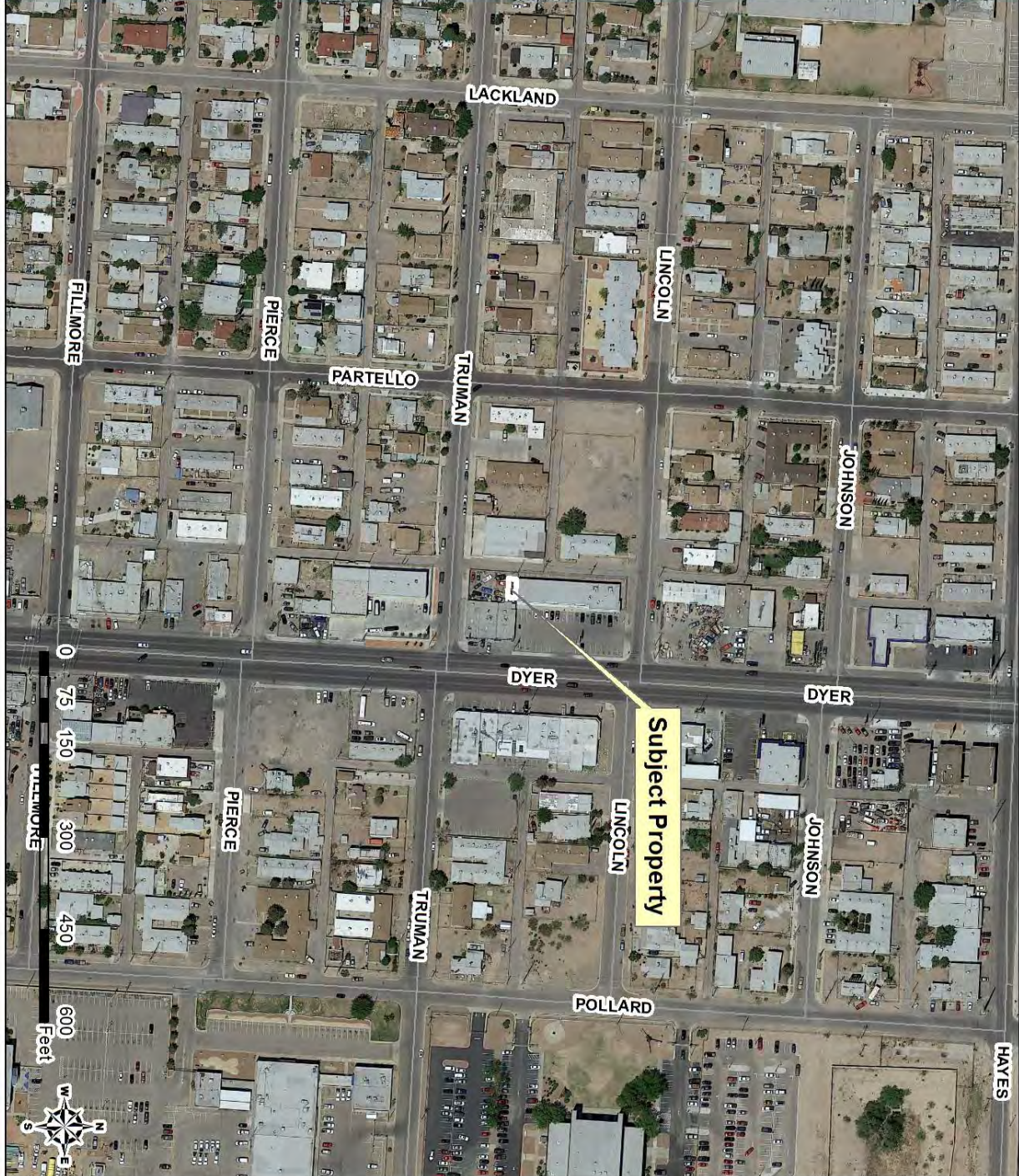
1. Zoning Map
2. Aerial Map
3. Detailed Site Development Plan
4. Simulation Pictures
5. Landscape Buyout Request
6. Findings Analysis

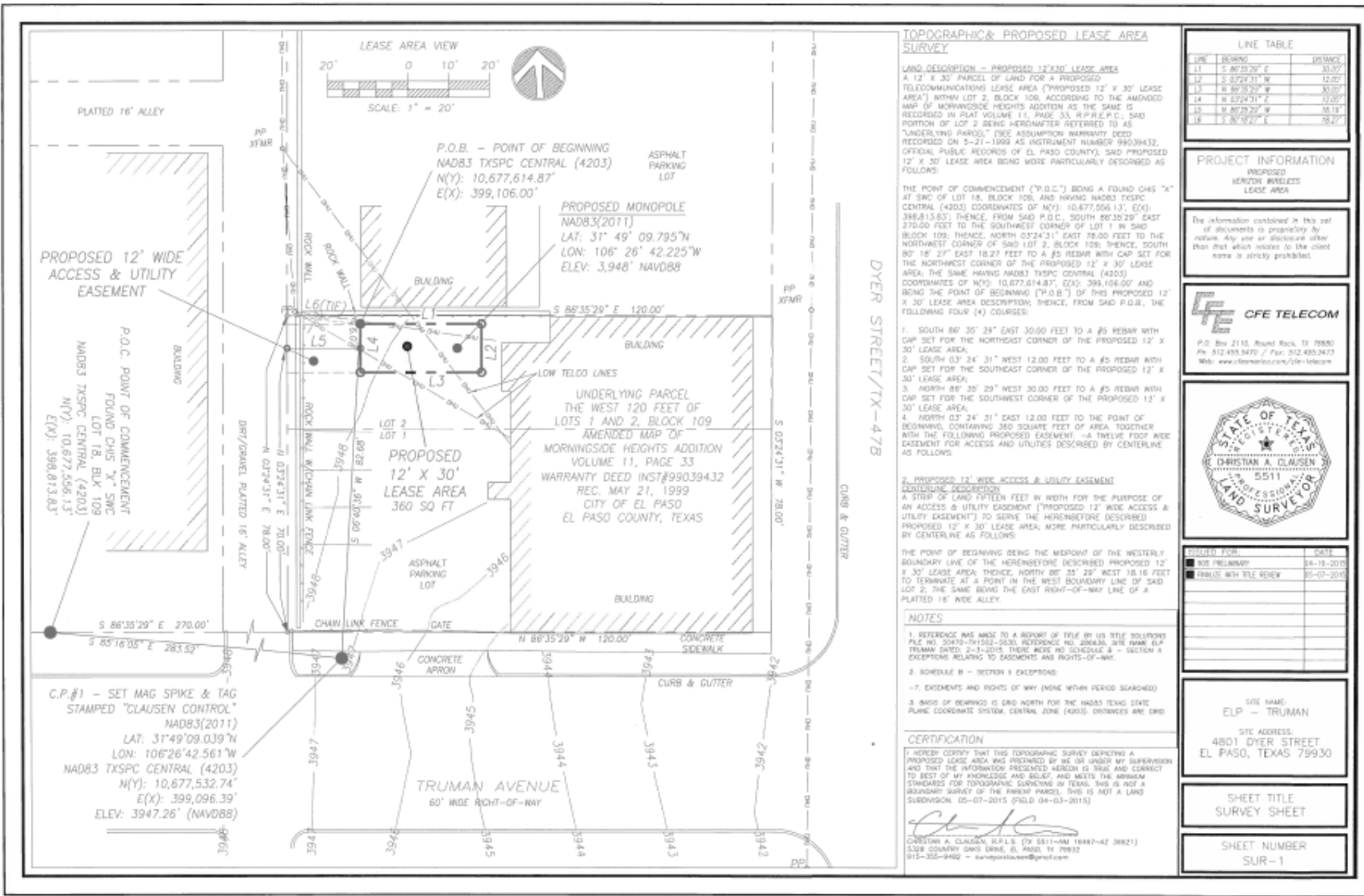
ATTACHMENT 1: ZONING MAP

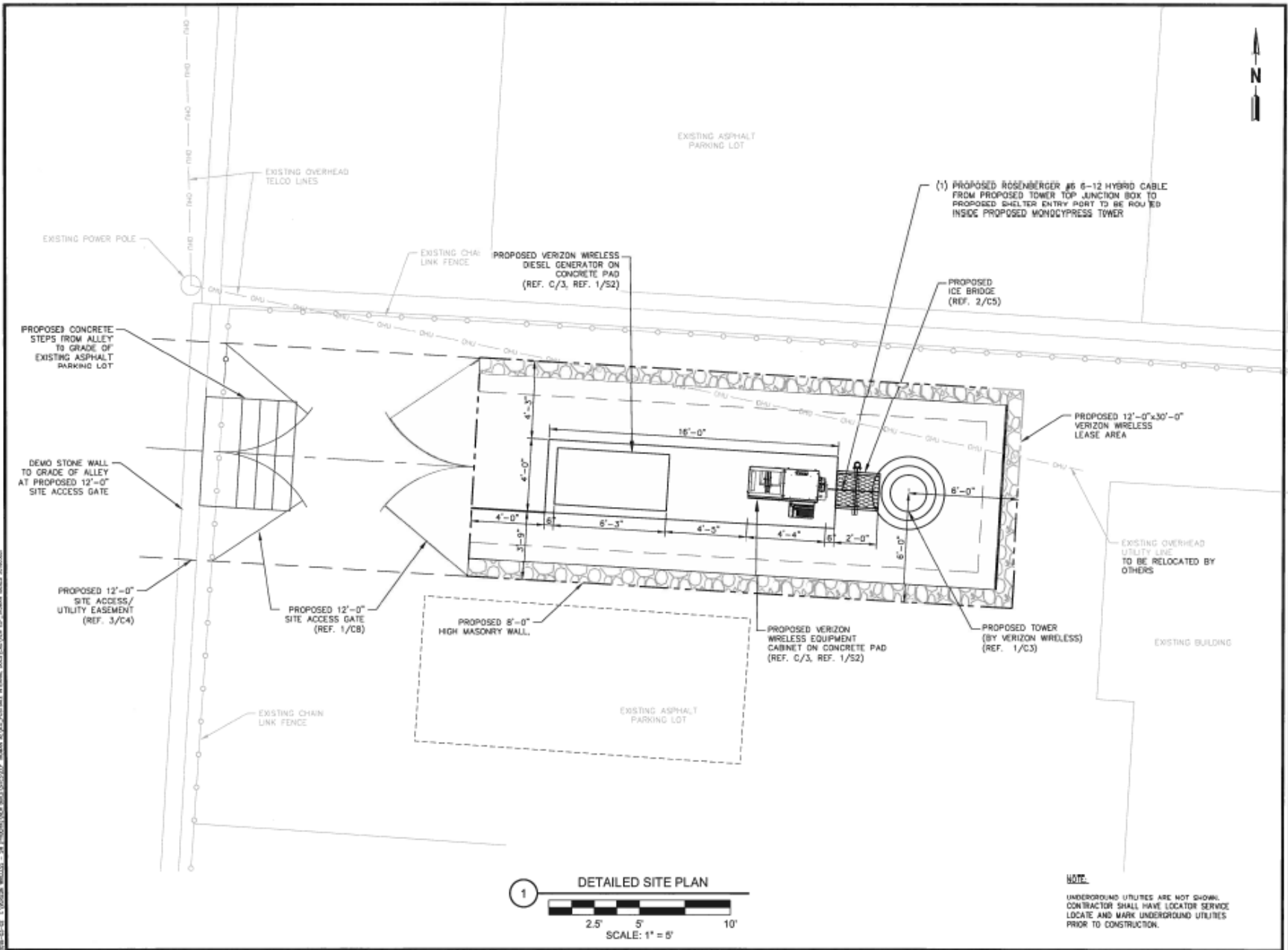


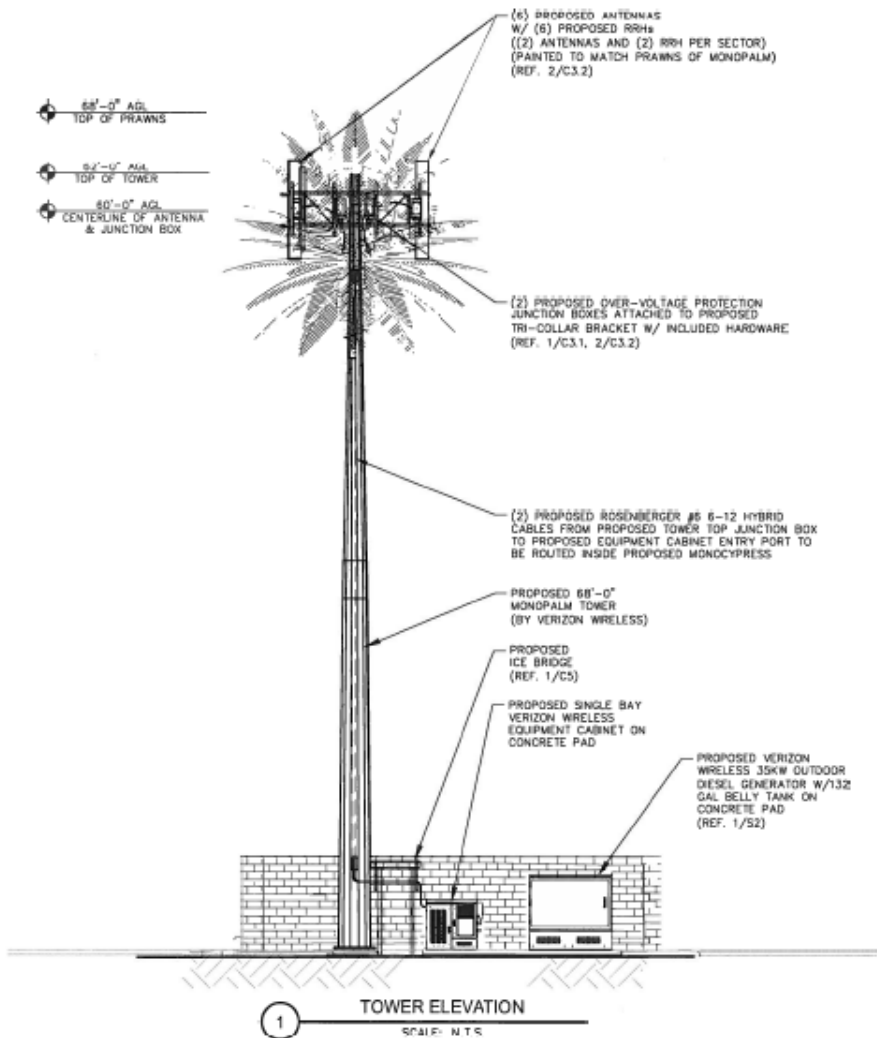
ATTACHMENT 2: AERIAL MAP

PZST16-00002



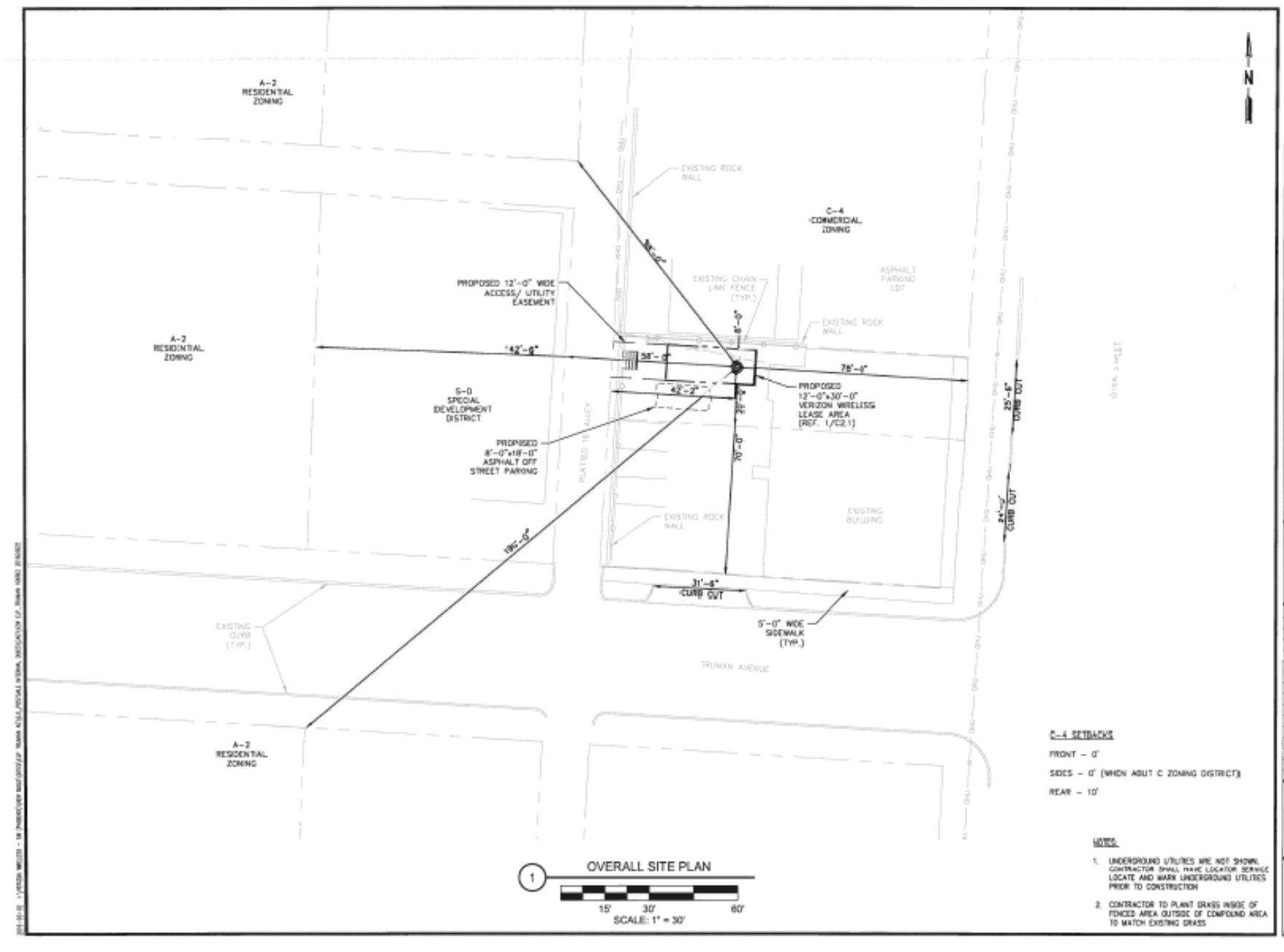






NOTES:

1. FOR DETAILED TOWER INFORMATION REFER TO TOWER ERECTION DRAWINGS BY OTHERS. TOWER SHOWN ON 1/C3 IS INTENDED TO ONLY GENERALLY REPRESENT THE TOWER.
2. ANALYSIS AND DESIGN OF THE TOWER AND FOUNDATION BY OTHERS. NO MODIFICATIONS OF TOWER SHALL BE MADE WITHOUT APPROVAL OF STRUCTURAL ENGINEER.
3. A STRUCTURAL TOWER ANALYSIS SHALL BE PERFORMED BY A LICENSED ENGINEER TO VERIFY THE ADEQUACY OF THE TOWER PRIOR TO THE INSTALLATION OF THE PROPOSED ANTENNAS AND APPURTENANCES.



ATTACHMENT 4: SIMULATION PICTURES



EXISTING



PROPOSED





ELP TRUMAN
View from East

EXISTING



ELP TRUMAN
View from East

PROPOSED



EXISTING



PROPOSED





EXISTING



PROPOSED



ATTACHMENT 5: LANDSCAPE BUYOUT REQUEST



February 9th, 2016

Jeff Howell, Senior Planner
City of El Paso Planning & Inspections
801 Texas Avenue
El Paso, TX 79901

RE: Request for Special Permit Approval
Verizon Wireless / Site ID: ELP_Truman
PID# 360648
Legal Description: 109 MORNINGSIDE HEIGHTS W120 FT OF 1 & 2 (9,360 SQ FT)
El Paso County, Texas

Dear Mr. Howell,

Verizon has chosen the one time buy out fee of \$5,000.00 for unmanned facilities under Chapter 18.46.140 for said property listed above. The one time buy out fee is in lieu of the requirement to provide 15% landscaping coverage with associated watering system on the leased portion of the subject parcel.

Verizon understands that said payment of \$5,000.00 must be provided at the same time the BP Application and the associate fees for said application are submitted to the City of El Paso.

Sincerely,

A handwritten signature in black ink, appearing to read "John Tyke", written over a horizontal line.

John Tyke
Real Estate Specialist
Verizon Southwest Region
Mobile (480) 220-3298
John.Tyke2@VerizonWireless.com

ATTACHMENT 6: FINDINGS ANALYSIS

20.10.455 - Personal wireless service facilities.

F. C-3, C-4 and C-5 Commercial Districts.

1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:
 - c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:
 - i) The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

Response: Verizon Wireless looked at the existing 75' monopole structure/tower owned by SBA, approximately .35 miles Southeast at 4062 Tyler Avenue. Its current elevation base is at 3,924'. Verizon would need to co-locate at 55'. The total height (CL) for this location would be 3,979, which is too low to meet Verizon's requirement.

In addition, the current SBA location is too close to an existing Verizon site ELP_FORT BLVD (.3 miles South) and would cause interference.

Verizon Wireless looked at the existing 75' monopole structure/tower owned by Crown Castle, approximately .44 miles Southwest at 3500 Fillmore. Its current elevation

Base is at 4,041. Verizon would need to co-locate at 55'. The total height (CL) for this

location would be 4,096, which is too high to meet Verizon's requirement.

In addition, the current Crown Castle location is too close to an existing Verizon site

ELP_NEWMAN PARK (.8 miles East) and would cause interference. Furthermore,

the Crown Castle site is located in an area with minimal traffic, and will not offload

any capacity through the area of need.

The proposed 68' Stealth Monopole located at 4801 Dyer Street, has an elevation base of 3,948,

with the CL at 60', which would give Verizon 4,008'. This location is a CAPACITY SITE will allow

Verizon to serve high volume users located around Fort Bliss Housing and base communications.

as well as the Fort Bliss Housing to the North.

- ii) *The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;*

Response: Verizon's RF engineers investigated all options within this 1/2 mile area and found the site at 4801 Dyer Street the best in terms of it being technically feasible and with a commercially feasible lease.

- iii) *The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;*

Response: Colocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

- iv) The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

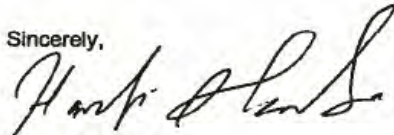
Response: Collocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

- v) The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

Response: The attached map Exhibit A, ELP Truman Existing Towers, shows the existing SBA and Crown Castle sites and the proposed 68' Stealth Monopalm site needed by Verizon in order to provide CAPACITY coverage to the FORT BLISS Housing and Base community and the local commuting traffic.

Sincerely,



Hamdi K Alaaldin

Verizon Wireless

RF Engineer

480-752-7245

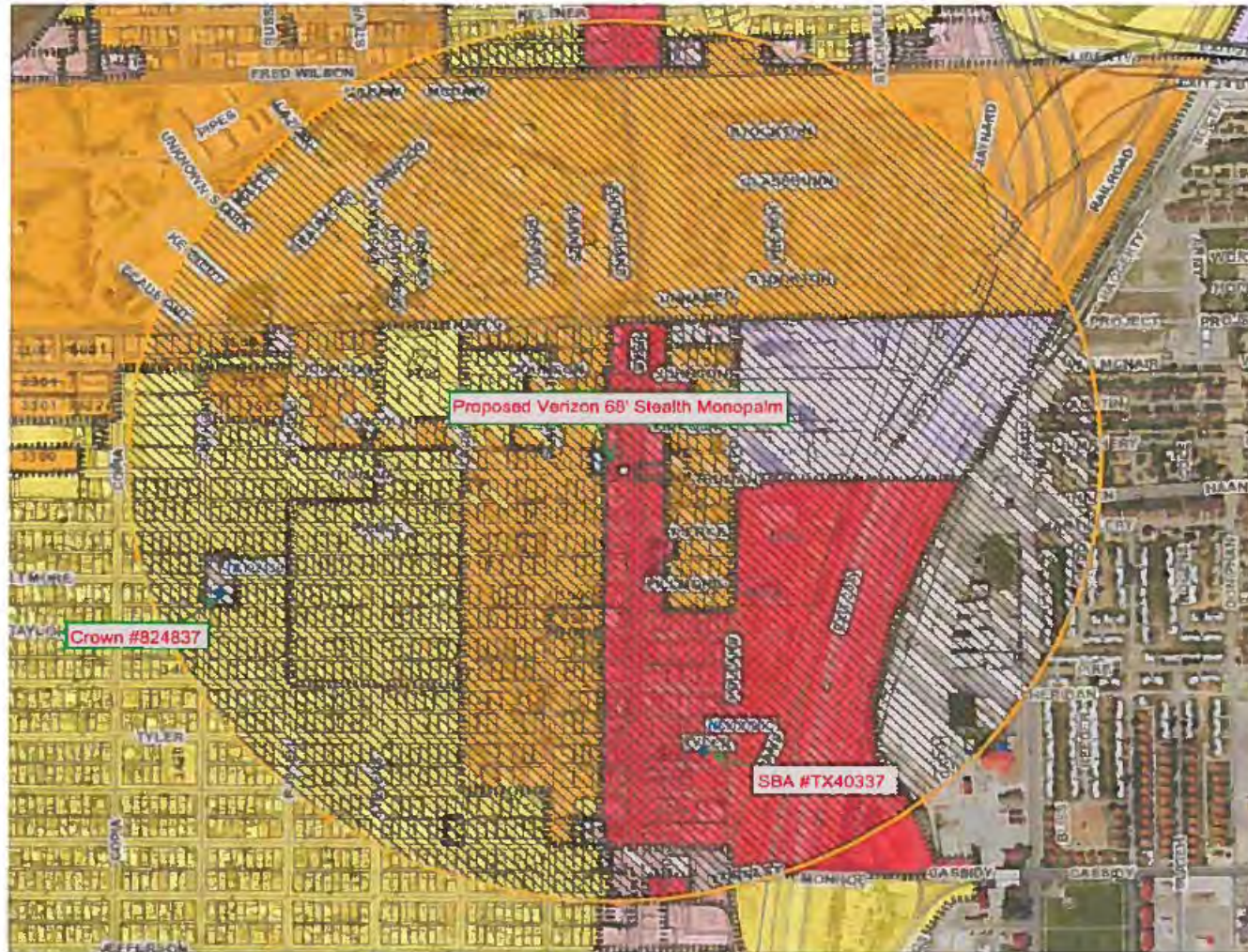
"EXHIBIT A"

Verizon ELP_Truman

Existing Towers within ½ Mile Radius

#1 – SBA Site ID# TX40337 ** .35 Miles SE (NM02090C) ** 4062 Tyler Ave

#2 – Crown Site ID# 824837 ** .44 Miles SW (NM02436A) ** 3500 Fillmore





Recommendation/Public Input

- **Planning Division recommendation:** Approval
- **CPC Vote:** Approval Recommendation (5-1)
- **Public Input:** The Planning Division received one phone call and one person spoke at the CPC in opposition to the special permit request.

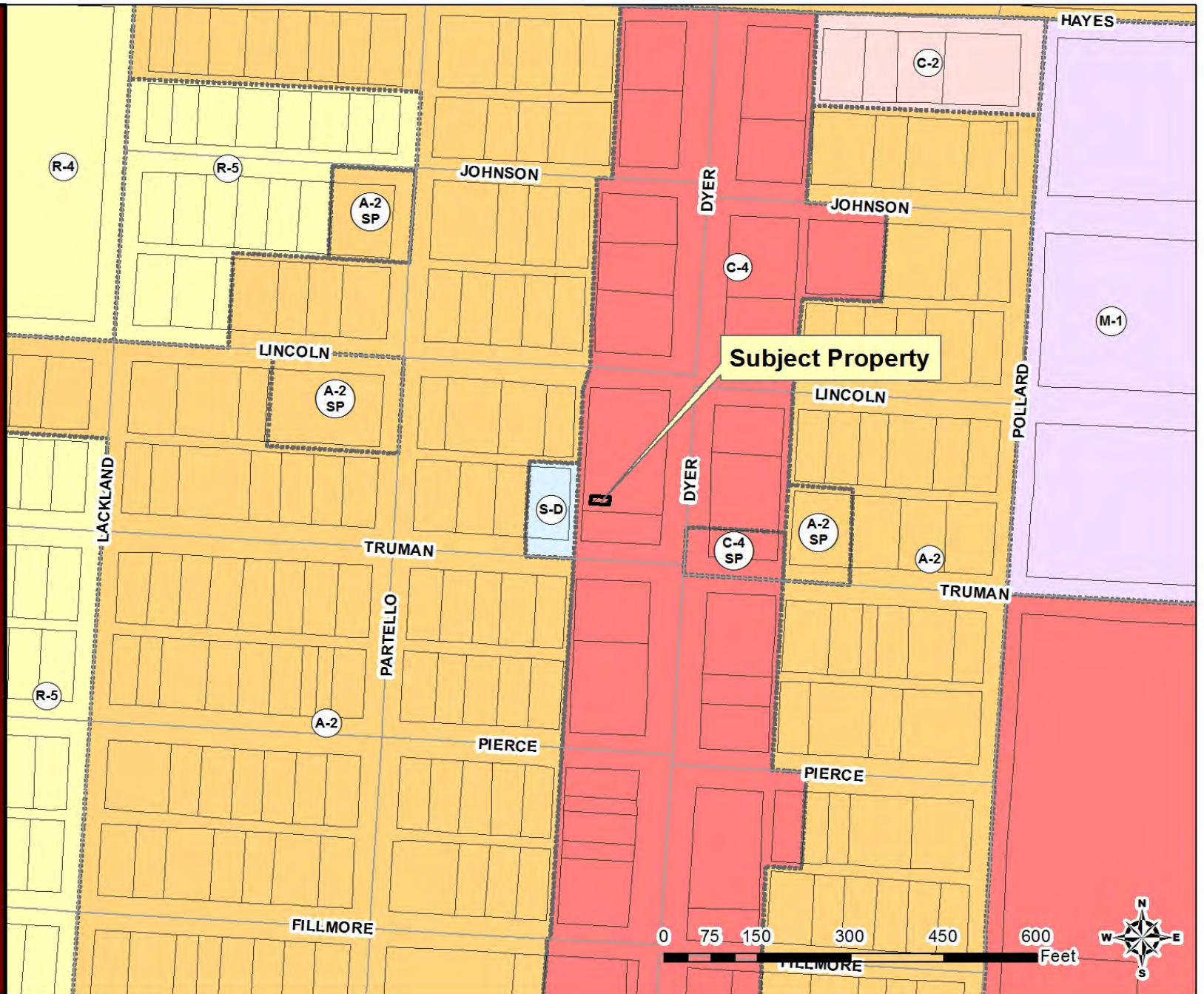
Strategic Goal #3 Promote the Visual Image of El Paso

3.1 Provide business friendly permitting and inspection processes

3.2 Improve the visual impression of the community

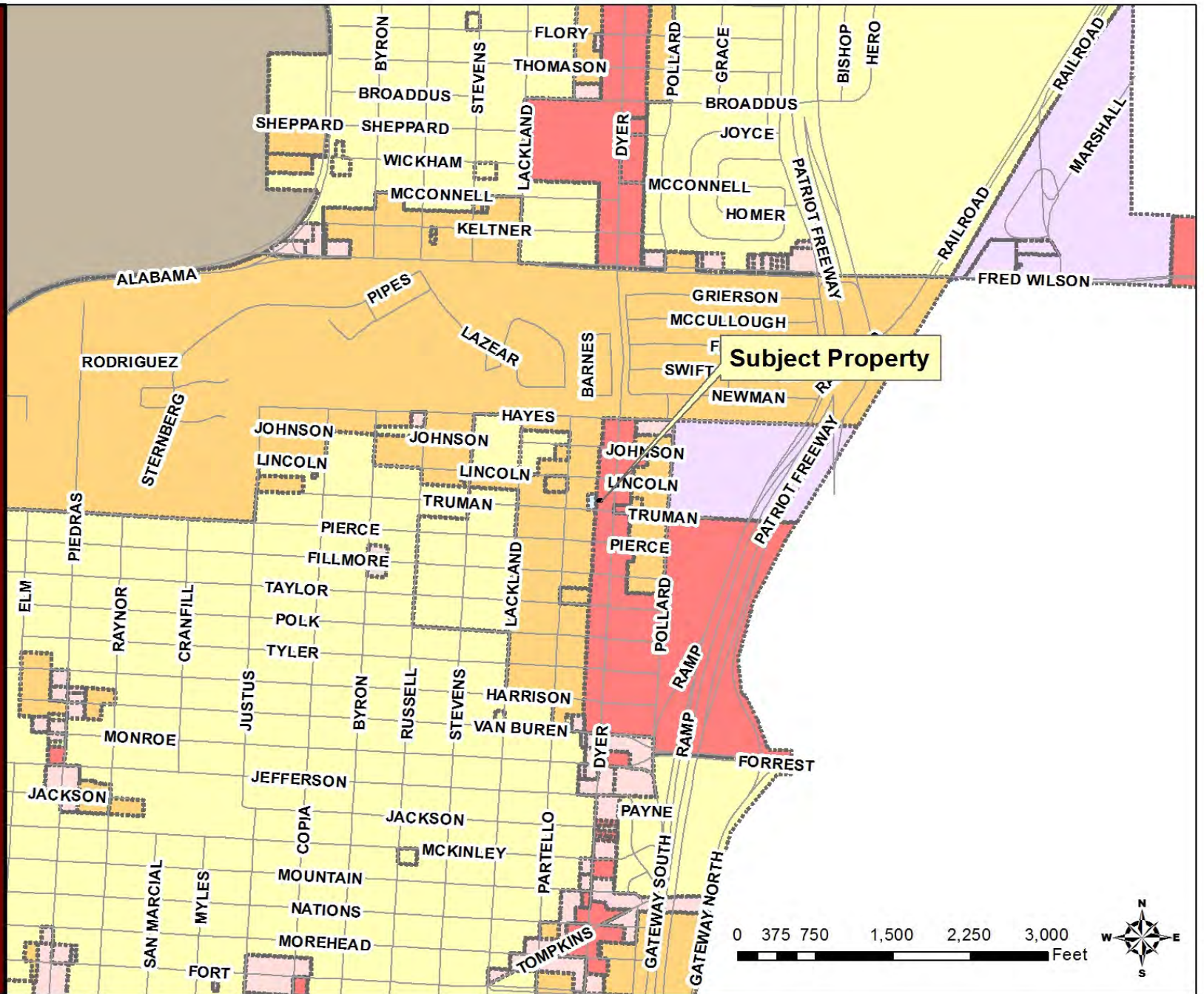
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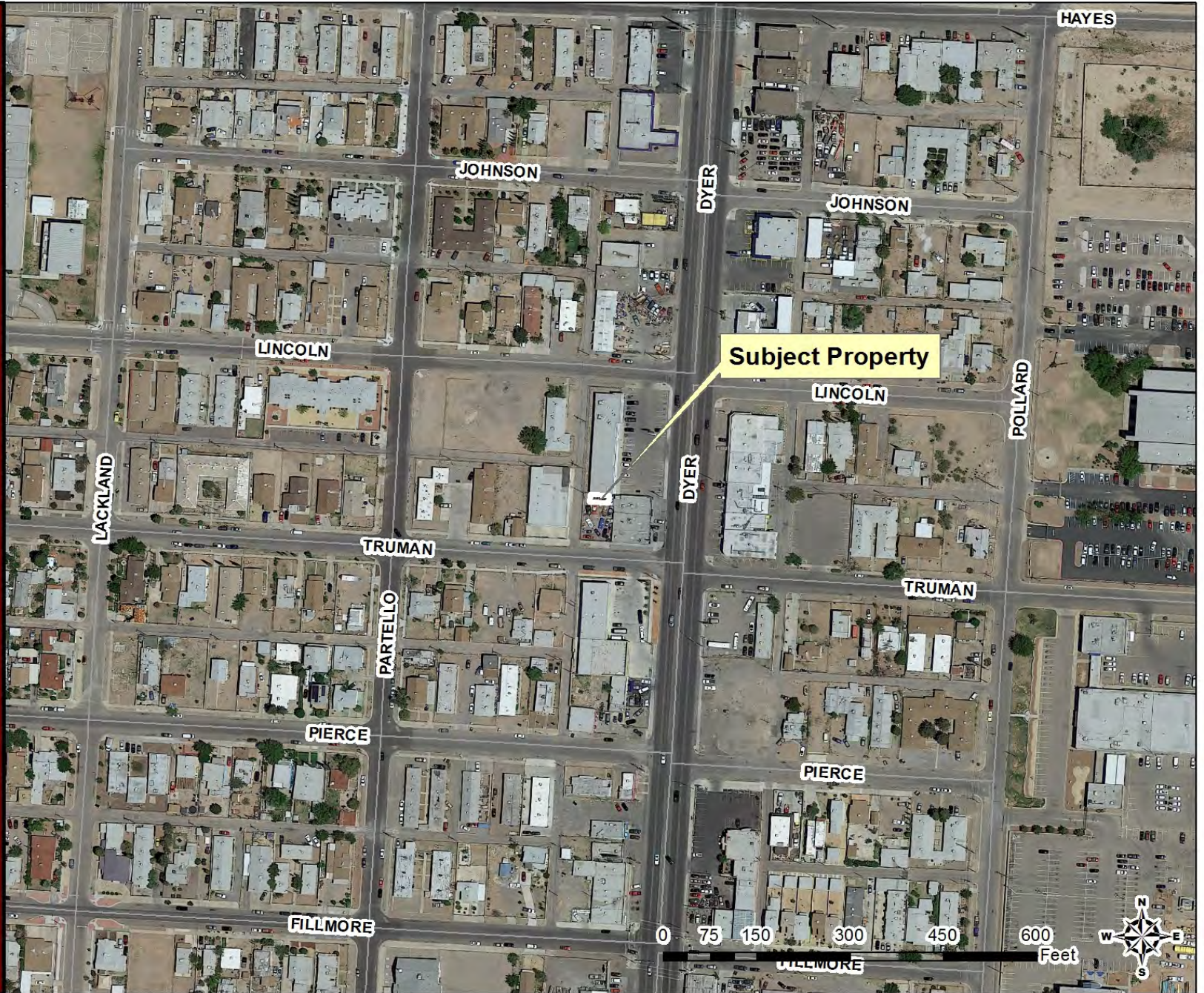
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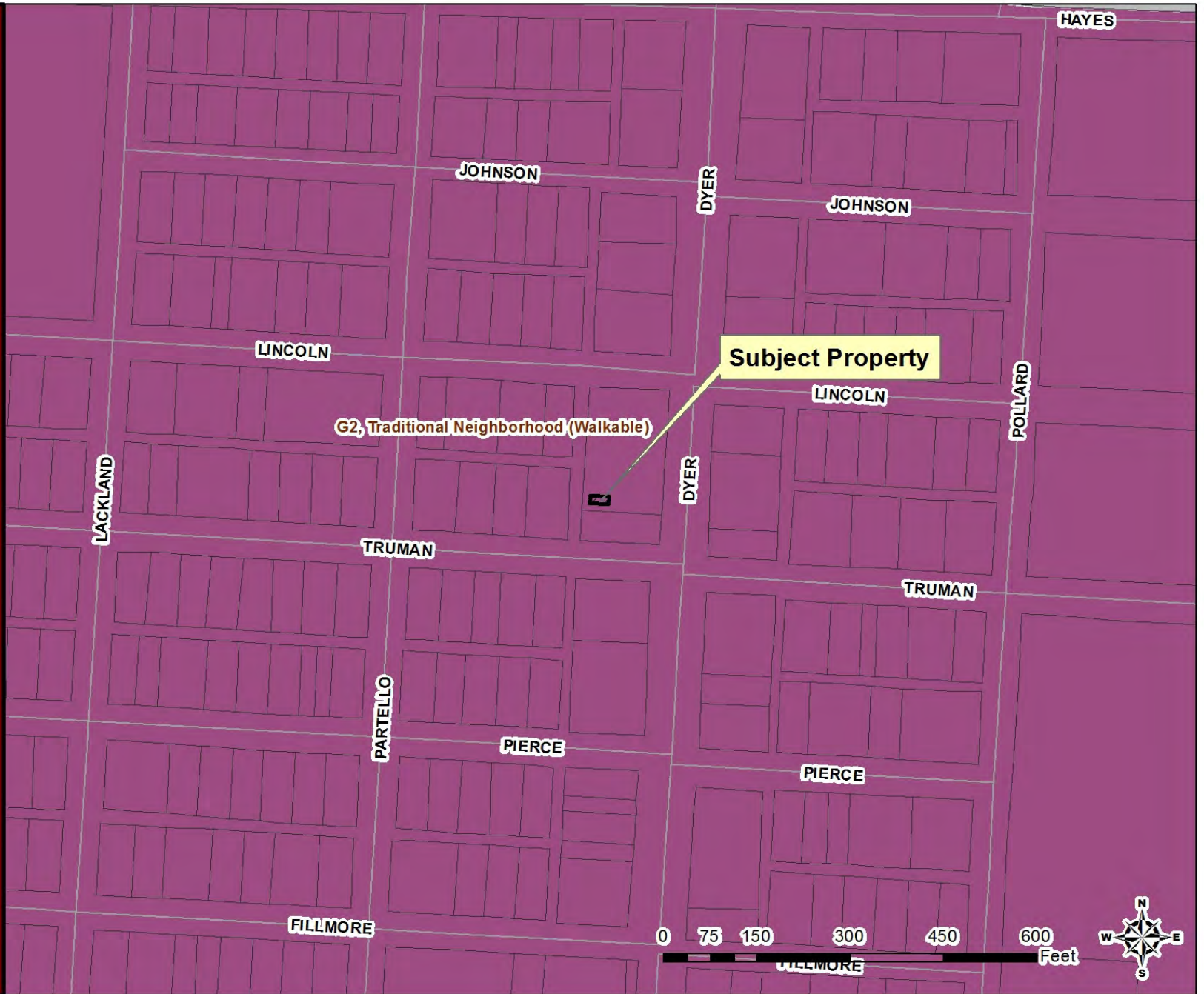
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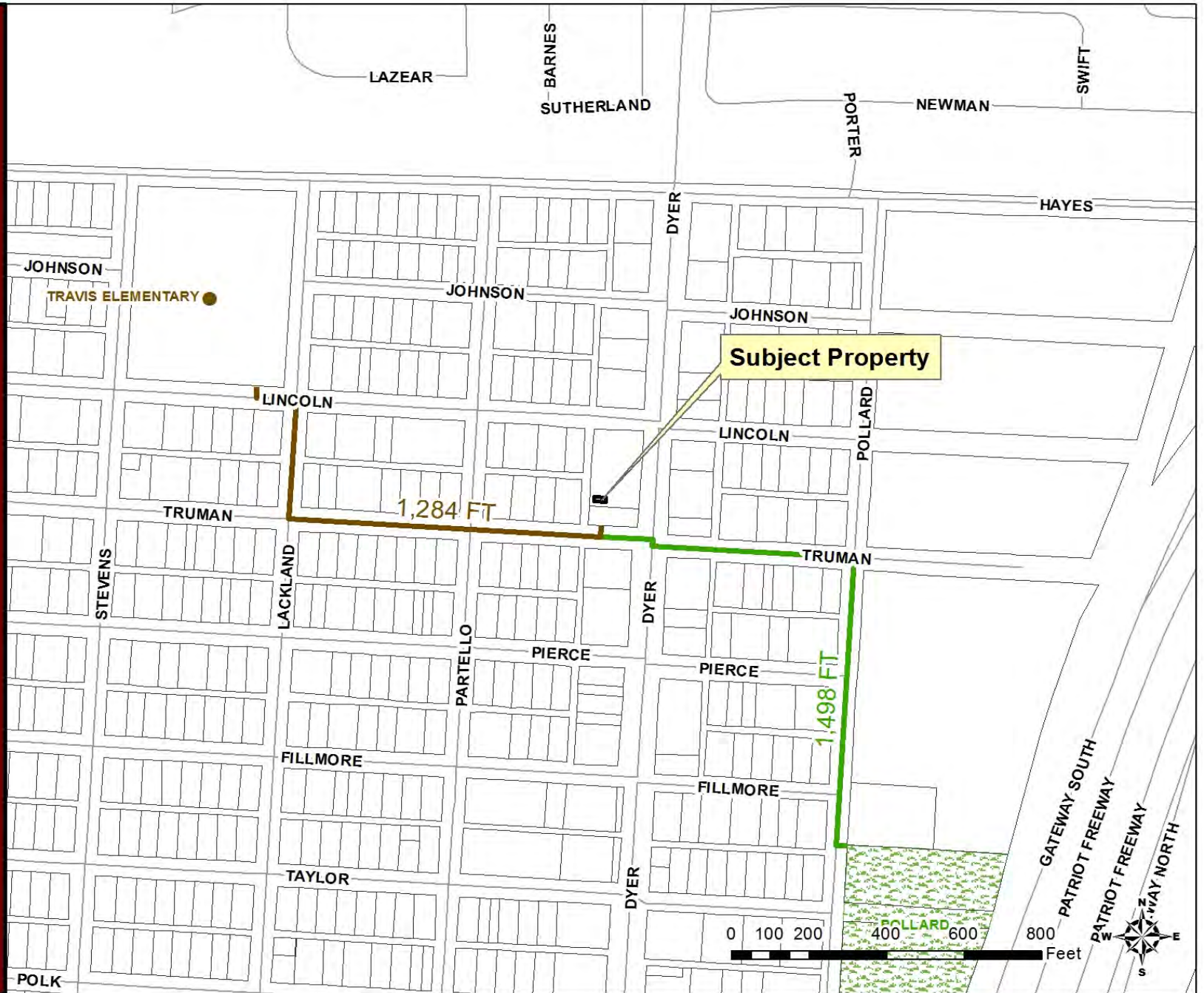
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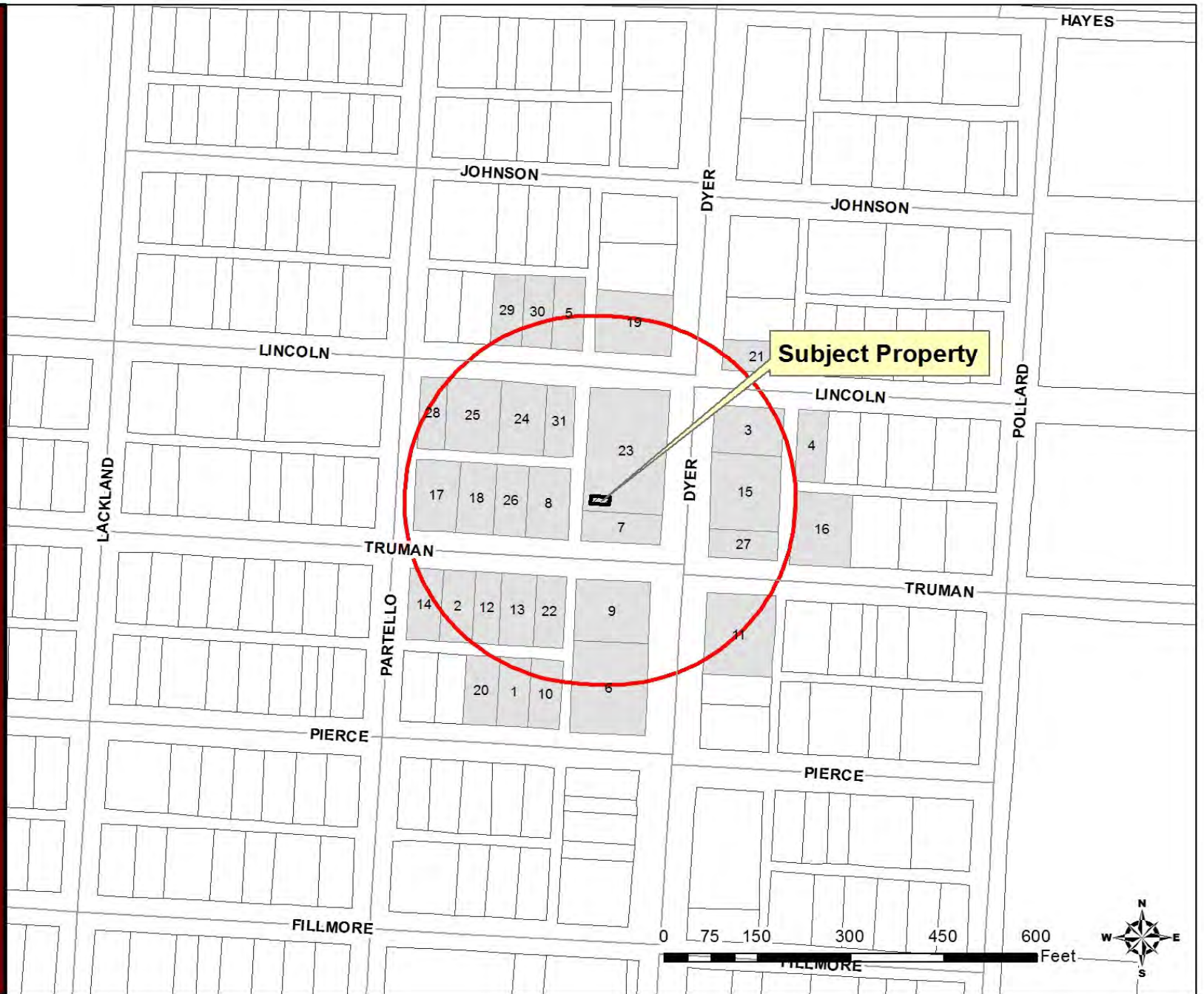
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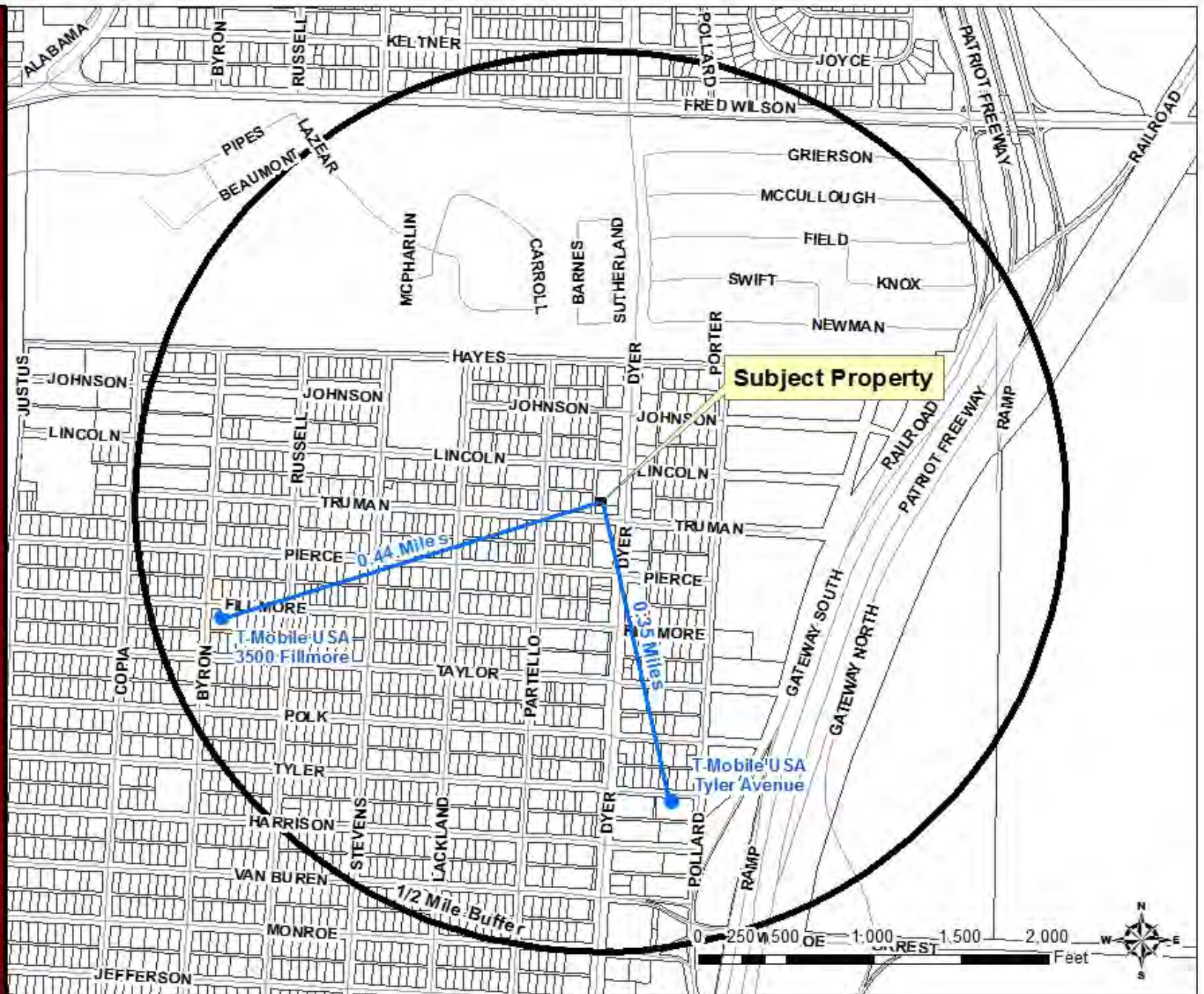
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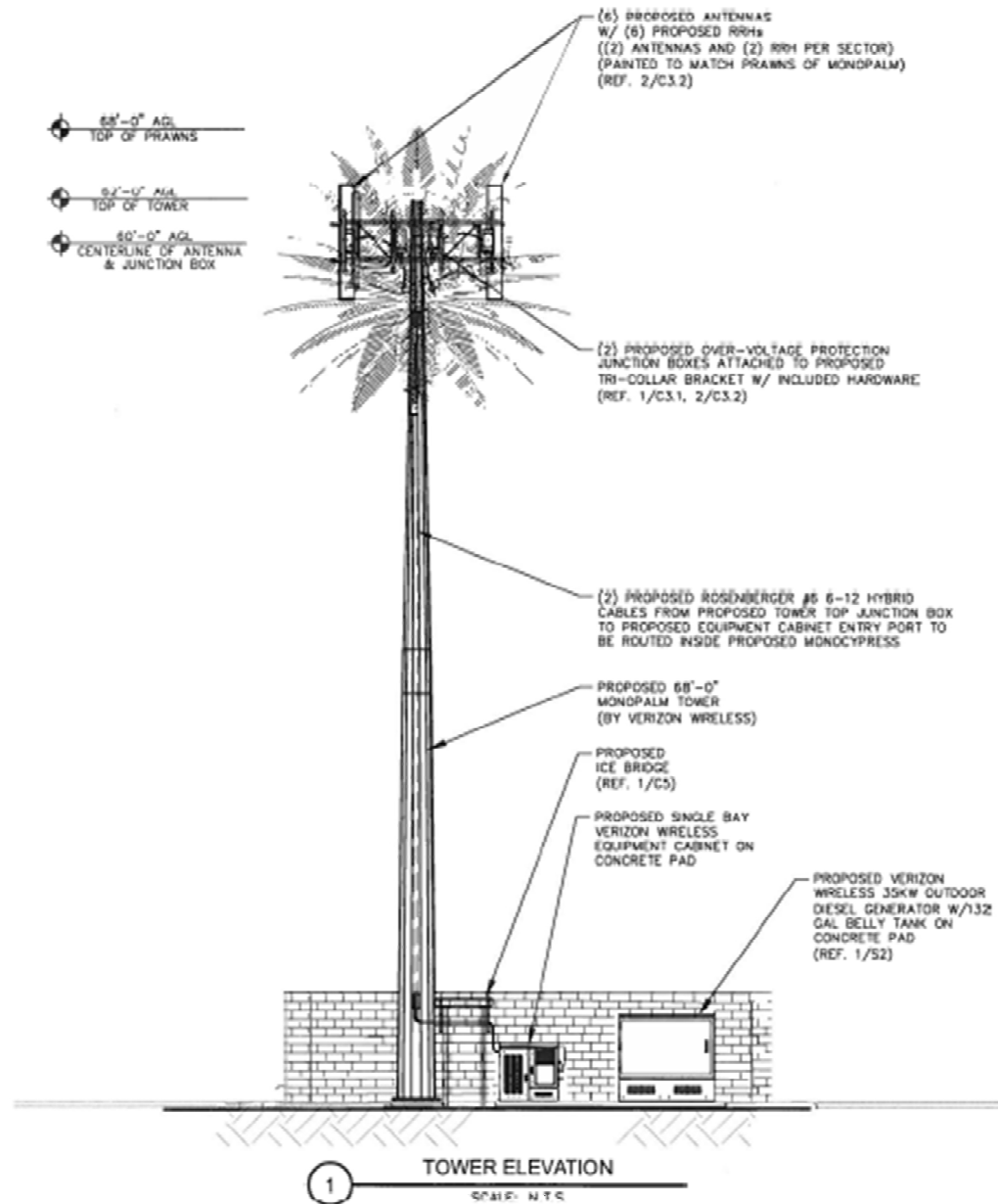
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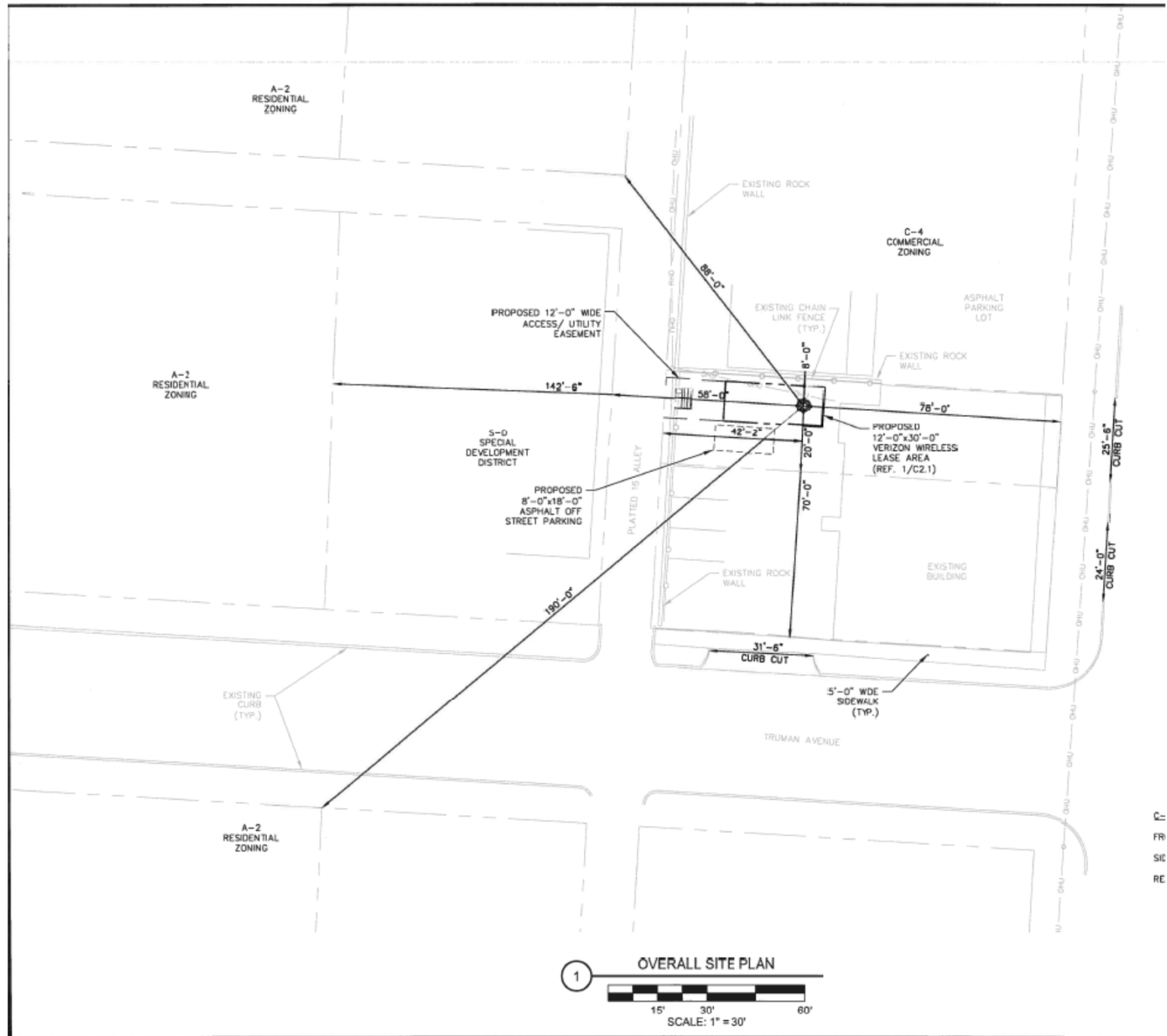


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ELP TRUMAN
View from North

EXISTING





ELP TRUMAN
View from North

PROPOSED



15



ELP TRUMAN
View from East

EXISTING





ELP TRUMAN
View from East

PROPOSED





ELPT RUMAN
View from South

EXISTING



18



ELP TRUMAN
View from South

PROPOSED



19



ELP TRUMAN
View from West

EXISTING





ELP TRUMAN
View from West

PROPOSED



21



Subject
Property





Subject
Property /
Alley



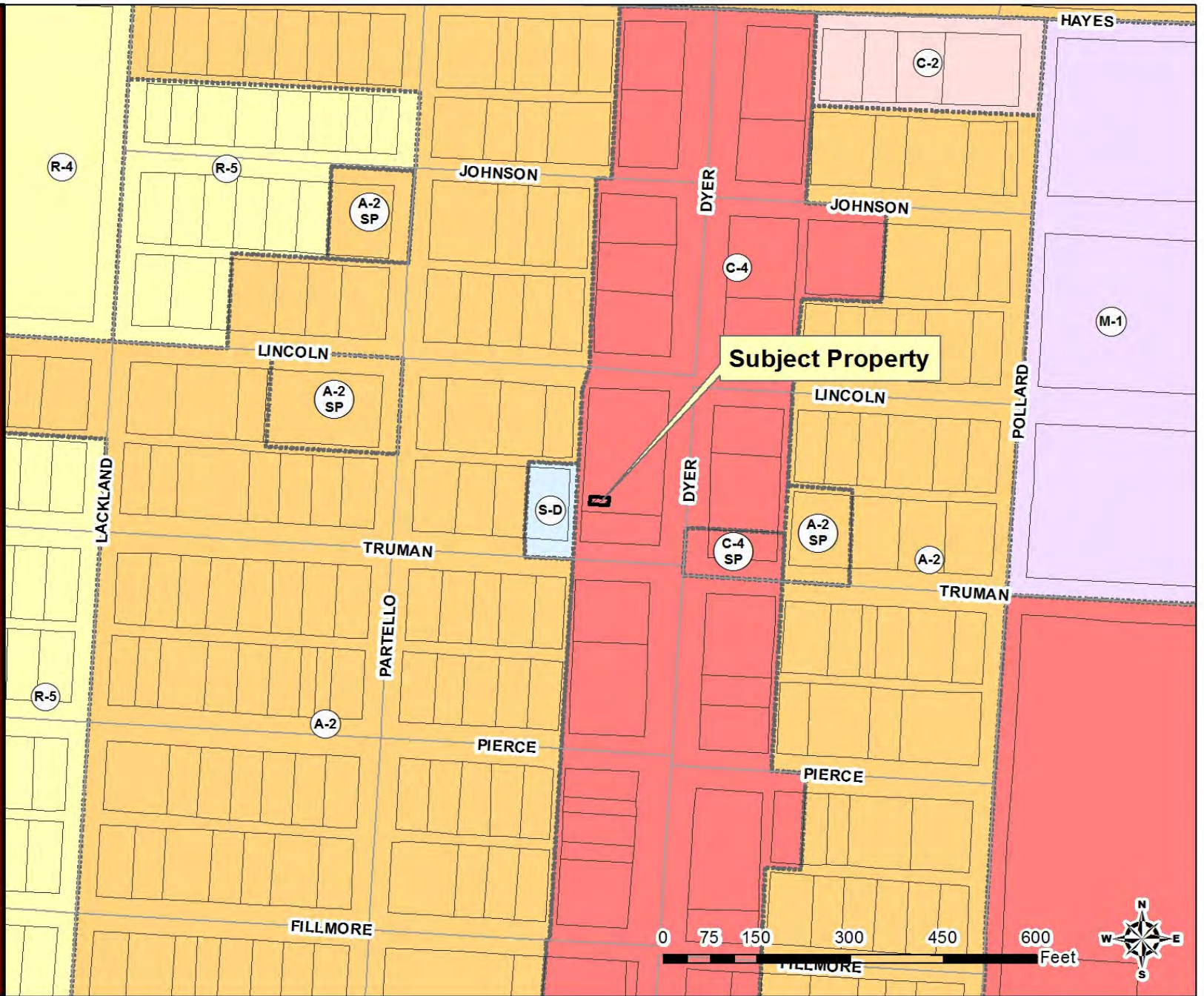






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