# CITY OF EL PASO, TEXAS AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM

**DEPARTMENT:** Planning and Inspections Department, Planning Division **AGENDA DATE: Introduction: April 19, 2016** Public Hearing: May 17, 2016 **CONTACT PERSON/PHONE:** Larry Nichols, (915) 212-1550, nicholslf@elpasotexas.gov Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov **DISTRICT(S) AFFECTED: 2 SUBJECT:** An Ordinance granting Special Permit No. PZST16-00002, to allow for a Ground-mounted 68' Personal Wireless Service Facility on the property described as a portion of Lots 1 and 2, Block 109, Morningside Heights, 4801 Dyer Street, City of El Paso, El Paso County, Texas, Pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 4801 Dyer Street. Property Owner: Mohammed Farokhnia. PZST16-00002 (District 2) **BACKGROUND / DISCUSSION:** On March 10, 2016, the CPC reviewed and recommended approval of the special permit request. PRIOR COUNCIL ACTION: There is no prior City Council action on this special permit application. AMOUNT AND SOURCE OF FUNDING: **BOARD / COMMISSION ACTION:** City Plan Commission (CPC) – Approval Recommendation (5-1). **FINANCE:** (if required) N/A **LEGAL:** (if required) N/A **DEPARTMENT HEAD:** Larry F. Nichols Director, Planning and Inspection Department APPROVED FOR AGENDA: CITY MANAGER: \_\_\_\_\_ **DATE:** \_\_\_\_\_

# **ORDINANCE**

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST16-00002, TO ALLOW FOR A GROUND-MOUTED 68' PERSONAL WIRELESS SERVICE FACILITY ON THE PROPERTY DESCRIBED AS A PORTION OF LOTS 1 AND 2, BLOCK 109, MORNINGSIDE HEIGHTS, 4801 DYER STREET, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Mohammed Farokhnia property owner and Dallas MTA, LP d/d/a Verizon Wireless have applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for the construction and installation of a ground-mounted Personal Wireless Service Facility (PWSF) that is 68 foot tall and camouflaged as a palm tree; and

WHEREAS, the Section 20.10.455 allows for a ground-mounted personal wireless service facility by Special Permit; and

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and

WHEREAS, the City Plan Commission has recommended approval of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320 of the El Paso City Code.

# NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

- 1. That the property described as follows, is in a C-4 (Commerical) Zone District: Portion of Lots 1 and 2, Block 109, Morningside Heights, 4801Dyer Street, City of El Paso, El Paso County, Texas; and as more particularly described be metes and bounds on the attached Exhibit "A"; and
- 2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a ground-mounted 68-foot tall personal wireless service facility on the property described in Paragraph 1 of this Ordinance; and

- 3. Furthermore, the City Council makes the following findings to reduce below one-half mile the minimum separation distance between ground-mounted PWSF antenna support structures:
  - i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
  - ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
  - iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
  - iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
  - v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.
- 4. That this Special Permit is issued subject to the development standards in C-4
  (Commerical) District regulations and is subject to the approved Detailed Site
  Development Plan signed by the Property Owner and the Applicant, the City Manager
  and the Executive Secretary to the City Plan Commission. A copy of this plan is attached
  hereto as Exhibit "B" and is incorporated herein by reference for all purposes; and
- 5. That if at any time the Property Owner or Applicant fail to comply with any of the requirements of this Ordinance, **Special Permit No. PZST16-00002** shall be subject to termination; construction or occupancy shall be discontinued; and the Property Owner or Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal equitable remedy; and

requirements of this	s Ordinance. Such tor and the Execu	ant shall sign an Agreement incorporating the Agreement shall be signed and filled with the tive Secretary to the City Plan Commission before
ADOPTED this	day of	, 2016.
		THE CITY OF EL PASO
		Oscar Leeser Mayor
ATTEST:		
Richarda Duffy Momsen City Clerk		
APPROVED AS TO FOI	RM:	APPROVED AS TO CONTENT:
Karla M. Nieman Assistant City Attorney		Larry F. Nichols, Director Planning & Inspections Department

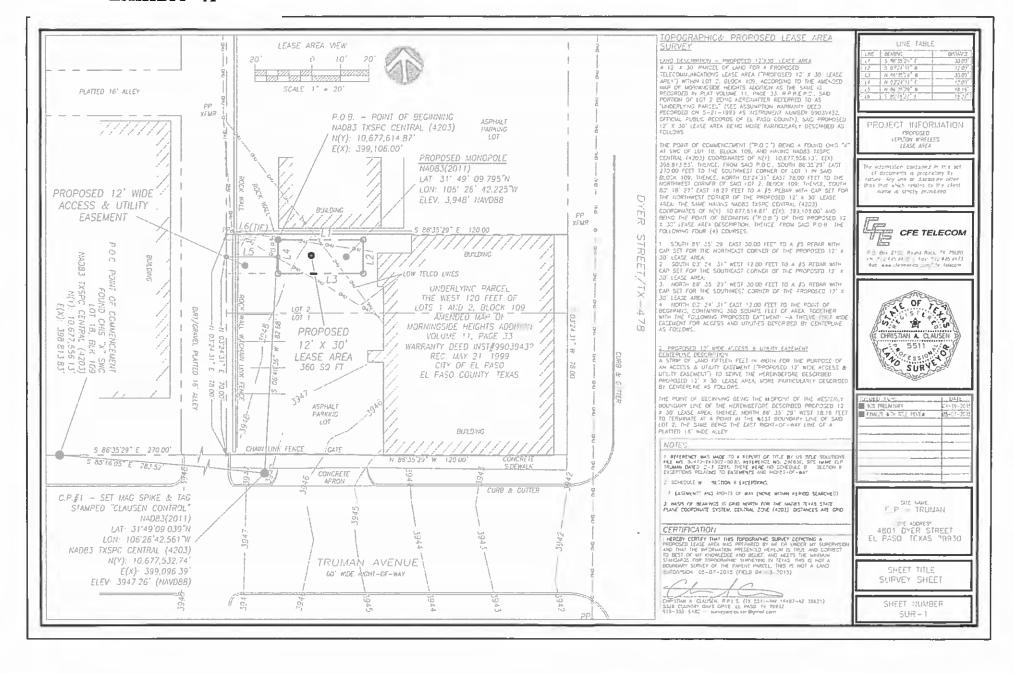
Mohammed Farokhnia (Property Owner), and Dallas MTA, LP d/b/a Verizon Wireless referred to in the above Resolution, hereby agree to develop the above-described property in accordance with the approved Detailed Site Development Plan attached to same Resolution, and in accordance with the standards identified in the C-4 (Commercial) District regulations, and subject to all other requirements set forth in this Resolution.

EXECUTED this day of	, 2016.
<u> </u>	
	By: Mohammed Faroknia/Property Owner
	Mohammed Faroknia/Property Owner
	(signature)
	(Signature)
ACKNOWL	EDGMENT
THE STATE OF TEXAS )	
)	
COUNTY OF EL PASO )	
mit 1 1 1 1 1 C	
This instrument is acknowledged before me on the	
2016, by, as _	for
Mohammed Farokhnia, as owner.	
My Commission Expires:	
	Notary Public, State of Texas
	Notary's Printed or Typed Name:
	By:
	By:Authorized Representative
	Dallas MTA, LP d/b/a/ Verizon Wireless
	( '
	(signature and title)

# **ACKNOWLEDGMENT**

THE STATE OF TEXAS )	
COUNTY OF EL PASO )	
This instrument is acknowledged before me on this	s day of,
2016, by, as	for <b>Dallas</b>
MTA, LP d/b/a Verizon Wireless.	
My Commission Expires:	
	Notary Public, State of Texas
	Notary's Printed or Typed Name:

# **EXHIBIT "A"**



PROJECT TEAM PROJECT DATA			SCOPE OF WORK	-333	4111
CFE CONTACT  CFE TELECOM CONTACT: SCHURAL RIVERA COUNTY COCUPANCT: COCC.	ROKHNIA SPRINGS DR AS 79912	verizon	CONSTRUCTION OF PROPOSED ANTENNAS AND RADIO EDUPMENT ON A PROPOSED 62-0" VERZON WRELESS MONOPALA TORNEY (OPENAL ROBORT 88-0" AGJ, ALONG WITH PROPOSED RADIO EDUPMENT IN PROPOSED EDUPMENT CARRET.  SHEET INDEX  TI TITLE SHEET GNI GENERAL NOTES C1 CIVIL NOTES SUR1 SITE SURVEY C2 OVERALL SITE PLAN	F. 512	AAO OF THE PARTY AS CONTRACT OF THE PARTY AS
ENGINEER  OF TELECOM CONTACT: J. CARROLL FAULKNER, PE 204 TEXAS AVE SURE A ROUND ROCK, TEXAS 78564  PHONE: 512.278.5950  FAX: 512.852.7888  SURVEYOR CLAUSDI LAND SURVEYING CONTACT: CHRSTian CLAUSEN, R.P.L.S. 5128 COUNTRY DAYS DRIVE EL. PASO, TX 79932  PHONE: 915.335.9492	SS PRIVE	ELP - TRUMAN NEW BUILD - RAW LAND	C2.1 DETAILED SITE PLAN C3.1 TOWER ELEVATION C3.1: RF INFORMATION C3.2 ANTENNA PLAN C3.3 ANTENNA PLAN C4 CONSTRUCTION DETAILS C5 ICE BRIDGE DETAILS C5.1 ENTRY PORT DETAILS C6 SIGN DETAILS C7 MASONRY WALL DETAILS C8 CHAIN LINK GATE DETAIL S1 STRUCTURAL NOTES S2 FOUNDATION PLANS A DETAILS E1 ELECTRICAL & GROUNDING NOTES E2 SITE UTILITY ROUTING PLAN C3.1 TOWER PLAN C5.1 COMPOUND UTILITY ROUTING PLAN C6.1 TOWER PLAN C6.1 TOWER PLAN C6.1 TOWER PLAN C6.2 TOWER PLAN C6.3 TOWER PLAN C6.3 TOWER PLAN C6.3 TOWER PLAN C6.4 TOWER PLAN C6.5 TOWER PLA	rizon	- TRUMAN
LEGAL PARCEL NUMBERALEGAL DESCRIPTION  LEGAL PARCEL NUMBERALEGAL DESCRIPTION  UNDORLYING PARCEL THE WEST 120 FEET OF LOTS 1 AND 2 BLOCK 109, AND-DIG MAP OF MONNMESSOC HEDATS ADDITION  VOLINE 11, PAGE 31 MARQUARY DEED DEST/99030423  RCC. MAY 21, 1999 CITY OF EL PASO EL PASO COUNTY, TEXAS  DRIVING DIRECTIONS  FROM EL PASO MITL ARPORT: TAKE ARPORT RD N TOWARDS LIBERTY EXPY/BOT		SITE LOCATION EL PASO EL PASO COUNTY, TEXAS  SITE ADDRESS 4801 DYER STREET	E2.2 UTILITY DIAGRAM & DETAILS E2.3 ELECTRICAL ONE LINE DIAGRAM E3 SITE GROUNDING PLAN & DETAILS E4 GROUNDING SYSTEM DIAGRAMS E5 GROUNDING DETAILS  ATTACHMENTS	SET ISSUED FOR YOU ZO REVER CONSTRUCTION REV 0	DATE 05/05/15 05/05/15 05/30/15 02/07/16
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	Production of the second of th	SITE LOCATION	APPROVALS  VORZON WARLESS PROJECT MANAGER  VORZON WARLESS RF ENGINEER  DATE  Landlord Approved  Date	7 13/19/18 Grand 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Z (MT D 3 ON CL)

### DIVISION 1 STANDARD PROVISIONS PART I GENERAL

- BESS SPECIFICATIONS AND THE CONSTRUCTION DRAWNESS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONG AND THE MATERIALS TO BE FURBISHED FOR THE CONSTRUCTION OF THIS PROJECT.
- B. THE DEALMICS AND SPECIFICATIONS ARE INTROOD TO BE FALLY EXPLANATORY AND SUPPLEMENTALY, HOWEVER, SHOULD ANYTHING BE SHOWN, HOLGATED OR SPECIFED ON DIE AND HOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, MIDCATED OR SECOND IN HOLD.
- THE WHENTON OF THESE DOCUMENTS IS TO INCLIDE ALL LABOR AND MATERIALS REASONART MCCESSARY FOR THE PROPER EXCENTION AND COMPLETION OF THE WORK AS STRULATED IN THE CONTRACT.
- be purpose of the specifications is to interpret the intent of the drammes and to designate the method of the procedure, type and quality of matchals recomed to complete the more. D
- MMOR DEVATIONS FROM THE DESIGN LAYELIS ARE AMBIEPATED AND SHALL BE CONSIDERED AS PART OF THE MORE, MID ONANCES THAT ALTER THE CHARACTER OF THE MORE HALL BE MADE OR PROMITTED INFORMIT ISSUING A CHARACTER OF CAPACITY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VEHICLATION OF ALL MEASUREMENTS AT THE STIFE BOTTORS OMEDISMO ANY MADERAL BODGE ANY MORE, NO EXTRA CHARGE OF COMPINS AND SHALL BE ALGORISM LIKE TO REPRESENCE REPORTED AND DEBUSIONS SHALLED ON THE CONSTRUCTION OF SHARESS, ANY SUCK DESCRIPTION OF PROJECTIONS, MOST ANY SUCK DESCRIPTION OF SHARESS, AND SHARESS

ALL MATERIALS MIST BE STORED IN A LEVEL AND DRY FASHON AND IN A MANNER THAT DOES NOT RECESSARLY CRESTRICT THE FLOW OF DIRECT MORE, ANY STORAGE METHOD MIST MEET ALL RECOMMENDADORS OF THE ASSOCIATION MANNERTHEM.

- RE CONTRACTOR SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCIDANTATION OF WASTE MATCHASS OR REGISTAL CAUSED BY HIS EMPLIFIEDS AT BOOK AND AT DECOMPLISMO OF THE BOOK, HE SHALL REGISTAL REGISTAL AND ABOUT THE BUILDING AND ACCUSED AND ACCUSED AND FROM THE TOTAL SCAFFOLDING, AND SUPPLIS MATERIALS AND SHALL TRACK HIS BOOK CLEAN AND REALY FOR THE
- B. EXTERIOR: VISUALLY INSPECT EXITINGS SUPFACES AND REMOVE ALL TRACES OF SOIL, MASTE MATERIALS, SMILDOES AND OTHER FOREIGN MATTER.
- C. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
- IF NECESSARY TO ACHEVE A UNIFORM DECREE OF CLEARINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE. a

### 15 CHALITY ASSURANCE

ALL MERK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL RECALABORS. DIESE SHALL INCLIDE BUT NOT SE CANTED TO THE LATEST VERSION OF

- ANSIAN 222 E 2008 (BC), EDITION 2015
  BILLBING CHYCAUS AND COOK (BC), EDITION 2015
  BILLBING CHYCAUS AND COOK ADMINISTRATORS (BICKA) 1999 (FOURIEDINH EDITION)
  MARIOUM, CLEFTERLA COOK (BCC) 87% ICCAN, MEDIOMENTS 2014
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- AND AFPA TO LET SAFETY CODE MEPA 101 2015

# 1.5 EMERGENCY NOTIFICATION SIGNAGE

(MERCENCY NOTFICATION SIGNACE WILL BE ALTERED AS NECESSARY TO COMPLY WITH AURISTICTION CIPONANCE.

# ANTEHNA SYSTEM

### PART 1 GENERAL

- A 1 MODEL INCLUDIO
- ristall ne broce as rejeated on drawings install new coal, antennas, and mounts as indicated on drawings and verfild by re
- B. SUPPLY AND INSTALL CROUND MARS AND CROUNDING SUPPLES AS INDICATED IN THE DRAWINGS, AND VERSON APPROVED STANDARDS, VERTED BY AN FI FETTINGAM
- C. LABOL CABLES.
- AZ RELATED WORK
- FUNKSH THE FOLLOWING WORK AS SPECIFED LINGER CONSTRUCTION DOCUMENTS, BUT COOPERNATE WITH GITHER TRADES PRIOR TO BIO.
  - FLASHING OPENINGS INTO OUTSIDE WALLS.
- SEALING AND CAULEING ALL OPDINGS. PAINTING CLITTING AND PATCHING.
- FACTORY PORT/PORT MOLE CLYSHOUS
- & ANTENNA/CABLE CROLINGING

### A 3 REPORTERENTS OF REGIS ATORY AGENCIES

- FURNISH U.L. LISTED ECUPMENT WHERE SUCH LABEL IS AVAILABLE AND INSTALL IN CONFURMANCE WITH U.L. STANDARDS WHERE APPLICABLE
- DISTALL ANTENNA CABLES AND GROUNDING SYSTEM BY ACCORDANCE WITH MOSTALL AND SECURITY OF THE PROJECT LOCATION AND SECURITY OF THE PROJECT LOCATION AND SECURITY OF STATE AND LOCAL BUILDING CODES, SPECIAL CODES HAVING ARRESTORY OWN SPECIAL PORTIONS OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING.
- EIA/BA-222-G-2008, STRUCTURAL STANDARDS FOR STEEL ANTONIA TONICKS AND ANTONIA SUPPORTING STRUCTURES.
   FAA-FEDERAL ANATION ADMINISTRATION ADVISORY CIRCULAR AC
- 70/7460-W, OBSTRUCTION MARKING AND LICHTING & AC 70/7460-24, PROPOSED CONSTRUCTION OF ALTERATION OF OBJECTS THAT MAY AFFECT THE NAMEABLE ARRESTS.
- AFFECT THE NAMEABLE ARRANGS.
  ASC-AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR
  STRUCTURAL JOINTS 115MG ASTAL AXES OR A490 BOLTS.
  NEC-MATIONAL ELECTRICAL CODE-ON TOMER LIGHTING KITS.

- UL-IMPERINGERS' LABORATIONES APPROVED.

  MAL CASES, PART 77 OF THE FAR RIALES AND PARTS 17 AND 22 OF THE FEC RIALES ARE APPLICABLE AND IN THE EVENT OF CONFLICT, SUPERSIDE ANY OTHER STANDARDS OF SPECIFICATIONS.
- 7. AMSL/MEPA 70 LIFE SAFETY CODE MEPA-101 EDITION 2015

ALL MATERIALS, MARCHINE SHALL BE HOT-DIPPED GALVAMZED OR STANCESS STELL UNLESS OTHERWISE INCICATED ON THE DRAININGS.

### AL COATLABELING

CONTRACTOR SHALL PROVIDE EASY DENTFICATION AND UNITORN MARKING OF AMTOMA CABLING POR THE FOLLOWING INSTRUCTIONS:

- AL TRANSMISSION LINES SHALL BE MADRED WITH APPROPRIATE COLOR LINE BANDS (DIES NOT WITE COLOR LINES) FOR GENTRICATION HEAR ANTIDINA. JUST BETTER DUTTIENG THE COMPRIENT CARRIET/BULDING/ATTE LINE AS WELL AS RESOL THE COMPRIENT CARRIET/BULDING/ATTE LINE AS WELL AS RESOLT THE CARRIET CARRIET/BULDING/ATM THE LINE AS WELL AS RESOLTED THE ATTEMPT OF THE TENTH AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL RESISTANT, REFERENCE FOR ALL MALES MOTAL POPULAR AND OPERIOAL POPULAR AND OPERIO FSC A-A-55809 B(02-2007).
- B. WHEN MORELTY OND TO DIG IS NOT POSSELL, ADDITIONAL BANDING SHALL BE RESTALISTS

A. ANTENNA AND CARLE GROUNDING SHALL BE INSTALLED CONTONPORMEOUSLY WITH INSTALLATION, NO UNCROLINGED COAX SHALL BE ROUTED INTO THE EQUIPMENT CARNET OF CONNECTED TO EQUIPMENT.

# SITE LEGEND PROPERTY/LEASE LINE FEMICE LINE FENCE LINE EXISTING FENCE W/ BARBWIRE LINE EXISTING PROPOSED FENCE GATES COMPARINT CHE COUPMENT LINE EXISTING BUILDING LINE BUILDING LINE EXISTING ACCESS ROAD LINE (12" WOE) ACCESS ROAD LINE (12" WIDE) EXISTING HYSRID CARLE \_\_\_\_ SITE SUSFACING EXISTING PROPOSED METER POLE / UTUTY POLE 4 DUSTING PROPOSED METER BACK FOR CO-LOCATION STREET, EXISTING PROPOSED METER BOARD FOR RATEAND 10 TO EXISTING PROPOSED WAVEGUIDE BRIDGE (2'X10')





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CONSTRUCTION

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05/06/13

05/15/15

10/30/15

02/01/16 REV. 1 02/19/16 REV. 2 02/26/16 REVISIONS NO. DATE DESCRIPTION 0 12/01/10 ZDNING CONNENTS 1 27/19/10 CHANCE UN TO 3 ON CA 2 02/26/11 ZOHNG COMMENTS

> **GENERAL** NOTES

# DIVISION 2 - SITE WORK: WORK AND DRAMAGE

### PART I GENERAL

### 2.1 WORK INCLUDED

- STE NON: AND DRAMACE DETAILS ARE WRITTEN TO COVER A VARETY OF POSSELE STE CONFIGURATIONS, SPECIFIC SERVICES NUL BE PUBLISHED AS INDICATED IN THE STE PLAN AND ACREED UPON BY DISTORER AND THE
- B. REFER TO COMPLETE DRAWING SET AND REFERENCES SPECIFICATIONS/STANDARDS FOR WORK INCLUDED.
- A. CONSTRUCTION FOR BURLONG FOLNOATION
- PLACEMENT OF EQUIPMENT CARNET
- C. DISTALLABOR OF GROUNDING & ELECTRICAL SYSTEM
- D. INSTALLATION OF ANTOHA SYSTEM
- ACCESS ROAD, TURNAROUMO AREAS, AND COMPOUND AREAS SHALL BE CONSTRUCTED TO PROVIDE A WELL-DRAWED, EASLY MARITANED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIMENES AND MARIEMANCE
- APPLY SOIL STERLIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION (USE AS MEEDED).
- B. VECETATION AND LANCISCAPING, IF RECURRED WITHOUT THE CONTRACT, WILL BE PLACED AND MAINTAINED AS RECOMMENDED BY MURSERY INDUSTRY STANDARDS.
- 2.5 SEQUENCING
- COMPRIM SURVEY STAKES AND SET FLEVATION STAKES PROOF TO ANY CONSTRUCTION, PLACE SLT FEMCE ON OTHER REDURED EROSION CONTROLS DOWN CRADIENT OF CONSTRUCTION AREA.
- THE COMPLETED ROAD AND SITE AREA WILL BE CLEARED OF HEAVY GROWTH OF CRASS, TREES, SHRIRES AND TOPSOIL PRIOR TO FOLKDATION CONSTRUCTION OR PLACEMENT OF BACKFEL OR SUB-BASE MATERIAL.
- C. CONSTRUCT TEMPORARY CONSTRUCTION ZONE ALONG ACCESS DRIVE WHEN REQUIRED FOR NEW LIGHT POLES.
- THE SITE AREA MILL ME BROUGHT TO SUB-BASE COURSE ELEVATION AND THE ACCESS ROAD TO BASE COURSE ELEVATION PROOF TO FORMING FOUNDATIONS.
- E. APPLY SOIL HERBICOE PRIOR TO PLACING BASE MATERIALS.
- Of REQUIRED, GRADE, SEED, FERTILIES AND MARCH DISTURBED AREA SAMEDIATELY AFTER BRINGING THE SHE AND ACCESS BOND TO BASE COURSE DEVATION. WATER TO DISSURE CROWN.
- E. REMOVE CRAVEL FROM TEMPORARY CONSTRUCTION ZONE.
- AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL HERBICOE TO THE STONE SURFACE.

### PART 2 PRODUCTS

- 2.8 MATERIALS
- rdad and sie materiale filt material-acceptable select filt shall se in accordance with local department of transportation stangard
- SOIL HERBICRE SHALL BE EPA REDISTERED OF LIQUID COMPOSITION AND OF PRE-DISTRIBUTE DESIGN.
- C. SOIL STABILIZER FABRIC SHALL BE WRATI-SOIX.
- W. COMBACTION SHAFF BE VCCOMBFISHED BA NECHWICHT MENRY
- ALL LARCER ARCAS SHALL BE COMPACTED BY SHEEPS FOOT, WIRRATORY OR RUBBER TIRED ROLLERS WEIGHING AT LEAST FIVE TOKS.
- C. SAMLER AREAS SHALL BE COMPACTED BY POWER- DRIVER, HAND HELD TAMPORS.

### PART 3 EXECUTION

- LOCAL BUILDING INSPECTION SHALL RECEIVE ADEQUATE NOTIFICATION IN ADVANCE OF CONCRETE POURS WIND REDURED.
- CLEAR TREES, BRISH AND DEBRIS FROM SITE AREA AND ACCESS ROAD RICHT OF WAY (# REQUIRED).
- MICH TO OTHER EXCAVATION AND CONSTRUCTION EFFORTS CLEAR SITE OF CREANE MATERIAL, TO MINIAUM OF SIX INCHES BELOW ORIGINAL GROUND
- C. DO NOT REMOVE TREES, BRUSH, OR DEBRIS FROM THE PROPERTY WITHOUT CONSTRUCTION MANAGER APPROVAL.
- D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, PROOF ROLL THE SOL.
- E. WHERE LINSTABLE SOIL CONDITIONS ARE ENCOUNTERED, COVER CLEARED IAREAS WITH STABILIZER WAT PRIOR TO PLACEMENT OF FILL OR BASE.

### 2.18 INSTALLATION

- THE COMPOUND AND TURNARDUMD AREAS SHALL RE AT THE SUR-BASE COLUME EXEMBLY TO FORMAD TURNDATIONS, CRUZE OR FILL THE SUR AND AREAS ROUD AS ROUMED IN ROOME PAIN THERE IS FIND DISTINSTITUDE OF STREAM TOWN AND THE PAIN THE SURFAMENT OF SPOLS RESULT BIGG FROM TOWNDATON EXTANTIONS. THE RESULT BUT CARD THE LOWER THE DISTINST COLUMN TOWN AND AREAS COURSE.

  LIVANDOS ARE TO BE CALCULATED FROM THIS SHOP GRADES OR SLOPES, AS MOREAUTH.
- IF ANY, EXCESS SPOLS WILL BE CLEARED FROM JOB SITE AND NOT SPRÉAD BEYOND THE LIMITS OF DIMINULEASED PROPERTY UNLESS AUTHORIZED BY PROJECT IMMARIEU.
- THE ACCESS ROAD SHALL BE BROUGHT TO BASE COURSE ELEVATION PROB TO FOUNDATION CONSTRUCTION TO PERMIT USE. COMPACTION SHALL BE DONG DURING CONSTRUCTION OF THE SITE.
- O. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
- WHEN EMPROVING AN EXISTING ACCESS FOAD, GRADE THE EXISTING ROAD TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SUPPACE GEFORE PLACING
- THE FINISH CRADE, INCLUDING TOP SURFACE COURSE, SHALL EXTEND A MINIMUM OF DISE FOOT BEYOND THE SHE FENCE AND SHALL COVER THE AREA
- G. RIPHAP SHALL BE APPLIED TO THE SIDES OF DITCHES OR DRAMAGE SHALES.
- RPRAP SHALL BE APPLIED TO THE SIDE SLOPES OF ALL FENCED SHE AREAS, PARKING AREAS AND TO ALL OTHER SLOPES CREATER THAN 2:1.
- INFRAP ENTIRE SITCH FOR SEX FEET IN ALL DIRECTIONS AT CULVERT OPENINGS OF AS INDICATED IN THE SHATHERS.
- COMPACTION SHALL BE AT LEAST 85% OF MAISHUM DENSITY AND WITHIN 22 OF OPTIMAL MICETURE CONTENT IN ACCORDANCE WITH ASTA D-1557.
- B. LANDSCAPING VERIZON WIRELESS HAS CHOSEN THE "BUY OUT FIE" OF
- ALL EXPOSED AREAS SHALL BE PROTECTED AGAINST WASHOUTS AND SOIL EROSION, STRAW BALES WILL BE PLACED AT THE MILET APPROACH TO ALL





BOARD ROCK, TEXAS FROM P. ST2272-SIZE P. ST2-WA ASSTRAIN

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SET ISSUED FOR DOX CO's REVEN CONSTRUCTION BEV 0

REV. 2

DATE 05/06/15 05/15/15 10/30/15 02/01/18 02/19/16 02/26/16

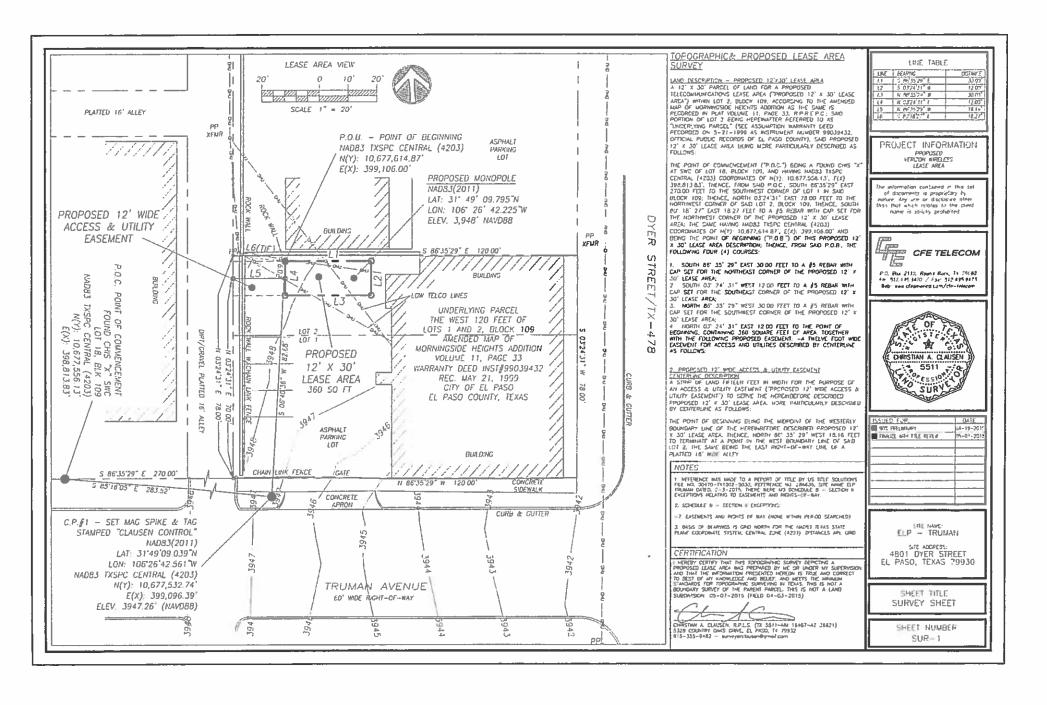
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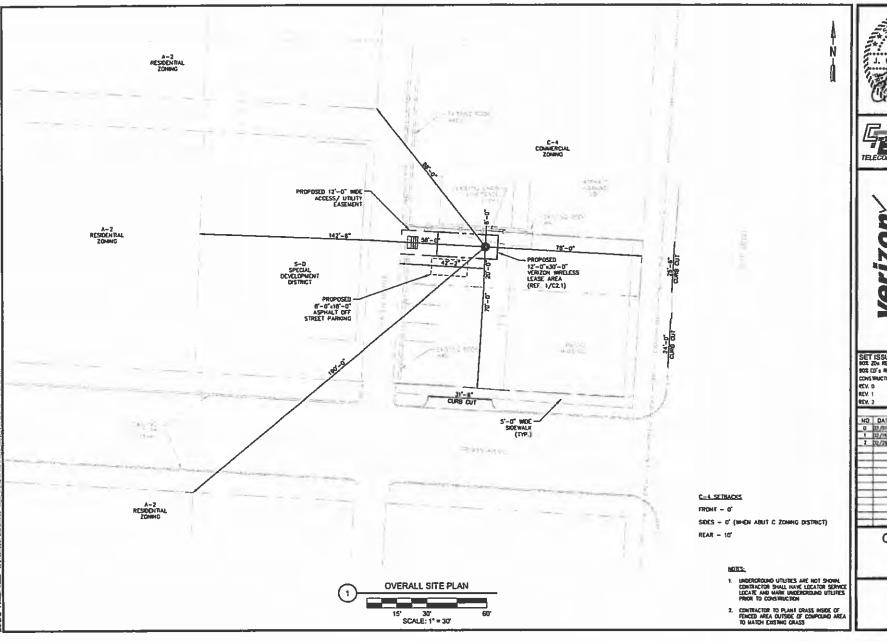
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NO. DATE DESCRIPTION 6 02/01/16 ZOHING COMMENTS 1 33/19/16 CHANCE MR 10 3 OH C3 2 07/26/16 ZOHING COMMENTS

REVISIONS

**CIVIL NOTES** 









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ELP - TRUMAN

DATE 05/06/15 05/15/15

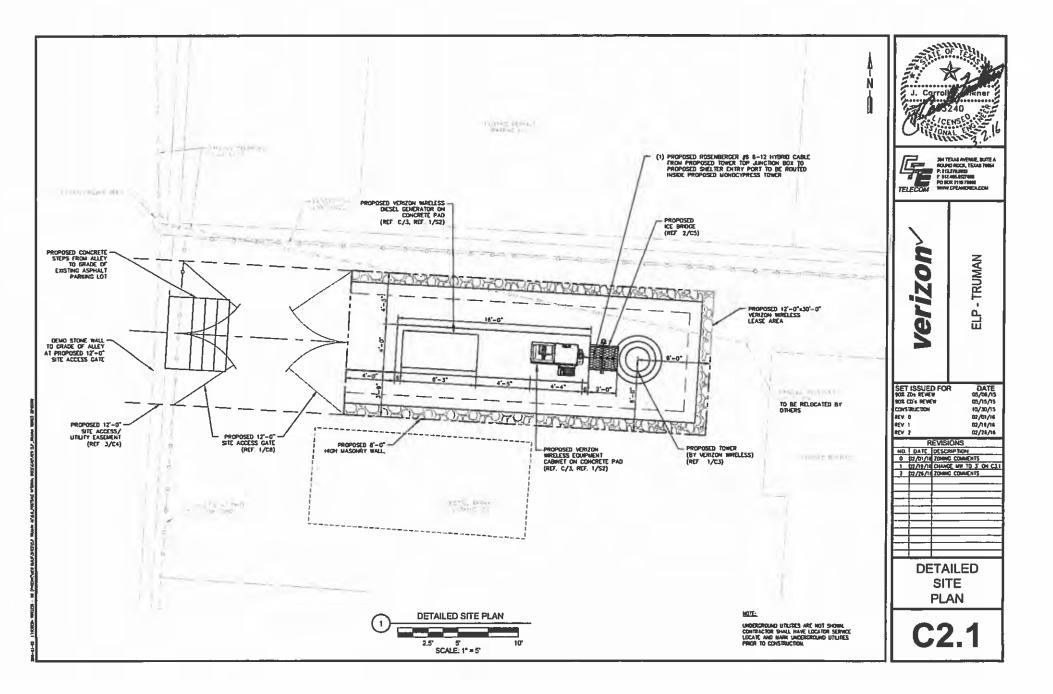
SET ISSUED FOR 90X ZD's REVIEW CONSTRUCTION REV. 0 REV. 1

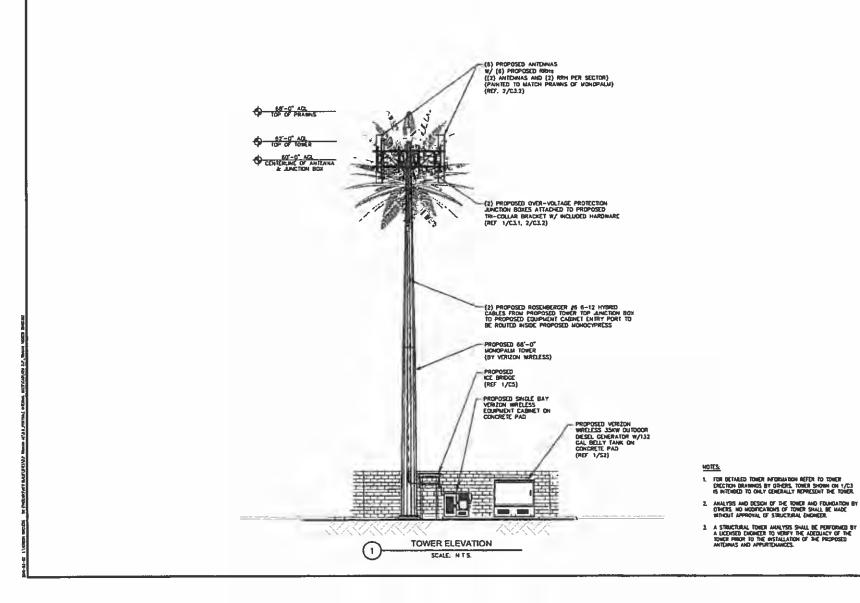
10/30/19 02/19/16 02/25/16

REVISIONS
NO. DATE DESCRIPTION

**OVERALL** SITE

PLAN









SHITTMAS AMBRIE, BUTTE A
ROADO ROCK, TEXAB 78864
P. SECURISSION
P. SECURISSION
PO SECURISSION
TELECOM
WAY CHAMBRICACOM

# erizo

- TRUMAN E.P.

SET ISSUED FOR SOX 2Ds REVEW SOX CO'S REVEW DATE 05/06/13 05/15/15 CONSTRUCTION 10/30/15 BEV. O 02/01/16 REV. 1 02/19/16 02/26/16 RÉV. 2 REVISIONS

Н	NO.	DATE	DESCRIPTION
ı	0	03/01/10	ZOMING COMMENTS
ı			CHANCE WIF TO 3" OH C.
ı	2	77/1/19	ZOMING COMMENTS
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ı			
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**TOWER ELEVATION** 

ELEVATION		AZMUTH	DOWN	DESIGNATION	EQUIPMENT	USE	OTY		LEED I	INES	
(A.G.L.)	LEG	(DEG')	TILT	DESIGNATION	MAKE/MODEL	USE	(417	QTY	SIZE	TYPE	LEHGTH
60'-0"	A	0"	2"	ALPHA-1	CUMMTEL -056658-3-105	U700C	1	4	1/2	JAMPER	8,
60'-0"	Α	-	-	ALPHA-2	-	-	-	-		-	- 7
60'-0"	A	-	-	ALPHA-3	-		-	Ξ	1/2"	<u> </u>	-
60'-0"	A	o.	2	ALPHA-4	QUANTEL -056858-3-105	AWS	1	4	1/2"	JAIPER	6"
60'-0"	В	120	5*	BETA-1	QUANTEL -056658-3-105	U700C	1	4	1/2"	ANPER	6.
60'-0"	В	-		DETA-2	-	-	-	-	-	-	-
60°~0°	В	-	-	BETA-3	-	-	-	-	-	-	= 1
60'-0"	В	120	5"	BETA-4	QUANTEL -056658-3-105	AWS	1	4	1/2"	JUNPER	6"
60'-0"	C	2401	r	GAMMA1	QUARTEL -Q56658-3-102	U700C	1	4	1/2"	AMPER	6"
60'-0"	c	-	-	GAMMA-2	-	-	-	- 1	-	-	- 1
80'-0"	С	-	-	GAMMA-3	-	-	-	-	-	-	+
60'-0"	С	240"	7	CAMMA-4	QUINTEL -056658-3-T02	AWS	1	4	1/2"	JUMPER	6'
60'-0"	-	-		RRH	RRH	U700C	3	3	<i>p</i> 6 6-12	HYBRIO	15'
60'~0"	_	-		RRH	RRH	AWS	3	3	#6 6-12	HYBRID	15"
60'-0"	-	-		J-80x	COMMISCOPE - RCADC-3315-PF-48	U700C/AWS	2	2	<i>p</i> 6 6-12	HYBRID	80"

REFERENCE ANTENNA PLANS ON SHEET C3.2 FOR MOUNT INFORMATION

PROPOSED APPURTENANCE CHART	

MINIMUM COAX BENOWG RADIUS CHART				
51ZE	MODEL MUMBER	MINL BENOING RADIUS		
1/2°	LDF4	5.00°		
7/8*	AVAS	10.00"		
1-5/8"	AVA7	15.00		

MANAGE	WAVEGUIDE BENOW	C RADRUS CHART
SIZE	HODEL MANBER	HIN. BEHONG RADIUS
- 1	E65	21.00"

MINIMUM CABLE BENOING RADIUS CHART				
MANUFACTURER	SZE	VODEL HARBER	UML BEHONG RADUS	
ROSENBERGER	g6 6-12	HYBRIO FEEDER	21,11*	
ROSENBERGÉR	#6 2-4	HYBRID FEEDER	14,89"	
ROSENBERGER	#6 1-1	HYBRID FEEDER	16.57°	

TRANSMISSION LINE BENDING RADIUS CHARTS





SAN TEXAS MEDIAE, SLATE A ROLLING ROCK, TEXAS THRIC P. S1275-8000 P. S127-8000 P. S127-8000 P. S127-9000 P. S127-9000 WWW.CFEAMERICA.COM

SET ISSUED FOR 90% ZD+ REVEW CONSTRUCTION BEV 0 REVEW CD REVEW CD REVE 1 REV. 2 DATE 05/06/13 05/15/13 10/30/13 02/11/16 02/11/18

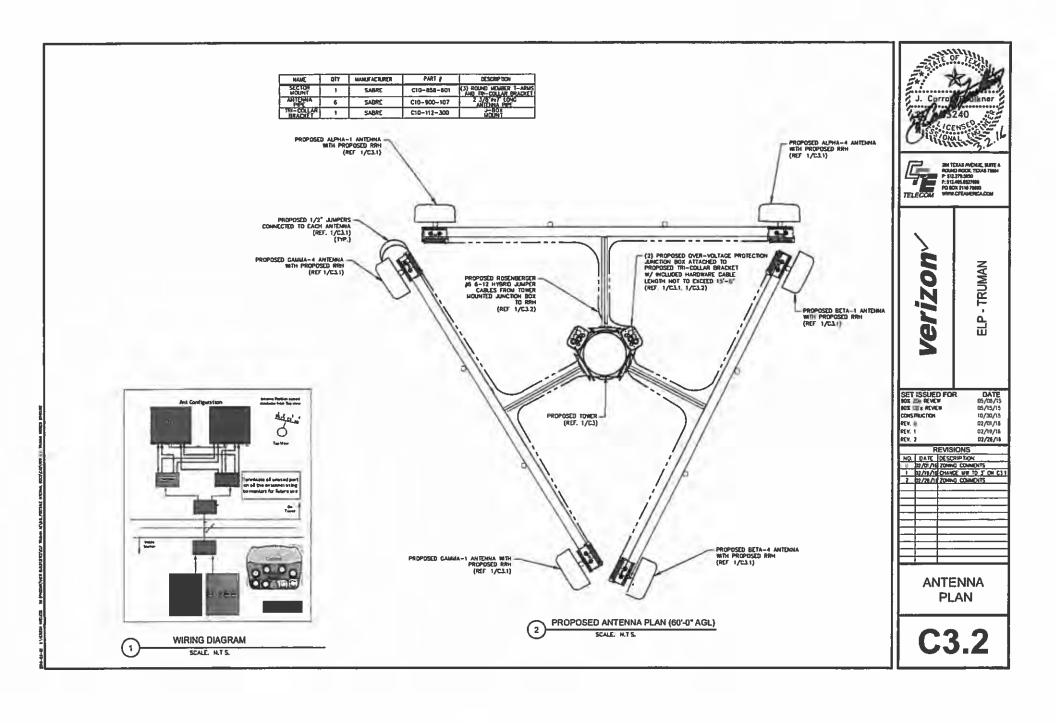
REVISIONS NO. DATE DESCRIPTION

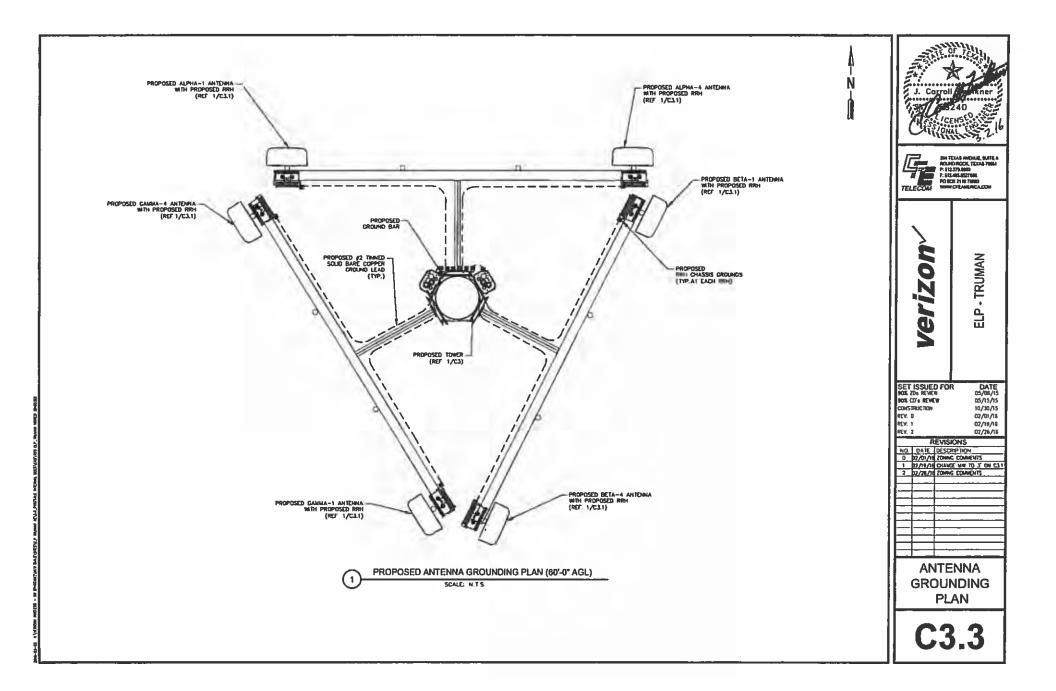
8 22/01/12 ZORNE COMMENTS

1 12/19/10 DAMEE NO TO J' DI CAT

2 12/16/15 ZORNE COMMENTS

RF INFORMATION

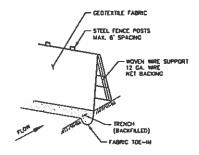




### SOIL AND EROSION CONTROL

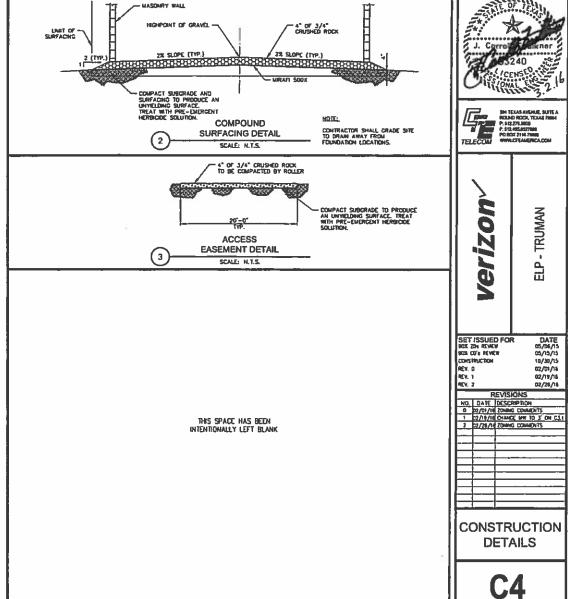
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS FOR SOIL EROSON AND SEGMENT CONTROL. AND OTHER REQUIREMENTS OF GOVERNMENTAL AUTHORITIES HAMMEL REPSECTION.
- CONSTRUCTION AT THE SITE WILL BEGIN WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION.
- 3. EROSION CONTROL DEWCES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. If IS THE CONTRACTOR'S RESPONSEBUTY TO ACCOMPLISH EROSION CONTROL FOR ALL DRANGE PATTERNS CREATED AT VARDUS STACES DURING CONSTRUCTION ANY DEPOLICY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE CONSTRUCTION SHALL BE REPORT
- 4. ALL SILT FENCES MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO CRADING SHALL BE DONE UNTIL SILT BARRER IS INSTALLED.
- CONTRACTOR SHALL MAINTAIN ALL EROSON CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL HISPECT EROSON CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONANC PROPERLY.
- B. THE CONTRACTOR SHALL REMOVE ACCUMULATED SET WHEN THE SET REACHES 12" IN HEIGHT WITHIN SET FENCE BARRIERS.
- FABLINE TO INSTALL, OPERATE OR MAINTAIN ALL EROSION CONTROL MEASURES MAY RESIDE ON ALL CONSTRUCTION BEING STOPPED ON THE JOB SITE LINTE, SUCH SEASURES ARE CORRECTED.
- 8. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PORIST IF REQUIRED SHALL BE PRESENT ON THE JOB SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROCRESS.
- 9. ANY AREA OF DISTURBANCE LEFT EXPOSED OR THAT IS ANTICIPATED TO BE EXPOSED SECTION THE EXPOSITE PERIOD REQUIRED BY LOCAL AUTHORITIES SHALL SE STABLEZED WITH TEMPORARY SECTIONS.
- ADDITIONAL EROSION AND SEDMENT CONTROL MEASURES SHALL BE PROVIDED IF REQUIRED UPON INSPECTION BY AND DIRECTION FROM LOCAL AUTHORITIES.
- UPON COMPLETION OF WORK, OR AS DIRECTED BY EROSION CONTROL AUTHORITIES, ALL DISTURBED AREAS NOT IMPROVED WITH GRAVEL SYALL DE SEIDED WITH PERMANDET SEEDING MATERIAL SUITABLE FOR THE LOCAL GROWNED AREA.

SILT FENCE DETAIL

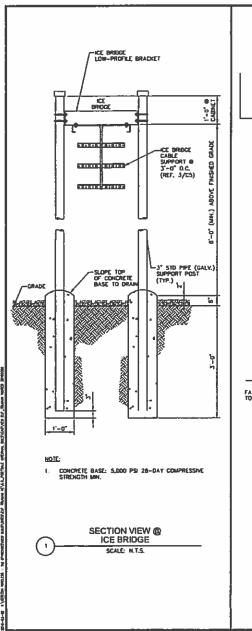


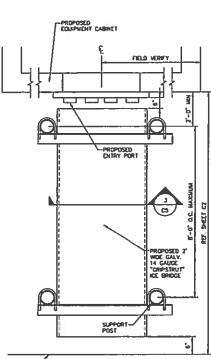
TRENCH CROSS SECTION

SILT FENCE



S. POSPALE OF USE METS CONTROL BUT MAKE 19





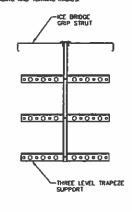
FACE OF -HOTES:

- ADJUST CENTERINE OF ICE BRIDGE TO ALIGN WITH ENTRY PORT ON EXISTING EQUIPMENT CABINET.
- 2. REFER DETAIL 2/E4 FOR ICE BRIDGE GROUNDING DETAIL.
- 3. ALL MATERIALS USED FOR ICE BRIDGE SHALL BE HOT-DIPPED GALVANIZED, ALL FIELD CUTS OR DIPULED OPDINGS SHALL BE RESCALED WITH 3 COATS OF CRUG-OALVANIZHIO COMPOUND TO CLEAND SHIFFARES.
- 4. ADDITIONAL SECTIONS OF ICE BRIDGE MAY BE REQUIRED AS MOLCATED IN SITE PLAN, SUPPORT EACH 10" SECTION WITH A MINUSUR OF TWO POSTS WITH A MARIBUM SPACING OF B'.

ICE BRIDGE PLAN SCALE: N.T.S.

3

1. CONTRACTOR TO ROTATE AND ATTACH COAX/WAVEGUDE TO TRAPEZE SUPPORT IN A MANNER THAT WILL ACHEVE THE MINIMUM BENDING AND TURNING RADIUS.



ICE BRIDGE CABLE SUPPORT

VIEW LOOKING TOWARD ENTRY PORT FROM CABINET EXTERIOR

SCALE: N.T.S.

THIS SPACE HAS BEEN INTENTIONALLY LEFT BLANK

THIS SPACE HAS BEEN INTENTIONALLY LEFT BLANK





SM TEXAS AVENUE, SUITE A ROAND ROCK, TEXAS THINA P. SIGLARIASTON P. SIGLARIASTON PO BOX 211 B TRIBS WINN CFEAMERICA COM

TRUMAN ELP.

DATE 05/06/15 05/15/15

10/30/15

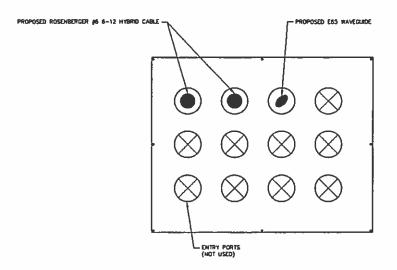
02/01/16

07/19/16

SET ISSUED FOR 90% ZDo REVEN 90% CD's REVEN CONSTRUCTION REV. O REV. 1 REV. 2

02/25/15 REVISIONS NO DATE DESCRIPTION
0 92/01/18 ZONNG COMMENTS
1 92/19/18 DIANGE INF TO 3' ON C3.1
2 92/26/18 ZONNG COMMENTS

ICE BRIDGE **DETAILS** 



**ENTRY PORT DETAILS** SCALE: N.T.S.





294 TEXAS AMENIA, SLITE A MOMPORICE, TEXAS TIMES P. 512.791.2829 P. 512.891.8927/MIS PO DEZ 1919 TIMES TELE COM

ELP - TRUMAN

SET ISSUED FOR 903 204 REVIEW 903 CD's REVIEW CONSTRUCTION REV. 8 REV. 1 REV. 2 DATE 05/06/13 05/15/15 10/30/15 02/01/16 02/19/16 02/25/16

REVISIONS NO. DATE DESCRIPTION

0 92/01/18 ZONNIG COMMENTS

1 02/19/18 CHANCE UN 10, 5' ON CL1

2 02/26/18 ZONNIG COMMENTS

> **ENTRY PORT DETAILS**

1. REFER TO 1/C3.1 FOR COAX LINE OFFORMATION.

# **INFORMATION**

THIS IS A VERIZON WIRELESS ANTENNA SITE

SITE ID: .....

FOR INFORMATION, CALL:

800-264-6620

## 8"x12" INFORMATION CONTACT SIGN

- HATCHED AREAS TO BE GREEN. SIGN TO BE LOCATED AT SITE ENTRANCE GATE.
- SICH TEXT TO BE BLACK ON WHITE

EMERGENCY CONTACT SIGN SCALE: N.T.S.

Federal Communications Commission **Tower Registration Number** 

Posted in accordance with Federal Communications Commission rules on antenna tower registration 47CFR17.4(g).

8"x12" FCC TOWER REGISTRATION SIGN

CONTRACTOR TO VERFY FCC REGISTRATION NUMBER WITH VERIZON WRELESS CM PRIOR TO INSTALLATION.

FCC/ASR POSTING (2)

SCALE: N.T.S.

# A NOTICE A

### **GUIDELINES FOR WORKING IN** RADIOFREQUENCY ENVIRONMENTS

- ALL PERSONNEL SHOULD HAVE ELECTROMAGNETIC ENERGY (EME) AWARENESS TRAINING.
- ALL PERSONNEL ENTERING THIS SITE WAST BE AUTHORIZED.
- A DBEY ALL POSTED SICKS.
- A ASSUME ALL ANTENNAS ARE ACTIVE.
- A BEFORE WORKING ON ANTENNAS, NOTFY DWINERS AND DISABLE APPROPRIATE TRANSMITTERS.
- A MAINTAIN MINIMUM 3 FEET CLEARANCE FROM ALL ANTENNAS.
- A DO NOT STOP IN FRONT OF ANTENNAS.
- A USE PERSONAL RF MONITORS WHILE WORKING HEAR ANTENHAS.
- A NEVER OPERATE TRANSMITTERS WITHOUT SHELDS OURING HORMAL OPERATION.
- A DO NOT OPERATE BASE STATION ANTENNAS IN EQUIPMENT ROOM.
  - SIGN TO BE LOCATED AT NON-COMPLIANT ACCESS POINT TO ANTENNAS.
  - SON TENT TO BE BLACK ON YELLOW BACKGROUND.

**EME GUIDELINES SIGN** SCALE: N.T.S.

### SAFETY MOTES

- ALL SICHS MUST BE ALLAMMUM UNLESS NOTED DTHERWISE.
- ALL SICHS SHALL COMPLY MITH RECURREMENTS AS SET FORTH IN AMSI 2535.1, AMSI 2535.2, AMD AMSI C95.2-2007.
- ALL NECESSARY MATERIALS TO BE DELIVERED AND MOUNTED AS NEW IN A PERMANENT METHOD AND LOCATION.
- SAFETY SIGNS MUST BE UNDBSTRUCTED AND CLEARLY VISIBLE.
- 5. SAFETY SIGNS MUST BE INSTALLED IN PERMANENT MOUNTING PROFIT TESTING OF ELECTRONIC COMPMENT FOR COMMISSIONING THE EQUIPMENT.
- UNLESS NOTED OTHERWISE: MAIN SIGN BACKGROUND IS TO BE WRITE. TEXT IS TO BE BLACK.





# rerizo

TRUMAN EP

# SET ISSUED FOR CONSTRUCTION

REV O

REV. I

REV 7

DATE 05/06/15 05/15/15 10/30/15 02/01/16 02/19/16 02/26/15

REVISIONS NO. DATE DESCRIPTION

10 32/01/18 20MMC COMMENTS 1 02/19/16 CHANCE MW TO 3" OH C31 2 DZ/25/10 ZOHNO COMMENTS

SIGN

C6

**DETAILS** 

NOTICE Radio frequency fields beyond this point may exceed the FCC general public exposure limit. Othery off posted signs and site guidal for working in racio traquency

# 8"x12" FCC RF NOTICE SIGN

- HATCHED AREAS TO BE BLUE. SIGN TO BE LOCATED AT SITE ENTRANCE BELOW ACCESS HOTICE SIGN.
- RF EXPOSURE NOTICE

SCALE: N.T.S.



# 8"x12" FCC RF CAUTION SIGN

- HATCHED AREAS TO BE YELLOW. SIGN TO BE LOCATED ON TOWER MEAR CLAUBING ACCESS.
- RF EXPOSURE CAUTION (5) SCALE: N.T.S.



# 8"x12" FCC RF WARNING SIGN

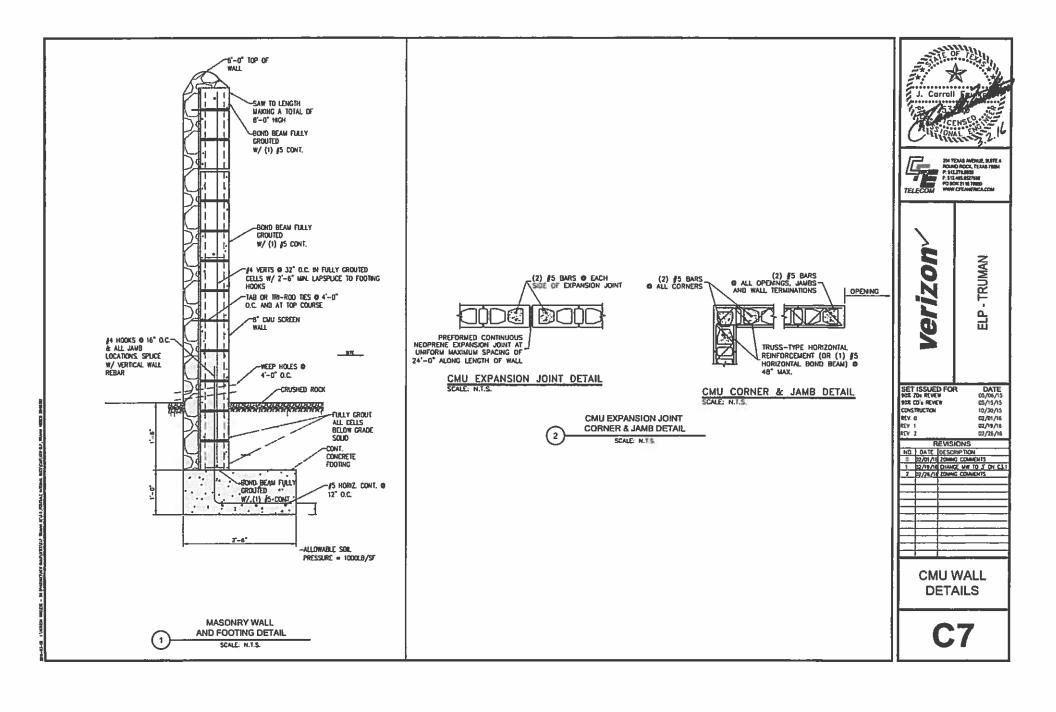
- HATCHED AREAS TO BE RED. SIGN TO BE LOCATED ON TOWER NEAR CLIMBING ACCESS.
- RF EXPOSURE WARNING (6) SCALE: N.T.S.

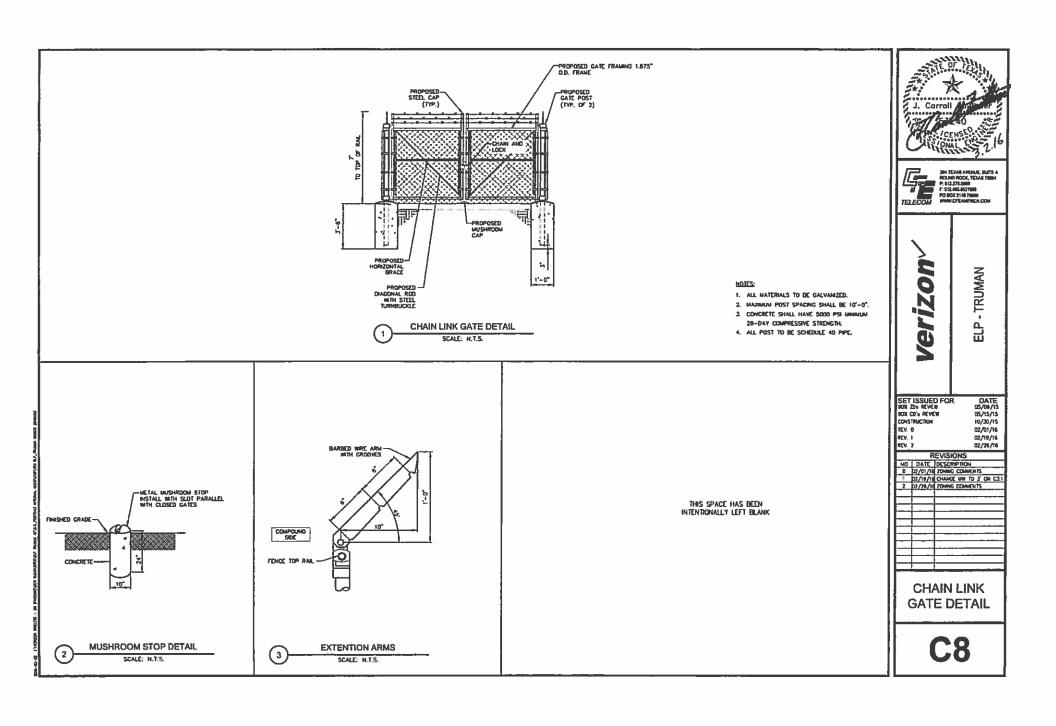
	$\sim$	- RED FILL
	3	YELLOW FIL
	4	
	$\times$	U/
BLUE FALL	•	$\times$
`	$\checkmark$	- MATE TILL

# **DIESEL**

10"x10" HAZMAT DIAMOND SELF ADHESIVE VINYL . (1) SIGN TO BE LOCATED NEAR OR ON FUEL TANK.

DIESEL **FUEL HAZMAT WARNING** 





### STRUCTURAL NOTES

### LI CODES

- A. INTERNATIONAL BUILDING CODE, 2015 EDITION
- B. TIA/EIA-222-G-2006, "STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES"
- 11 CERTEU.
- L. STRUCTURE IS DESIGN IN ACCORDANCE WITH THE CODE AND STANDARD HOTED ABOVE, WITH LOCAL AMENDMENTS
- B. DIE DETARS DESIGNATED AS "TYPICAL" DETAILS APPLY GENERALLY TO THE DRAWNGS IN ALL AREAS INFERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS.
- . HE DIJENSORS AND CONCINOUS OF EXSING CONSTRUCTION SHALL BE VEHICLD BY THE CONTRACTOR AT THE JUB SITE PROOF TO BECOMING WORK. DIFFERENCES BETWEEN CONSTRUCTION AND THE CONTRACT DOCUMENTS SHALL BE REFURED TO THE OWNER AND THE DISCNEER.
- SCALES NOTED ON THE DRAWNOS ARE FOR GENERAL RETURENCE ONLY. NO DIRECTORAL REPORTATION SHALL BE OBTAINED BY DIRECT SCALING OF THE DRAWNOS.
- HE DESON AND PROVISION OF ALL TRUMPHANT SUPPORTS, SUCH AS DITS, BRACES, FALSE WORK, SUPPORTS AND ANCIONS FOR SHETTY HASE, DISBONE, OR ANY SUPPORT SUPPORTS AND ANCIONS FOR STEELINGS OF THE CONTROL OF SECULIAR HIS DOLLARS, TRUMPHANT SUPPORTS SHALL HOT RESULT IN THE OWNSTRESS ON GRANCE OF THE ELDERISTS TO BE BRACED OR ANY DISBONES SUPPORTS.
- F. THE CONTRACT STRUCTURAL ORANINGS AND SPECIFICATIONS REPRESENT THE PROSEND STRUCTURE, AND EXCEPT WE'RE SPECIFICALLY SHOWN, CO MOT A ROCKLET FOR MERIS OF CONSTRUCTION, MEPOLS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION AND THE RESPONSIBILITY OF THE CONTRACTOR SHALL TRUE, ALL MEXISSAIN PRECAUTIONS TO MARKEN MAD PROJECT FOR SHALL TRUE, ALL MEXISSAIN PRECAUTIONS OF CHARMATION AND PROJECT FOR SHALL TRUE, ALL MEXISSAIN PRECAUTIONS OF CHARMATION AND PROJECT FOR SHIPPING OF THE STRUCTURE AT ALL STACES B.
- HE DISSISTED SHALL NOT HAVE CONTROL OF AND SHALL NOT BE RESPONDED FOR CONTROL MAKING, WHICH SHOULD SHOWLD SOURHOLD, OR PROCEDURES, FOR SAFETY PRECAUDING AND PROCESSANG IN CONCERNO WITH THE CHORE FOR THE ACTS OF CHASSING OF THE CONTRACTOR, SURCOMPACING, OF THE THE FAILURE OF ANY OF THEM TO CARRY OUT THE SIGNEY AN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL NEISTY EQUIPMENT SIZE AND LECATION. CONTRACTOR
  SHALL NODEY OWNER'S REPRESENTATIVE OF MYY DISCREPANCES FROM PLANS. D.
- THE CONTRACTOR SHALL HOTELY THE OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF THE THEM IS SCHIPCANT PORTON OF THE CONCRETE REAFORCOMENT STELL HAS BEEN INSTALLED AND BEEN HIT PLACE AND WHEN CONCRETE IS TO BE PLACED FOR SCHIZLING THE REPUECHOUS.
- POSITIVE DIVABLEE SHALL BE PROVIDED ABJACENT TO ALL FOLINDATIONS SO POSITIVE OR RAWFALL NEAR FOLINDATIONS DOES NOT DOCUM.
- DUBBIG CONSTRUCTION, TEMPORARY CRACES SHALL BE ESTABLISHED TO PREVENT RUMOFF FROM DITERRIC THE FELINDATION OR ANCHORAGE EXCAVATIONS.
- Unamage patterns approved at the time of finished cracing shall be manually broughout the life of the tower.
- L3 ETHUCTURAL FIL
- STRUCTURAL FILL SHALL BE PLACED IN AREAS OF VOIDS CAUSED BY SIZ PREPARATION AND IN AREAS WHERE REQUIRED TO BRING DRADE TO PROPER ELEVANDOR.
- PREDE TO PLACING PEDIMED FIL MATDRAY, READY, FROM THE SITE ALL CORRECT, BOLLDERS, AND VECTARDON, AS WILL AS ORDER DELETTROUS MATERIANS, MULLIONG ANY LODGE OF ECCESSIVE'S DISAMBLE MATERIAN, FROM the COSTING SUBCOLOR. THIS LIBERIAN, SHOULD BE STRIPPED TO A MARKAN DEPM OF B HOMES AND REMOVED FROM THE SITE. ALL DEPOSED SUPFACES SHALL THEN BE RECTERED BY PROSING, AND TESTING, STRIPPING SHOULD EXTIDED A MIN. OF 5"O" BETWOOD FORTPRIAN.
- C. THE EXPOSED SUBGRADE SHOULD HOT BE ALLOHED TO DRY DUT PROR TO PLACING STRUCTURAL FILL.
- D. ALL FILL UNDER THE SLAB SHALL BE COMPACTED STRUCTURAL FILL MAYERAL B\* MARKAN THICONESS.
- E. STRUCTURAL FRI. MATERIAL SHALL HAVE A PLASTICITY INDEX BETWEEN 10 AND 25 AND A LICIUS SIMIT LESS THAN 45.

- F. STRUCTERAL FEL. SHALL BE PLACED IN LOOSE LET'S NOT EXCEDDING B MODES IN THOOLESS, WATERED AS REQUIRED AND COMPACTED TO A MINIARD SET ON LOOSE AS REPLICATED AS AND TEST METROD D-598 AT A MOSTRARE CONTENT AS EXPENDED IN ASTA TEST OF THE O'PHAMA MESSTARE CONTENT WITHOUT THE RANGE OF -15 TO 38
- C. COMPACTON AND MUSTURE CONTENT OF SUBGRACE AND EACH LET OF SILECT STRUCTURAL FLL. SHALL BE INSPECTED AND APPROVED BY A QUALIFIED ENGINEERING TECHNICANS, SUPERVISED BY A CEDITED MICA.

### 1.4 MOSTURE MANAGEMENT

- EVERY EFFORT SHALL BE MADE TO KEEP EXCAVATIONS DRY SHOULD EXCUMUNATED BE EXCOUNTEDED.
- STEPACE CAN BE ETTECTIVELY HANDLED BY SAMPLE DEPARTEDING NETHOUS, SLICH AS PROMPRIY DITCHES AND SAMPS A SATIRALE SHAP CORAD CONSIST OF A LANCE DIMACELY PROFESSY VERYCLALLY WITH A COMPRESANCE AND DIMOGRANGL NETHORS PLACED IN THE BOTTON TO ACT AS A FRIGH.
- C. CARE SHALL BE EXERCISED IN PUMPING DIRECTLY FROM THE EXEAVATION SINCE THIS MAY CAUSE DETERDITATION OF THE EXCAVATION BASE.
- I. THE TRAFFIC OF HEAVY EQUIPMENT (INCLIDING HEAVY COMPACTION EQUIPMENT) MAY CREATE PLAPFIC AND SEMERAL DETERIORATION OF THE SHALLDHER SOLE.

### CHARACEAN

- SLAB-ON-GRADE FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING DESIGN FOR SITE PREPARATION, DRAMAGE, AND HAMPSTANDS
- B. WITHIN THE AREA OF THE PROPOSED SLAB-ON-CROUND, REDAYS AND DEPOSE OF ALL SURFICIAL VICETATION, MAY DELETIONS MATERIALS WHICH HAY GE PRESSIN, AND ALL SOL REQUIRED TO PROMOVE THE STRUCTMAN, FILL PAD OF LIMPTONE THOCKIESS OF AT LEAST 12 MICHIES BELOW THE SOTTOM OF THE SLAB of SOFT, WEAK, OR LIMSTABLE SER, CONDITIONS ARE REVIOLED, OWER CICCART, THE AREA AND BRING BACK TO GRADE WITH SELECT.
- PLACE A 10 MIL POLYDLETH, ASTM € 1745 (CLASS A), VAPOR BARRIER OVER-COMPACTED SOIL PRIOR TO PLACING FOLADATION SLAB.
- REFER TO PLANS FOR STOTEMED SLAB-ON-GRADE DIMENSIONS, THICKNESS, AND REINFORCING.
- E. DE TRONDED FINSED CONCRETE SLAB-ON-CRADE FROM PROFLE SHALL COMPLY WITH DRE FOLLOWING PLATNESS AND LEVELNESS VALUES AS DEFINED IN THE ASTRE E 1155.

	CACCALED	1.004
FLATMESS (FF)	25	17
LEVELHESS (FL)	20	15

### LS CONCR

- A. ALL CONCRETE SHALL HAVE HARRIAL SAND FINE ACCREGATE AND NORMAL WEIGHT COAMES ACCREGATES CONFORMING TO ASTA CLIS, TYPE I PORTRANO CEMENT CONFORMING TO ASTA CLIS, AND SHALL HAVE A 28 DAY COMPRESSIVE STRONGOM (FC.) OF SLOOD PS.
- B. TLY ASH MAY BE USED AS A POZZALON TO REPLACE A PORTION OF THE PORTLAND CUMPLY IN THE CONCRET MAY, SURJECT TO THE APPROVAL OF THE CODERA, COMMACTOR MAY STRUCTURE DOMACTE. THY ASH, WHILL USED, SHALL CONFORM TO ASTO CHIE, THY C. OR F. CONCRET MACS. USING THY ASH MUSTO MAD TO ACCOUNT FOR THE PROPERTIES OF THE STEEDING THY ASH MUSTO MAD TO ACCOUNT FOR THE PROPERTIES OF THE PROPERTIES OF
- C. SIXING, TRANSPORTING AND PLACING OF CONCRETE SHALL CONFORM TO ACT

 MINMAN CONCRETE CONER PROTECTION FOR REMFORCEMENT BARS SHALL BE AS FOLLOWS: (SEE AG. 318, SECTION 2.7 FOR CONCRETE EMPOSE) TO WEATHER

JS BARS AND SHALLER	1 1/3
ALL OTHER BARS	2"
CONCRETE CAST AGAINST EARTH	3°
GRADE BEAMS:	
TOP	1 1/2
BOARD FORMED SIDES	<b>2°</b>
EARTH FORMED SIDES	3°
BOTTOM	3°
SLABS ON CRADE:	
SMOLE LAYER OR TOP LAYER	2°
DOTTON LAYER CAST ACAMST SON	4"

- E. PROVIDE STANDARD BAR CHARS AND SPACERS AS REQUIRED TO MAINTAIN CONCRETE PROTECTION SPECIFIC).
- F. HORZONTAL JOHTS WILL NOT BE PORMITTED IN CONDECTE CONSTRUCTION EXCEPT ASA SHOWN ON THE CONTRACT DOCUMENTS. VORTICAL JOHTS MAY DOCUMENT CENTER OF SPACS AT LOCATION REVENED BY STRUCTURAL DIGINICIP.
- G. CONSTRUCTION JOINTS BETWEEN PIERS AND PIER CAPS, FOOTINGS AND PIONESTALS, BEAUS AND SLAR SHALL BE PREPARED BY ROUNDEDWIG THE CONTACT SURFACE OF A PROLINGIANTLY 1/4 WICH LEAVING THE CONTACT SURFACE CLEAN AND FREE OF LANTANCE.

### 1.7 CONCRETE REMFORCEMENT STEEL

- DETAILED OF CONCRETE RESPONDED THES AND ACCESSORES SHALL CONTROL TO THE ECOLORISTICS OF AS 315, "OFFICES AND OFFICES OFFICES OF CONCRETE REPRODUCTION TO AN AS 59-68, "DETAILED MANUAL". FALORIS OF REPORTED BLASS SHALL CONTROL TO THE REPORTED MANUAL OF DISHELDED MANUAL OF DISHELDED AND FALCING DIAMENS FOR REPORTED CONCRETE STREET, TREATMENT OF SHANDARD PRACTICE."
- CONCRETE RENECEDARNI BARS SHALL CONFORM TO ASTM ARIS, CRADE 60.
- RENFORCEMENT BARS SHALL NOT BE TACK WELDED, VELDER, HEATED OR CUIT UNLESS ROCKED ON THE CONTRACT COCUMENTS OR REVENED BY THE STRUCTURAL ENGAGER.
- NELDING OF REMFORESHENT BARS, WHEN ACCEPTED BY THE STRUCTURAL DIGMETR, SHALL CONFORM TO THE ALBREAN WELDING SECRETY STANDARD DI 4, LEETINGES FOR SHOP AND PELD HELDING OF REMFORESHENT BARS SHALL CONFORM TO ASTA ASSIS, CLASS EDGOL
- E. RESPONDEDENT DESIGNATION AS "CONTRINUOUS" MAY BE SPILEDO LISSING THRE "IS "SPILED. RESPONDEDING BAR SPILED LIGHTING IN BEAST WHICH ARE LOCATED AT THE CENTERLINE OF SUPPORTS FOR BOTTON BANS AND AT INSPART FOR TOP BARS ANY BE 38 BAR DIAMETERS, LINESSES INSTEED OTHERWISE. PROVIDE STANDARD AN HOUSE FOR TOP AND BOTTON BARS AT DESCRIPTIONS DESIGN FAIL, GRADE REALS, A
- . HORIZONTAL FOODIS AND HORIZONTAL WILL RENETRICIADIT SHALL BE CONTRADUS AND SHALL HAVE SO-DICINEE BEIDS AND EXTENSIONS, OR CORNER BASIS OF ECLIPALINE SIZE LAPPED 38 BAR DIAMETERS, AT COPINESS AND HIBRISCOOKS.
- L. ALL CROUT FOR STELL BEARING AND LEVELING SHALL BE NON-SHRINE AND SHALL HAVE A MINIMALNI COMPRESSIVE STRENGTH OF 5,000 PSI.

### A MINCELLAMEDUS

CROIT FOR BASE PLATES AND LEVELING SHALL SE NONSHRINKABLE, NON-NETALLIC COMPONENCE TO ASTA CREET, AND SHALL HAVE A SPECIFED 28-DAY COMPRESSIVE STRENGTH OF 5,000 PS. PREPROUTING OF BASE PLATES BULL NOT SE PERMITTED.





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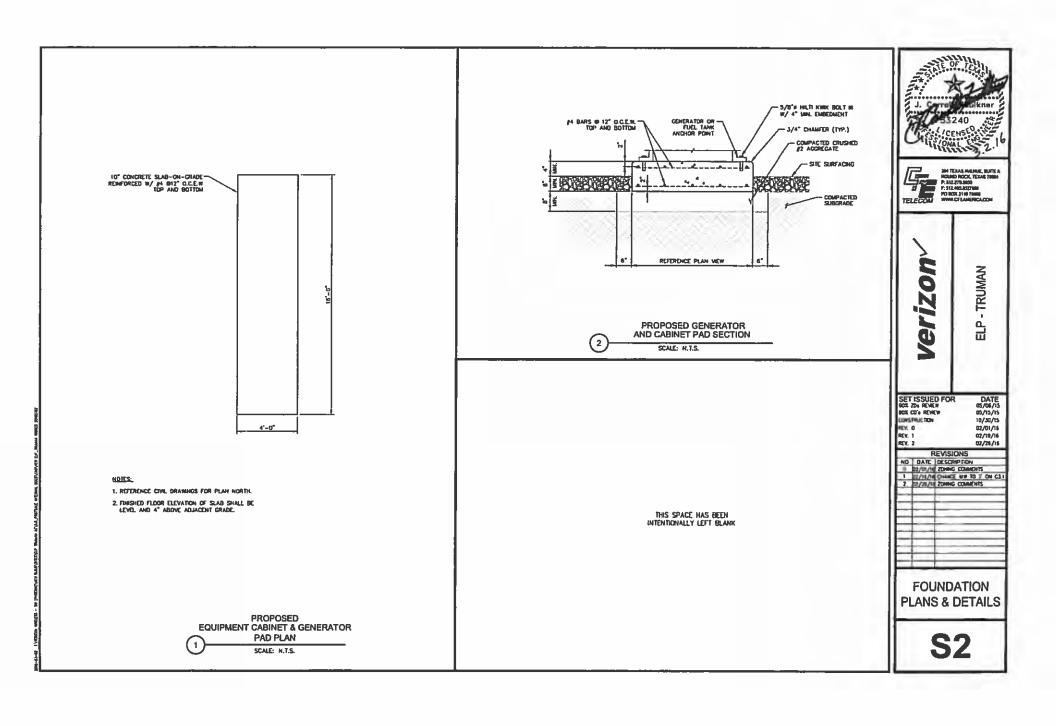
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STRUCTURAL NOTES

**S1** 



### **ELECTRICAL SPECIFICATIONS**

### L1 CENERAL

CONTRACTOR SHALL PROVIDE ALL TEMS OF LABOR AND MATURALS TO MAKE A COMPLETE INSTALLATION OF FLECTRICAL MORK, AS SHOWN ON DRAWINGS, AS SPECIFIED, AND AS INCESSARY FOR COMPLETE SYSTEMS, INCLUDING, BUT NOT LIMITED TO THE TOLLOWING:

# MAIN POWER BRANCH/FEEDERS AS REQUIRED. BRANCH FEEDER FOR POWER AND LICHTING. ALL ELECTRICAL CONDUCTORS AND CONDUCT. ALL MIRING DEVICES, SAFETY SHIROWS. ALL LIGHTING FORTHERS AND LAMPS. ALL COMMANICATION EMPTY CONDUT SYSTEMS. ALLICHNING SURGE PROTECTION DEVCE. ANTENNA AND EDUIPMENT GROUNDING.

ALL WORK SHALL BE DONE BY ACCURDANCE WITH ALL LOCAL ADMINISTRATIVE CODES, STATE AND 2014 NEC.

ALL WORK SHALL BE COMPLETED BY A CONTYFED WASTER ELECTROPHIC

ALL MORE SHALL CONFORM TO THE LATEST VERSION OF VERSION

AFTER INSTALLATION TEST ALL CONDUCTORS FOR SHORTS AND GROUNDS BEFORE ENERGIZING.

EXTERIOR LIGHTING SHALL COMPLY WITH OUTDOOR LIGHTING DROWNING AND

THE CONTRACTOR SHALL PURPERS A WRITTEN CERRITCATE, QUARANTEENS ALL MATERIALS, EXEMPLEY AND LABOR FUNESHED BY CONTRACTOR TO BE FREE OF ALL DEPOTES FOR A PRODE OF TO BE LIKE FROM AND AFTER THE DATE OF THAT, ACCEPTANCE OF ILLEFANCE, WORK, THE CONTRACTOR SHALL PURPERS CLARAFITE BASE AFT OF MY DESIGN APPEAR WITHIN THE STIPLIATED CLIMINATED PURIOD, SUCH NORK SHALL BE REPLACED IN THEOLOGY TO THE OWNER.

### PERDERS, SWITCHES, METERING EQUIPMENT

MAKE ARRANGEMENTS WITH DINICHS AS NEEDED TO BRING IN BRANCH FEEDERS FOR ELECTRICAL SERVICE AS SHOWN ON DRAWNICS, PAY ALL CHARGES INVOLVED THEREWITH FURNISH, INSTALL FEEDER WIRE TO DINICE DESTRUCTION PAREL, PROVIDE METER AS SHOWN ON DRAWNICS.

ELECTRICAL DEVICE INSTALLATION SHALL COMPLY WITH ACCESSIBILITY CODES, SPECIFICALLY, MOUNT APPLICABLE SWITCHES, RECEPTACLES, AND ENVIRONMENTAL CONTROLS SQ THAT THEY ARE MOUNTED WITH THE TOP OF THE CEVEC NO INCIDENT PLAN FORTY-POINT INCIDES (48 INCIDES) ABOVE THE FINANCE THAN FORTY-POINT INCIDES (48 INCIDES) ABOVE THE FINANCE THE DEVICE NO LIDIERT THAN FFREDIN MICHES (15 INCIDES) ABOVE THE FINANCE ALCORE ELECTRICAL DEVICES ABOVE A COUNTERTOR OF CHIEF COSTRUCTION SHOULD COMPLY WITH ICC/AMS 1171-2003 SECTION 308.

### PANELBOARD CONSTRUCTION

PANEL BOARDS SHALL CONSST OF A CAN, FRONT, INTURIOR AND CARCIST PROTECTIVE DEVICES AND SHALL BE MANUFACTURED IN ACCORDANCE WITH UNDERWINDER'S LABORATORIES, THE GAUGE OF METAL USED AND THE UNCLEMENTAL SHAPLE SHAPL BY ACCORDANCE WITH APPLICABLE U. STANDARDS, EACH PARE, SHAPL HAVE A DOOR MOUNTED ON A STANDARDS, EACH PARE, SHAPL HAVE A DOOR MOUNTED ON A STANDARDS, EACH PARE, SHAPL AND A CURBORY LOCK, PROCE CAND HADDER PROPERTY FILLD IN AS TO CHOOLIF, ALL PARESS WITH MASSER KEY, ALL PARESS WITH WAS ALL PAR SOUND THE COAT. PANEL BOARDS SHALL BE AS MANUFACTURED BY GE.

## u

A. CONDUCTORS SHALL BE TYPE "THEN/THINK INSULATION.

DISTALL CONDUCTORS IN CLEAK, DRY CONQUETS, USE III. APPROVED PIALING

LEE #12 AS MANAGE CONDUCTOR SEE FOR POWER SYSTEMS, ALL CONTROL WIRES SHALL BE STRANGED AND TURNMATED WITH COMPED-ON Е.

MAKE CONNECTON, SPUCES AND TAPS ONLY IN APPROVED BOXES AND TITBIOS, FOR SMALL BRANCH CRIGHT COMPLETIES, FIRST THIS! CONDUCTORS FIRST THIS! CONDUCTORS FOR THIS FIRST THIS STOREMAND STATE, A "SECTIONAL" OR TOUR. SPRING CONDUCTORS SHE SPUT-BOLT OR PROBABILISTY COMPRESSED CONNECTIONS, THIS APPLY EDUCAL VAPOR OF WAY, ELECTRICAL FAME TO COURT THE OCKALATION VALLE OF THE

WHERE FACTORY COLOR CODES CONDUCTORS ARE NOT AVAILABLE, INSTALL BANDS OF COLORED WHIL PLASTIC TAPE AT EACH ONO OF EACH CONDUCTOR.

### 1.7 COMPART

A. PROMDE A COMPLETE ASSEMBLY OF CONDUST, TURNOS OR DUCT WITH HITMOS, NOLLIGING, BUT NOT LIMITED TO, CONNECTORS, MPPLES, COMPONENTS AND ACCESSIONES AS NEEDED. COMPETIONS AND COMPLING MUST BE COMPRESSION THY TO FOR PROMISE REQUIRED.

B. FITTINGS SHALL BE DESIGNED AND APPROVED FOR THE SPECIFIC USE INTERIORS. PROVIDE RESULATED THROATS OR BUSINESS FOR ALL CONDUTS. CROLHONG BUSINGS SHALL ALSO HAVE PISULATED THROATS

C. Handay Countil 97f at All CASES DOLL OF 177 LIMPS, January 97f IS SPECIFICD TO BE LARCER FOR SPECIFIC SYSTEMS SPECIFIED DISEWHORE

ROCD STEEL CONDUST SHALL BE YEAVY—MALL STEEL THRE WITH METALLIC CORROSON—RESSEANT COATING ON INTERER AND EXTERDE, NOT—OPPOID ON CALVARIEST, REFE TITUDE OFFICES, IMMARIACINEST IN ACCORDINATE TO ANS STRONGERS, AND UL-LISTED, USE REFLUEDED COMPANIES, USE ROCE OF CALVARIEST STEEL, COROUTE IN ALL LICCATIONS UNLISES NOTED ORIGINALS.

F. INDERCROUND CONDUCT SHARE RE-SCHOOL F-AD PACE

AS A MINIMALM, CONDUST SIZES SHALL BE IN ACCORDANCE WITH NEC CONDUST FILL RECURRENCINES, REGARDLESS OF SIZE SCHEDULE OR ROCATED. IF LARCER SIZE IS SCHEDULED ON HORCARD, THE LARCER SIZE

ANCHOR CONDUIT WITH HANCERS, CONDUST STRAPS OR DIVER DEVICES SPECIFICALLY DESCRIED FOR THE PURPOSE, WIRE THE SHALL NOT BE PURBUTTED. USE, TRAPEZE HANCERS FOR WARTPLE PARALLEL CONDUST.

ALL CONCRETE INSURTS SHALL BE CALVANATED OR CADMUM PLATED: PROMOLIAL HANCERS, TRAPEZE HANCERS AND ROOS SHALL BE PRIME COARD

INSTALL HORIZONTAL RUNS OF CONDUST TO PROVIDE A MATURAL DRAIN TO PREVENT MOSTURE COLLECTING IN THE PODICTS OF TRAPS.

CAP CONQUET ENDS UNTIL CONQUETOR IS INSTALLED TO PREVENT FOREIGN OBJECTS FROM ENTERING CONQUET.

FITTINGS AND COMMITS SMALL BE APPROVED FOR GROUNDING PURPOSES OR SMALL BE JURPERED WITH A COPPER GROUNDING CONDUCTOR OF PROPER AMPACTY, LEAVE TERMINATION OF SUCH JUMPERS EXPOSED.

F. INSTALL (2) 200 POUND WILDN PLEL CORDS IN ROUGH-IN RACEBAYS.

G. INSTALL OFFSETS, PLAL BOXES AND ELBONS AS REQUIRED TO ACCOMPLISH A HARMONOUS ROUTING OF THE SYSTEM'S.

OPENICS ARCUND ELECTRICAL PENETRATIONS THROUGH FIRE RESISTANT RATED CONSTRUCTION SHALL HE FRE-STOPPED USING APPROVED METRODS TO MAINTAIN THE FIRE RESISTANT RATING.

### 19 AINCTION AND PULL BOXES

A. USE CALVANEZED PILL AND ANOTHER BOXES THAT COMPLY WITH NEC AS TO SEE AND COMPLETE PROPERTY.

B. FOR JUNCTION AND PULL BOXES, USE BOXES NOT LESS THAN 4" SQUARE AND 1 1/2" DEEP WITH REMOVABLE COVERS.

IN HET AREAS OR OUTDOORS, USE CAST ALLAMAUN OR CAST FROM BOXES WITH THREADED HUBS AND CASKETED COVERS.

INSTALL AMOTION AND PULL BOXES IN ACCESSIBLE LOCATIONS, POSITION BOXES, SIG COVERS CAN BE REMOVED.

E. MISTALL BOXES ON CONCEASED CONDUITS WITH COVERS FLUSH WITH FINISH.

### LIS LINGAS CONTAINERS

ALL ELECTRICAL COMPMENT AND WRING WHIM (5) FINE FEET SHALL BE

ELECTRICAL IMPING AND EDUPMENT (5) ITVE FEET TO (10) TEN FEET SHALL

### GROUNDING SPECIFICATIONS

GROUNDING SHALL BE INSTALLED FOR VEHICUM MRDLESS INSTO 46 STANDARDS AND GUIDDLINES FOR COMMUNICATIONS SITES.

ALL EXTERNAL GROUNDING CONNECTIONS SHALL BE MADE BY THE EXIGINERAC PROCESS, BY RIFEVERSBLE HICH COMPRESSION, AMO/OR BY EXCHANGE PROCESS, BY WAR WITSHED WITH COMPRESSION, AND/ON BY 2-MOLE COMPLETONS SHALL BE USED. COMPLETONS SHALL HOLDER ALL CABLE TO CABLE SPLICE. ALL MATERIALS USED (MOLDS, MELDING METAL, TOCKS, ETC.) SHALL BE INSTALLED PER WANUFACTURER'S RECOMMENDATIONS AND

ALL INTERIOR CROLADING AND BONDING CONDUCTORS SHALL BE CONNECTED BY THIS HOLE—TYPE (COMPRESSON) CONNECTIONS. MECHANICAL CONNECTIONS, FITTINGS OR CONNECTIONS THAT DEPEND SOLULY ON SOLDER SHALL NOT BE USED.

all ground rods shall be copportable stell s/8° m/6" of long and of the number and at locatons nodicated. Ground rods shall be driven full length vertically in undistance earth.

CROUND RODS SHALL BE LOCATED SO AS TO AVOID THE TOWER

IF BOOK IS ENCOUNTERED, CROLIND ROOS MAY BE DRIVEN AT AN OFEIGUE ANCLE OF NOT CREATER THAN 45 DECREES FROM VERTICAL OR MAY BE BURED HORZONTALLY AND PORPENDICALAR TO THE BUILDING, IN A

CROUND ROOS SHALL BE BURED TO A WINMAM DEPTH OF 30 INCIES BELOW PRESHED CRADE, WICHE POSSBILE, OR BURED BELOW THE FREEZE LINE, WHONEVER OUT IN IS CREATER.

CROUND RODS SHALL NOT BE INSTALLED MORE THAN IN FEET APART (OR TIMCE THE LENGTH OF THE ROD) AND NOT LESS THAN IS FEET (PER HIPPA

ALL EXITING GROUND BARS SHALL BE CALVANGED "VERTION DO NOT RECYCLE" BARS AND ALL WERRICH GROUND BARS SHALL BE DIFFURNITIONEY SIZE TO DROUND ARTS SHALL BE DIFFURNICE (BARL 27-12"), HOLLE SHALL BE TARROWN STATEMENTS WORLD BE 7/16" DIAMETER ON 3/4" CENTERS TO PERMIT THE CONVENENT TO

THE METHOD OF ATTACHMENT OF THE CROUNDING ELECTRIDE CONDUCTOR TO EXTUROR AND TONER CROUND BARS SHALL BE EXCHIEDUE OR PREVENSIBLE HIGH COMPRESSION.

ALL EXTERIOR CRICATIONIC CARLES SHALL BE STANDARD JZ THANED SOLID BARE COPPER MIRE LIALESS HOICATED OTHERWISE ON DRAWINGS.

WEN THE DIRECTION OF THE CONDUCTOR WAST CHANGE, IT SHALL BE DONE GRADUALLY, ALL BENCS SHALL BE MADE WITH THE DIRECTION PRACTICAL RADIUS AND SHALL NOT BE LESS THAN B".

ALL CONCLUTS SHALL ME MECHANICALLY SUPPORTED.

ALL METALLIC COMBUST SHALL USE CROUND-BUSHING COMMECTIONS.

ALL CONDUITS USED AS RACEWAYS FOR OROUNDING CONDUCTORS SHALL BE BONDED AT BOTH ENDS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEE).

F. PROVICE WIRE PROTECTION PIPES AT ALL CROUND WIRES AT GRADE LEVEL

THE CROUND RING ENCIRCLING THE BUILDING SHALL BE A MANARM SIZE OF NO. 2 BAKE THINGED SCALD COPPER CONDUCTION IN DIRECT CONTACT WITH THE EARTH AT A MINISTRA DEPTH OF 28 MONES. CONDUCTOR BENOS SHALL HAVE A MINISTRA RABLES OF B NICHES.

ALL EXTERNAL CRISING MINES ARE TO BE JUNED TOZETHER AND ALL CONNECTIONS SHALL BE ENDIFICIANC OR PREVENIBLE HIGH COMPRESSION, NO LUCIS OR CLAMPS MILE & ACCEPTED.

ON NEW CONSTRUCTION, A CONCRETE ENCASED ELECTRODE SHALL BE CONSIDERED ANALABLE AND INSTALLED IN COMPLIANCE WITH INCC 250.52(A) (3). If A CONCRETE ENCASED ELECTRODE IS NOT PRESENT, THEN AT LEAST 20 FEET OF \$2 AND BANE COMPLET IN DIRECT CONTACT WITH THE EARTH AT A DEPTH BELOW THE EARTH'S SURFACE OF NOT LESS THAN THEFT (3) INDEES SHALL BE RETAINED BY A CONTROL DESCRIPTION THAN THEFT (3) INDEES SHALL BE RETAINED BY A CONTROL OF THE INDEED THAT IS AT LEAST TRENTY (20) FEET BY LENGTH, ANCIGNTED WITH A WIRMAN OF THE (2), DEAT (8) FOOT CROLAD ROOS CHE AT EACH CHO OF THE (2) AND COMMUNICATION.

### 2.7 DESCRIPANIMETALS

BONDING OF THE DISSIBILAR METALS MAY RESULT IN CALYAMIC CONFISION, A REACTION THAT OCCURS AT THE ARCHOOL OF DESSIBLAR METALS WHICH THEY ARE EMPESSED TO MOSTRIES. HE DEDIRE AND RATE OF CORROSON DEPUNDS ON THE RELATING POSTRON OF THE METALS IN THE ELECTROCHEMICAL STREES.

HE SAME METAL SHALL BE USED THROUGHOUT THE SYSTEM WHEN

POSSIBLE
EXCITAGENICALLY RELE CONNECTIONS OF DIFFERENT METALS WHEN WELD
MATERIAL IS AVAILABLE FOR THE METALS BEING BONDED.

COPPER CONDUCTORS SHALL NOT BE INSTALLED ON ALLAMAN ROOFING

OR SOME.

ALIMMAN AND COPPER SHALL NOT BE DRECKY COMMODITIO TO EACH OTHER MALESS (SAME CORPRESSE VELDING MATERIALS SPECIFICALLY MEDICAL OF INSECT FOR METALS TO MAKE THE COMMETCION, ALIMMAN AND COPPER MAY BE ADDED WHY THE U.S. OF A USERS INSECTABLE TRANSITION COMMETCION OF STRANSISTS STEEL. THESE COMMETCING SMALL BE LESSED FOR THE SMALL SHAD MANIEST OF COMMETCING SMALL BE LESSED FOR THE SMALL AND MANIEST OF COMMETCING SMALL BE LESSED OF THE SMALL AND MANIEST OF SCHOOL COMMETCING SMALL BE LESSED. CONDUCTIVE ANTICKDANT AT THE POINT OF INSCITION INTO THE

COPPER SHALL NOT COME IN CONTACT WITH GALYANGED STEEL.
THREED COPPER SHALL BE USED WHEN CONNECTING TO A GALYANGED
SHELL STRUCTURE.

### ANTERNAMENT

ANTI-DIDDART COMPOUND SHALL BE USED BETWEEN ALL EXTERNAL MECHANICAL COMPETIONS, CARE SHALL BE TAKEN TO USE THE APPROPRIATE ANTI-DISTANT TYPE. ZNC ANTI-DISSANT (CRAY COLOR)
SMALL RE LISED WICH COMMETTING TO GALYAMIZED AND ALLBONIAN
DRUCTS AND COPPER ANTI-DISDANT (COPPER COLOR) SHALL BE USED WHEN CONNECTING TO COPPER OBJECTS.

THE CROWNO SYSTEM RESISTANCE SHALL NOT EXCEED TO CHAIS. A DESIGN COAL OF 5 CHAIS IS RECOMMENDED. TESTING SHALL BE PERFORMED ON ACCORDANCE WITH SECTION 6.6 IN VERIZON WIRELESS MISTO 46 (DATED

GROUND TEST WEST BE PERFORMED PROR TO WILLTY COMMECTION AND GROUND COMMECTION TO EXISTING STE COMMON CROWNING ELECTRODE

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MOS. CO's REVIEW

CENSTRUCTION

REV. 2

ELECTRICAL & GROUNDING NOTES

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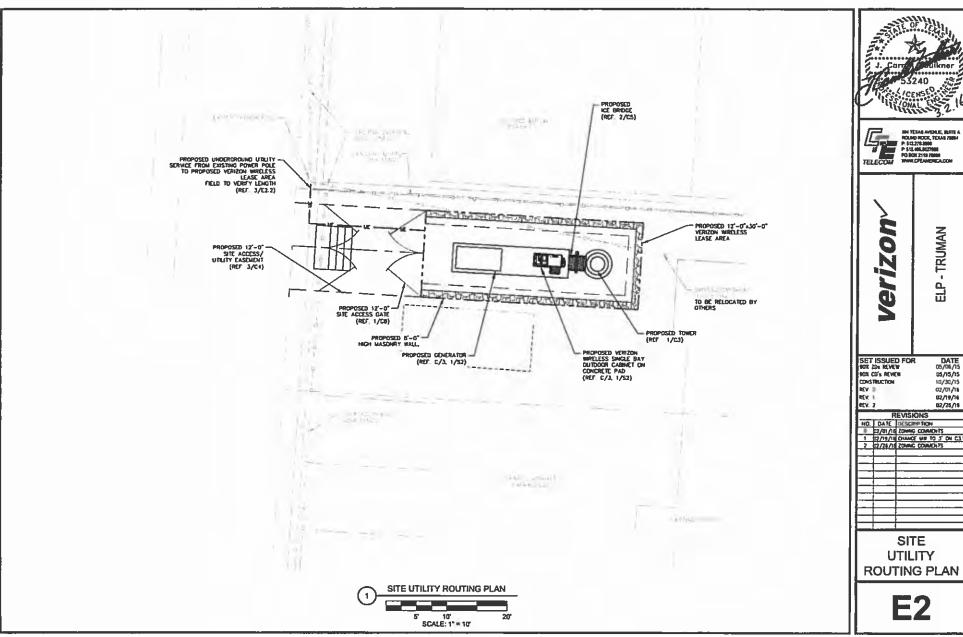
-	CROUND BAR
•	EXONERMS MOTO
<b>A</b>	PREVERSIBLE HIGH COMPRESSION COMPRESSION
•	HEDHANICAL COMESTON (2-HOLE EUG, COMOUT CROUMD CLAMP, [TC.)
-11-	GROUND ROD WITH
*4	EXOTHERMIC WELD
-II <del>[</del> <b>-②</b>	GROUND ROD WITH TEST WELL

CHEMINOC

FE THACK SOUR BARE COPPER

CROLARD (EXTERIOR)

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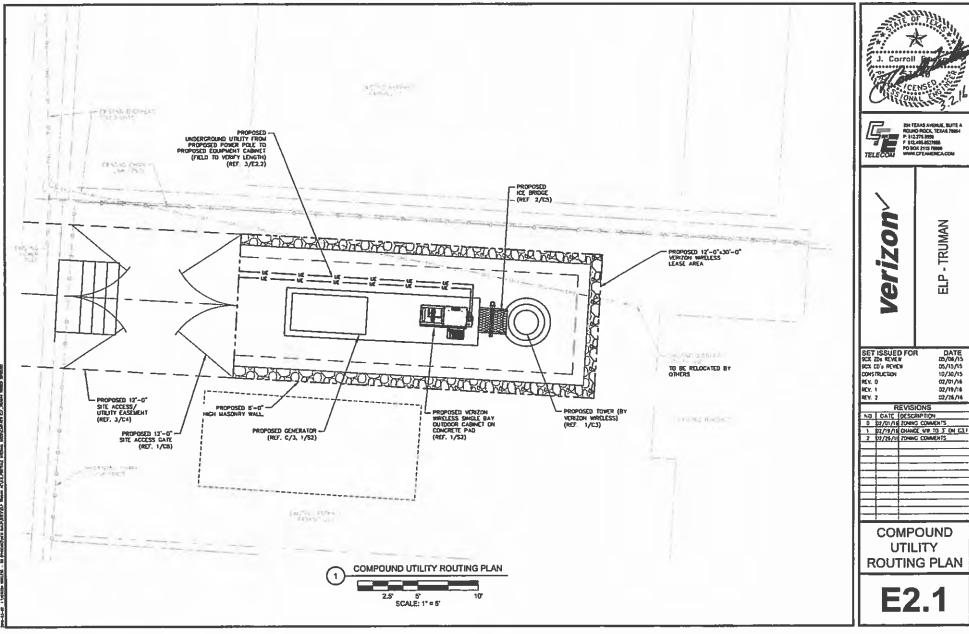
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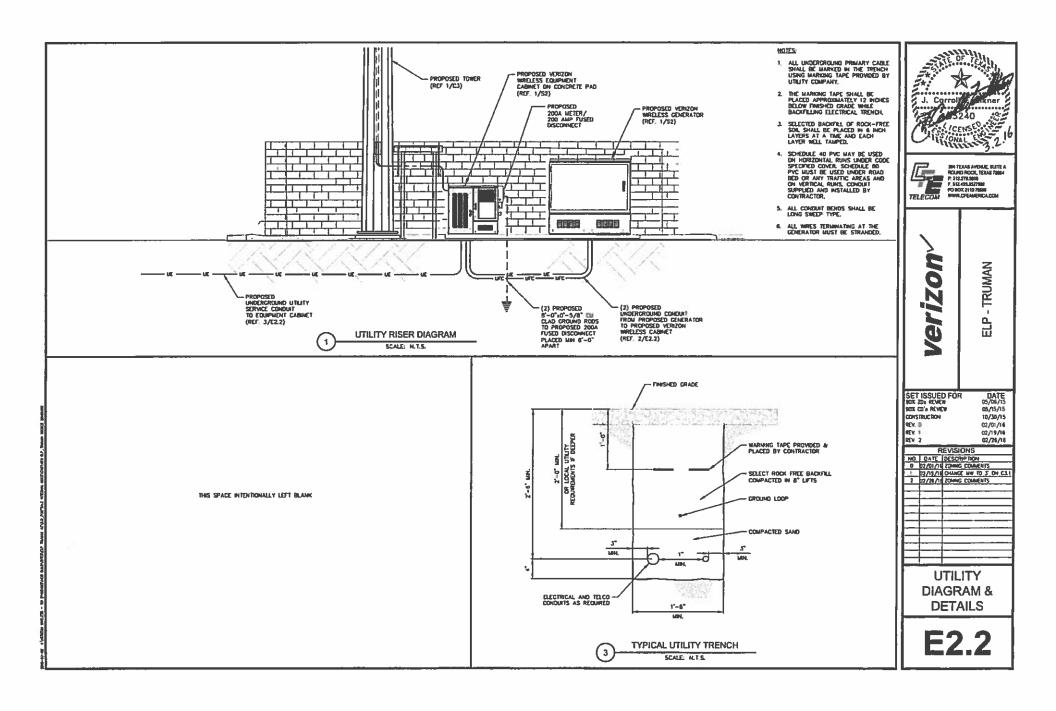
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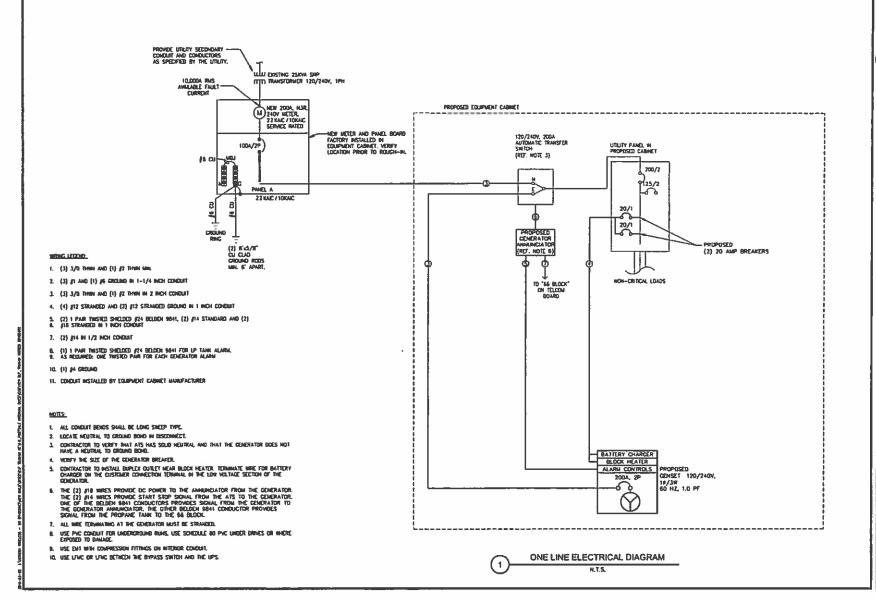
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UTILITY **ROUTING PLAN** 













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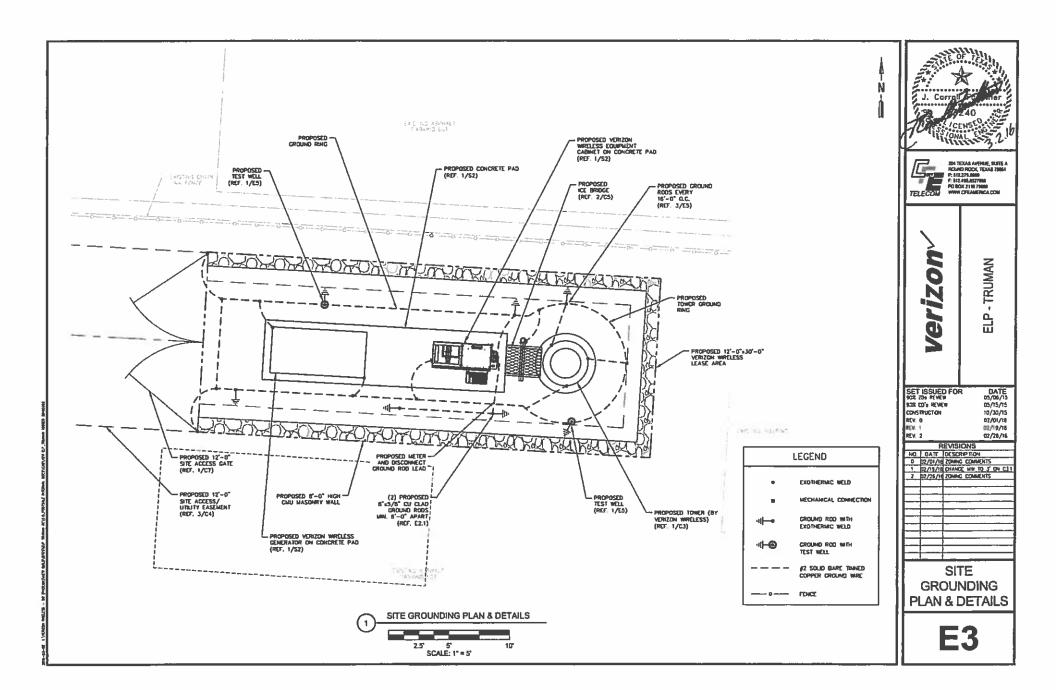
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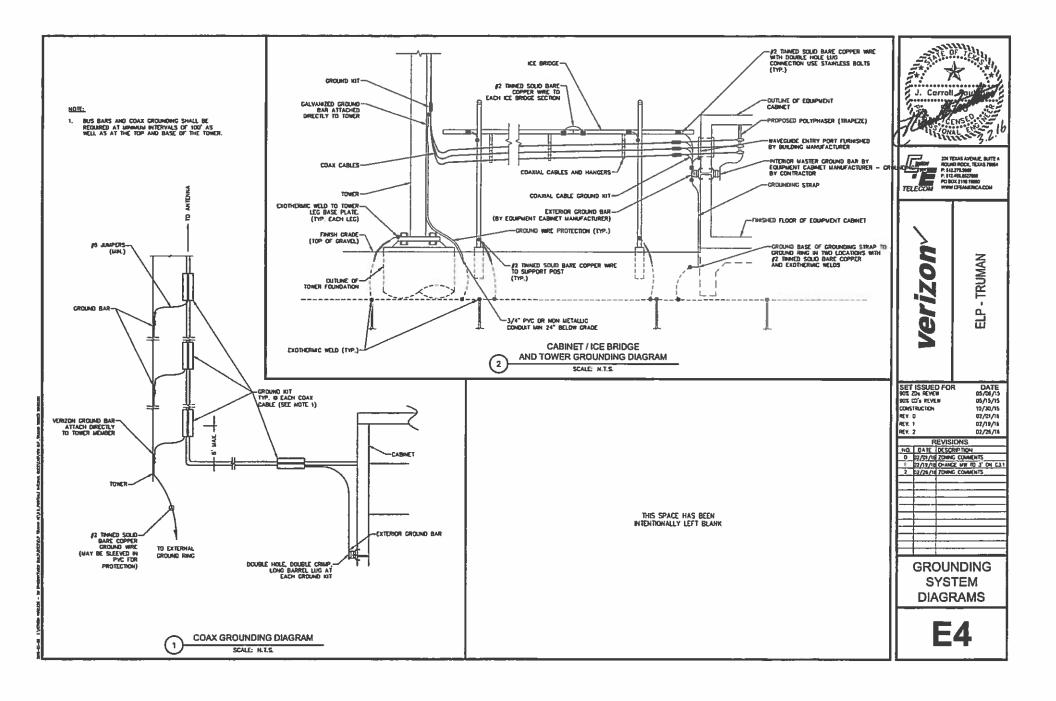
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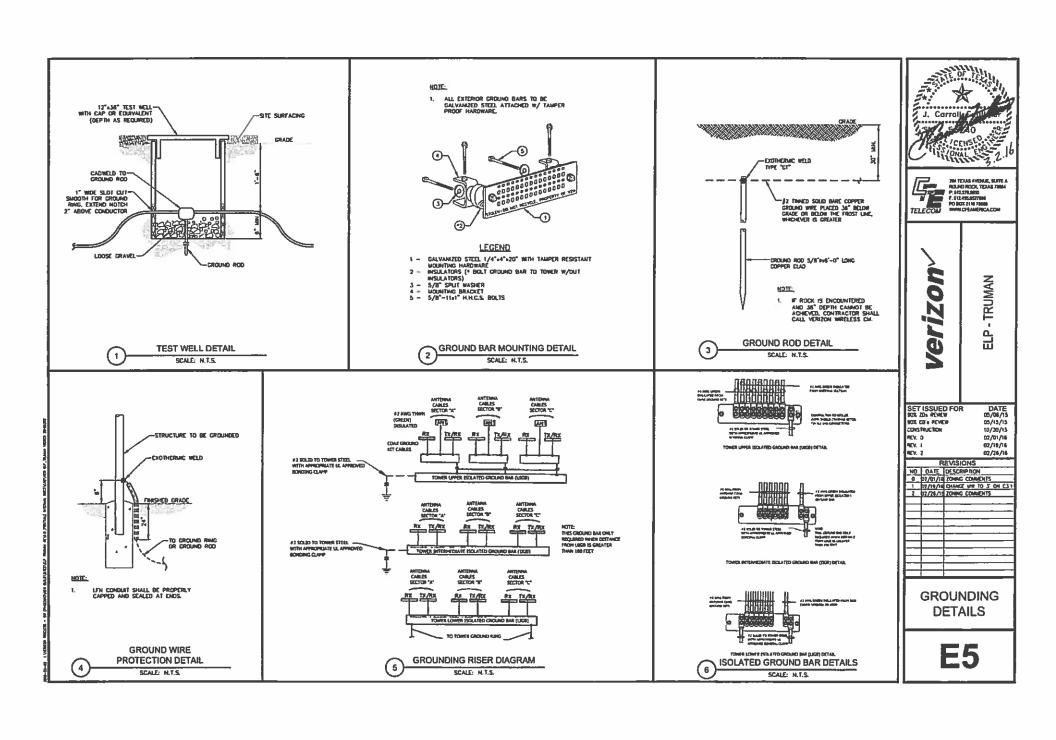
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ELECTRICAL ONE LINE DIAGRAM

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# MEMORANDUM

**DATE:** April 11, 2016

**TO:** The Honorable Mayor and City Council

Tommy Gonzalez, City Manager

**FROM:** Andrew Salloum, Planner

SUBJECT: PZST16-00002

The City Plan Commission (CPC), on March 10, 2016, voted 5-1 to recommend **approval** of the special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within two one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F.

The CPC found that the special permit is in conformance with Plan El Paso. The CPC also determined that the special permit protects the best interest, health, safety and welfare of the public in general; that the proposed use is compatible with adjacent land uses; and the special permit will have no effect on the natural environment, social economic conditions, and property values in the vicinity and the city as a whole.

The Planning Division received 1 phone call and one person spoke at the CPC in opposition to the special permit request.

**Property Owner:** Mohammed Farokhnia

**Applicant:** Dallas MTA, LP d/b/a Verizon Wireless **Representative:** Debra Weiss, Agent, KGI Wireless

**Attachments:** Minority Report Staff Report

# MEMORANDUM

**DATE:** April 18, 2016

TO: Mayor and City Council

FROM: Jose M. Landeros, City Plan Commission

SUBJECT: Minority Report PZST16-00002

As the demand for cellular service continues to expand across the nation, communities are challenged in accommodating the installation of these facilities against protecting the needs and concerns of the community's residents. While there are numerous federal standards and regulations related to personal wireless service facilities (PWSF), the authority for a local government to also regulate these facilities is very narrow. However, there are some amendments that, if adopted by Council, would allow further opportunity for the public, Commission and Council to discuss and consider additional factors whenever a PWSF requests a special permit from the City. The City Attorney's office has advised that this Commission make a recommendation to City Council to amend the current zoning regulations for personal wireless service facilities in order to take into consideration the effect this use has on the community.

As a matter of policy, the City should amend the regulating ordinance to make the standards of review consistent with other rezoning matters. Members of the public also deserve the opportunity to share these concerns and have them fully considered by the Council and Commission's decision-making process.

CC:

Larry F. Nichols, Director, Planning & Inspections

Carlos Gallinar, Planning Deputy Director

Kimberly L. Forsyth, Planning Program Manager



# City of El Paso - City Plan Commission Staff Report

**Case No:** PZST16-00002

**Application Type:** Special Permit and Detailed Site Development Plan Review

**CPC Hearing Date:** March 10, 2016

**Staff Planner:** Andrew Salloum, (915) 212-1613, salloumam@elpasotexas.gov

**Location:** 4801 Dyer Street

**Legal Description:** A portion of Lots 1 & 2, Block 109, Morningside Heights, City of El Paso, El Paso

County, Texas

Acreage: 0.008 acres

**Rep District:** 2

**Zoning:** C-4 (Commercial)

**Existing Use:** Motor vehicle repair, major

C/SC/SP/ZBA/LNC: None

**Request:** Special Permit to allow for a Personal Wireless Service Facility (PWSF) within a

one-half mile distance to another PWSF

**Proposed Use:** Ground-mounted PWSF

**Property Owner:** Mohammed Farokhnia

**Applicant:** Dallas MTA, LP d/b/a Verizon Wireless **Representative:** Debra Weiss, Agent, KGI Wireless

# SURROUNDING ZONING AND LAND USE

**North**: C-4 (Commercial) / Pawn shop

**South:** C-4 (Commercial) / Limousine service

East: C-4/sp (Commercial/special permit) / Restaurant, Bar and Lounge

West: S-D (Special Development) / Vacated building

PLAN EL PASO DESIGNATION: G-2, Traditional Neighborhood (Walkable) (Central Planning Area)

**NEAREST PARK:** Pollard Park (1,498 feet)

**NEAREST SCHOOL:** Travis Elementary (1,284 feet)

# **NEIGHBORHOOD ASSOCIATIONS**

Central Neighborhood Association El Paso Central Business Association

# **NEIGHBORHOOD INPUT**

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on February 24, 2016. The Planning Division has received a phone call in opposition to the special permit request.

# APPLICATION DESCRIPTION

The applicant is requesting a special permit to allow for the placement of a ground-mounted personal wireless service facility (PWSF) on the proposed site within a one-half mile radius of an existing PWSF site as required by El Paso City Code Section 20.10.455F. The site plan shows a 360 sq. ft. lease area for a 68-foot high structure with antennas and service equipment enclosure. The antennas and support structure will be camouflaged to resemble a palm tree. The proposed PWSF meets all setback and height requirements for location in a commercial district. The applicant opted to request a landscape buyout as permitted by the landscaping ordinance for PWSF facilities. Two nearest PWSF are 0.35 miles to the southeast and is located on Tyler Avenue and 0.44 miles to the southwest and is located on Fillmore

Avenue. A maintenance access easement within a driveway is proposed from the alley via Truman Avenue.

#### PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **approval** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.10.455 PWSF, 20.04.320, Special Permit, and 20.04.150, Detailed Site Development Plan.

#### **ANALYSIS**

20.10.455 Personal Wireless Service Facility (PWSF)

#### F. C-3, C-4 and C-5 Commercial Districts.

- 1. Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:
  - a. Setbacks. The PWSF antenna support structure shall meet the yard standards of the district, except that a setback of one foot for each foot of height, measured from the PWSF antenna support structure base to any abutting property line of property in a residential or apartment zoning district shall be required. In the case where a right-of-way or easement separates the property from a residential zoning district, the width of such right-of-way or easement shall be included in meeting the setback requirement; provided, however, that the setback from the property line shall never be less than that required in the district yard standards.
  - b. Separation Between PWSF Antenna Support Structures. The minimum separation distance between ground-mounted PWSF antenna support structures shall be one-half mile, except as provided in subsection (F)(1)(c). Separation distance shall be measured by drawing or following a straight line between the base of any existing PWSF antenna support structure and the proposed base of a new PWSF antenna support structure.
  - c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:
    - i. The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
    - ii. The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
    - iii. The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;
    - iv. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and
    - v. The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

The applicant has submitted proof that all 5 findings have been met, (see attachment 6).

d. Height Restriction. The PWSF antenna support structure and appurtenant antennas shall not exceed one hundred twenty-five feet in height, except as provided in subsection (F)(1)(e) or (F)(1)(f).

- e. Modified Height Restriction. If the applicant is collocating two or more antennas on a structure or if the structure is camouflaged, then the height for a PWSF antenna support structure and appurtenant antennas shall not exceed one hundred fifty feet.
- f. Special Permit for Additional Height in C-3 and C-4 Commercial Districts Only. The height for a ground-mounted PWSF antenna support structure and appurtenant antennas may be increased by city council upon approval of a special permit application, if the city council finds that:
  - i. The property on which the PWSF antenna support structure is to be located is the only property reasonably available for use by the applicant for a PWSF antenna support structure of the height being proposed by the applicant that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
  - ii. The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;
  - iii. The applicant cannot use another PWSF antenna support structure that is located such that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable or that the other PWSF antenna support structures used by the applicant will not safely support additional antennas; and
  - iv. Due to topographical conditions, the proposed height of the PWSF antenna support structure is reasonably necessary to enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable.

#### g. Camouflage and Screening.

- i. All Ground-Mounted PWSF Shall be Camouflaged. Camouflaging is a method of disguising or concealing the appearance of an object by changing its usual color, modifying its shape or locating it in a structure that complements the natural setting, existing and surrounding structures. In the context of this section, camouflaging, includes, but is not limited to, making PWSF antenna support structures resemble man-made trees, locating PWSF antenna support structures in bell steeples or clock towers, or on similar alternative-design mounting structures.
- ii. Metallic Surfaces Shall be Painted to Reduce Glare and Reflections. No exterior paint colors shall be used which have a light reflecting value (LRV) greater than forty percent. The LRV of a paint is available from paint manufacturers and it measures the amount of light reflected by a certain color.
- iii. Screening of antennas on PWSF antenna support structures may include the use of existing parapets, walls, or similar architectural elements provided that it is painted and texturized to integrate with the architecture of the surrounding structure.
- iv. Landscaping shall comply with all code requirements for landscaping.
- h. Other Requirements. The following must accompany a request for a building permit or special permit:
  - i. A detailed plan showing the PWSF antennas support, antennas, and equipment in relation to the existing surroundings including screening, fencing, camouflage, off-street parking, and access from the PWSF antennas support site to the nearest public street;
  - ii. A verification letter that all required FAA and FCC approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant;
  - iii. Satisfactory completion of a certification of compliance for personal wireless service providers issued by the public safety technology office prior to actual use of the proposed facility accompanied by a verification letter that all required Federal Aviation Administration (FAA) and Federal Communications Commission (FCC) approvals have been requested and that site-specific structural engineering and nonionizing electromagnetic radiation (NIER) reports are available on request from the applicant; and
  - iv. The design of related support structures for new PWSF antenna support structures shall incorporate materials, colors, textures, screening, and camouflaging techniques that will blend them to the extent reasonably possible into the natural setting and surrounding

structures. The applicant will be required to provide photographs of predevelopment views versus post-development illustrations, at ninety-degree angles for a full three hundred sixty-degree radius, shown to scale. The building official shall review and consider any of the five items above to mitigate negative visual impacts created by the proposed PWSF antenna support structure and may require reasonable revisions necessary to bring the application into compliance with one or more of the five items above.

- i. A six-foot high screening fence or wall of other than chain-link shall be constructed around the base of an antenna support structure to provide for security. The gate which provides access to the antenna support shall remain locked at all times except when being used for access by maintenance personnel. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted after review and approval by the building official of a structural recertification report prepared and sealed by a licensed professional engineer.
- j. The access driveway and off-street parking spaces for use by maintenance vehicles shall be paved as approved by the building official.
- k. Collocation or installation of additional antennas on an existing antenna support structure shall be permitted. A structural recertification report prepared and sealed by a licensed professional engineer shall be required, and such report shall be reviewed and approved by the building official prior to issuance of a building permit.

The application meets the requirements for PWSF.

#### 20.04.320 Special permit approvals.

- A. Building and occupancy permits shall not be issued to any building or use identified in this title as requiring a special permit until after approval of such special permit by the city council.
- B. Building and occupancy permits shall not be issued for any building or use identified in this title as requiring an approved detailed site development plan as required by Article III, until such approval has been granted.
- C. No building or occupancy permit may be granted for the erection, rehabilitation, enlargement or demolition of any building in a designated historic area or for any building that is a designated historic landmark until prior approval has been granted by the historic landmark commission.
- D. The city council, after hearing and report by the city plan commission, may approve a special permit upon a finding that the proposed development meets the following minimum requirements necessary to protect the public health, safety and general welfare of the community:
  - 1. The proposed development complies, except to the extent waived, varied or modified pursuant to the provisions of this title, with all of the standards and conditions applicable in the zoning district in which it is proposed to be located; complies with any special standards applicable to the particular type of development being proposed, or to the particular area in which the development is proposed; complies with any special approvals required in connection with such development or area;
  - 2. The proposed development is in accordance with and in furtherance of the plan for El Paso, any special neighborhood plans or policies adopted by the city regarding the development area, or any approved concept plan;
  - 3. The proposed development is adequately served by and will not impose an undue burden upon the public improvements and rights-of-way by which it will be served or benefited, or which exist or are planned for installation within its boundaries or their immediate vicinity. A traffic impact study may be required to determine the effects of the proposed development on the public rights-of-way;
  - 4. Any impacts of the proposed development on adjacent property are adequately mitigated with the design, proposed construction and phasing of the site development;
  - 5. The design of the proposed development mitigates substantial environmental problems;
  - 6. The proposed development provides adequate landscaping and/or screening where needed to reduce visibility to adjacent uses;
  - 7. The proposed development is compatible with adjacent structures and uses;

- 8. The proposed development is not materially detrimental to the enjoyment or valuation of the property adjacent to the site.
- E. The applicant may request that the city plan commission waive one or more of the criteria based on its no applicability to the proposed development. The city plan commission, upon a recommendation of the planning official, shall make a determination on the no applicability of the criteria and shall render a finding based on such determination, and shall forward their recommendation to city council for final review and approval.

The application meets the requirements for special permit.

#### 20.04.140 When required.

Except as stated herein, a detailed site development plan is required prior to development in a special purpose district or with a special permit application and may be required if a zoning condition exists on a particular piece of property. Detailed site development plans are not required for any projects for development in the Mixed Use District (RMU, GMU and IMU) or for any other projects other than those located in special purpose districts or as otherwise required herein.

Detailed Site Development Plan review is required as part of the special permit application.

#### 20.04.150 Procedure.

- D. City plan commission approval. Pursuant to this Code, the city plan commission, in addition to the powers and duties identified in this chapter, shall have final authority on approval of all other detailed site development plans, unless a zoning condition, contract provision, other city code provision or state law require the detailed site development plan to be approved by city council.
  - 1. The planning division shall make its recommendations to the city plan commission within thirty days after a complete application is submitted.
  - 2. The city plan commission shall hold a public hearing at its regular meeting that is within thirty days from receipt of department recommendations.
  - 3. The commission shall consider the following information when approving a proposed detailed site development plan: the boundaries of the tract proposed for development; location and arrangement of structures; determine if the use conforms to applicable zoning regulations, determine if historic landmark commission approval has been granted for architectural design of all structures if located in a historic district and the design conforms to such approval; location of utility rights-of-way and easements and storm water drainage; vehicular and pedestrian ways; on-site parking areas; location of open spaces and landscape planted areas.
  - 4. In no instance shall the city plan commission have authority to vary the yard standards applicable to the district.
  - 5. The city plan commission shall approve the plan if it complies with all applicable code provisions.

Planning Staff has reviewed the detailed site development plan, and verified that it meets all requirements of Sections 20.04.320, Special Permit, and 20.04.150 Detailed Site Development Plan.

#### Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-2 – Traditional Neighborhood (Walkable): This sector includes the remainder of central El Paso as it existed through World War II. Blocks are small and usually have rear alleys; buildings directly faced streets; schools, parks, and small shops are integrated with residential areas. This sector is well-suited for use of the SmartCode as a replacement for current zoning when planned in conjunction with specific neighborhood plans or identified in this Comprehensive Plan.

The purpose of the C-4 (Commercial) district is to provide for locations for the most intensive commercial uses intended to serve the entire city. It is intended that the district regulations permit heavy commercial uses *PZST16-00002*5

March 10, 2016

characterized by automotive and light warehousing. The regulations of the districts are intended to provide a transition from general business areas to industrial and manufacturing uses, and to accommodate major locations of commerce, service and employment activities. Within the central business district, more intensive commercial uses are allowed, the predominant of which are retail trade and service uses, providing less restrictive height and area regulations.

#### **COMMENTS:**

#### <u>Planning and Inspections Department – Planning Division - Transportation</u>

No objections to the special permit request.

#### Note:

All existing / proposed paths of travel (accessible sidewalks, wheelchair access curb ramps and driveways) within public rights-of-way shall be in compliance with current ADA/TAS rules and regulations and the current City of El Paso Design Standards for Construction.

#### Planning and Inspections Department - Plan Review

No objections to proposed special permit.

#### Note:

At the time of submittal for building permits the project will need to comply with all applicable provisions of the IRC and local municipal code.

#### Planning and Inspections Department - Landscaping Division

No objection to proposed special permit per submitted landscape buyout letter.

#### Planning and Inspections Department - Land Development

- 1. No further objections.
- 2. Approval of the site plans by CPC constitutes a determination that the applicant is in compliance with the minimum provisions. Applicant is responsible for the adequacy of such plans, insuring that stormwater is in compliance with ordinances, codes, DSC, and DDM. Failure to comply may require the applicant to seek re-approval of the site plans from CPC.

#### **Texas Department of Transportation**

No permit is necessary since no work is proposed on TxDOT right of way.

#### **Fire Department**

EPFD has no objections.

#### **Sun Metro**

Sun Metro does not oppose this request. Sun Metro does have an existing bus stop serviced by Routes 32 & 35 immediately adjacent to 4831 Dyer. If there is any work to be done along Dyer that may impact this bus stop, coordination is recommended with Sun Metro Operations.

#### El Paso Water Utilities

EPWU does not object to this request.

Water:

There is an existing 6-inch diameter water main extending along the east side of the alley, west of Dyer Street between Truman Avenue and Lincoln Street, approximately 6-feet west of and parallel to the eastern right-of-way of the alley. This water main is available for service.

EPWU records indicate a killed water service at the subject property.

Sanitary Sewer:

There is an existing 8-inch diameter sanitary sewer main extending along the west side of Dyer Street, approximately 21-feet east of and parallel to the western right-of-way of Dyer Street. This sanitary sewer main is available for service.

There is an existing 8-inch diameter sanitary sewer main extending along the south side of Truman Avenue, approximately 25-feet north of and parallel to the southern right-of-way of Truman Avenue. This sanitary sewer main is available for service.

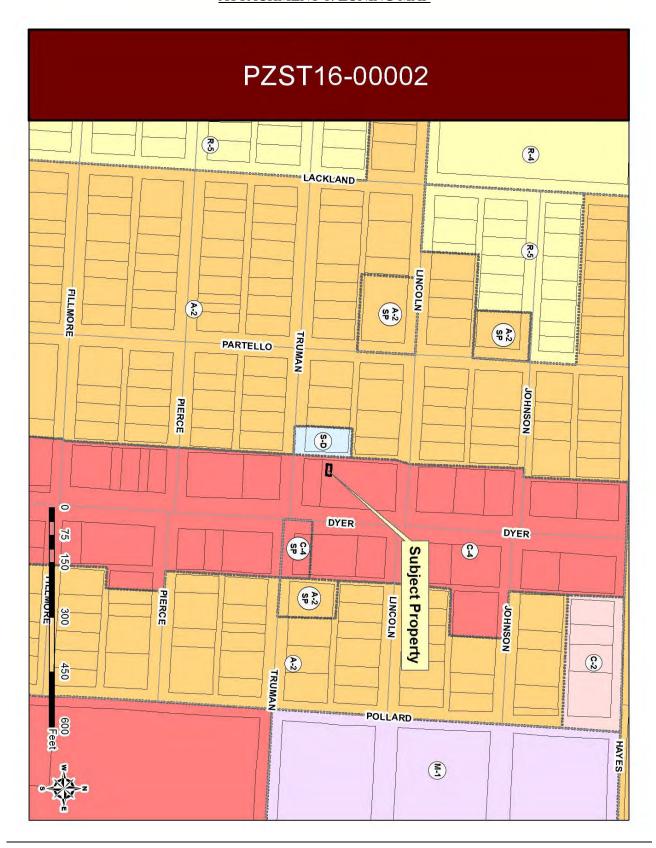
#### General:

EPWU requires a new service application to provide service to the property. New service applications are available at 1154 Hawkins, 3rd floor and should be made 6 to 8 weeks in advance of construction to ensure water for construction work. A site plan, utility plan, grading and drainage plans, landscaping plan, the legal description of the property and a certificate-of-compliance are required at the time of application. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The applicant is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

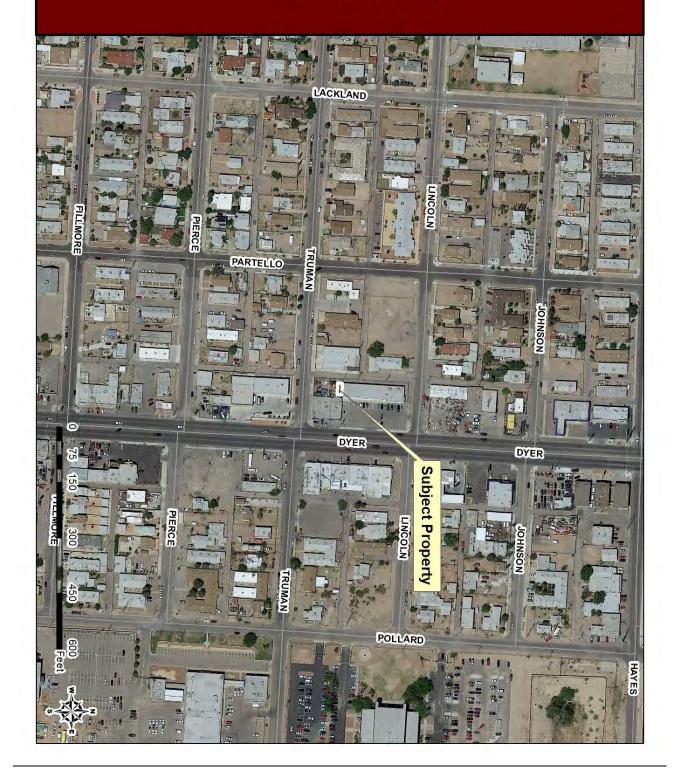
#### **Attachments**

- 1. Zoning Map
- 2. Aerial Map
- 3. Detailed Site Development Plan
- 4. Simulation Pictures
- 5. Landscape Buyout Request
- 6. Findings Analysis

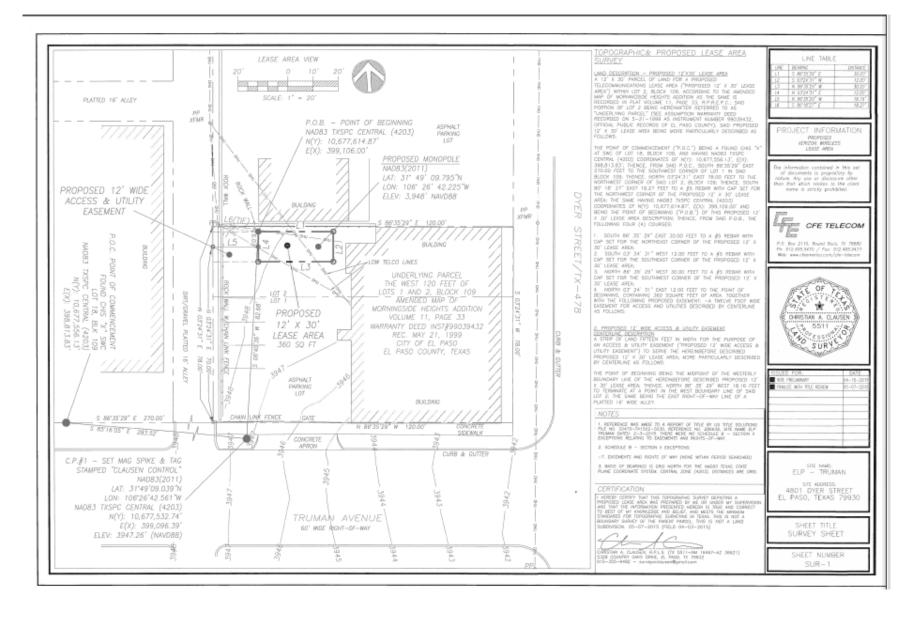
## **ATTACHMENT 1: ZONING MAP**

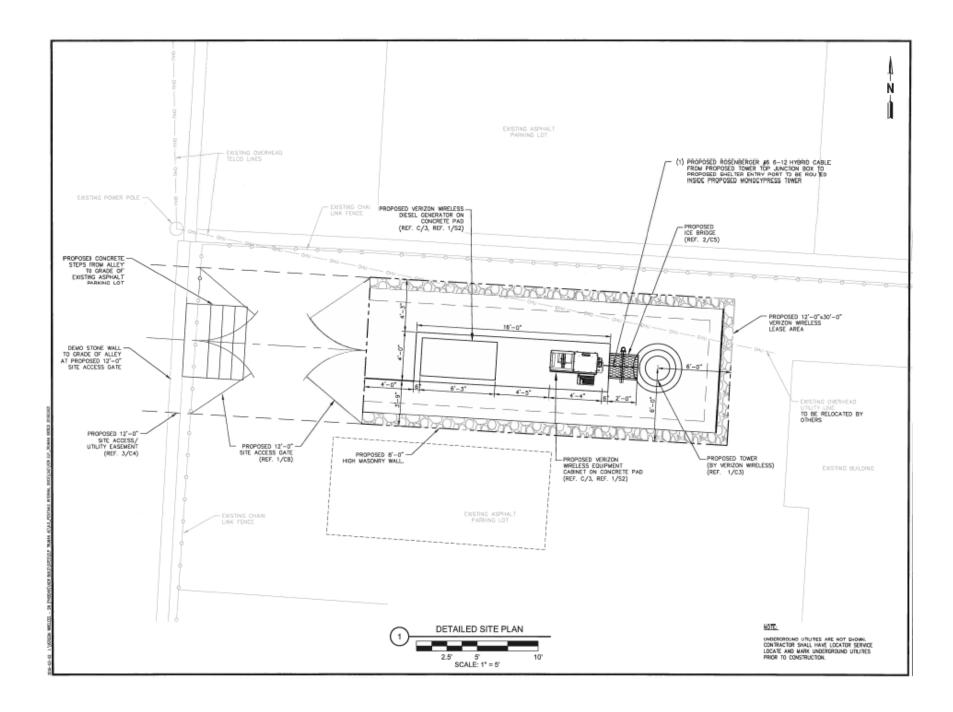


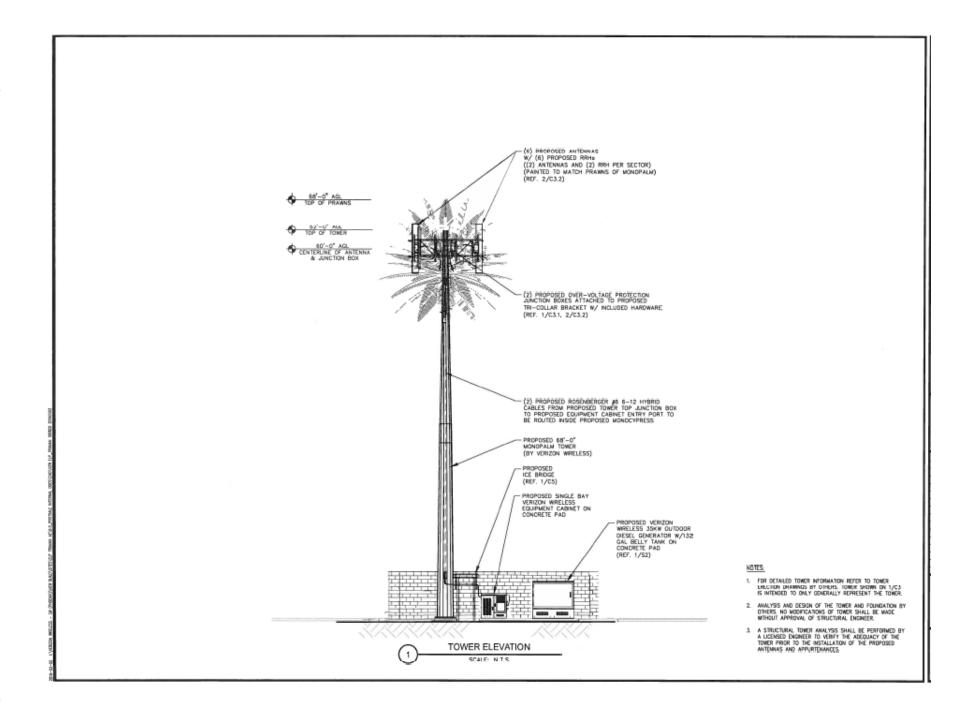
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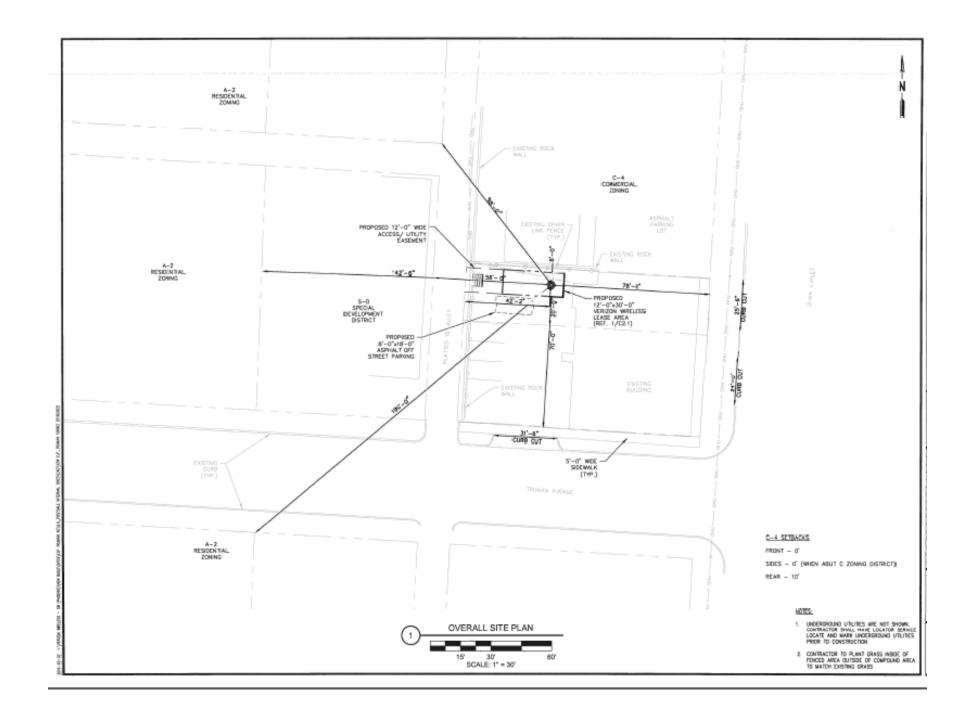










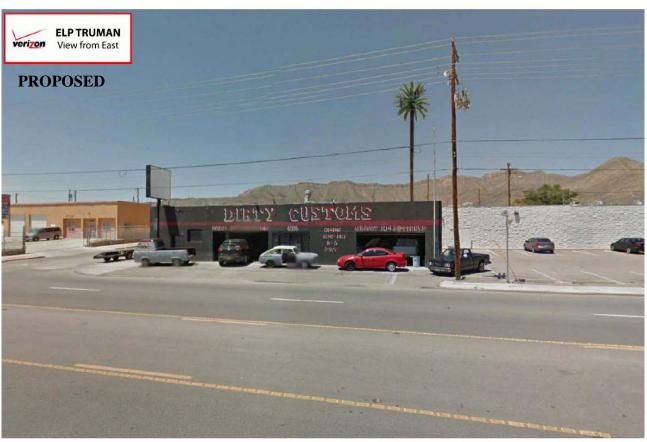


## **ATTACHMENT 4: SIMULATION PICTURES**



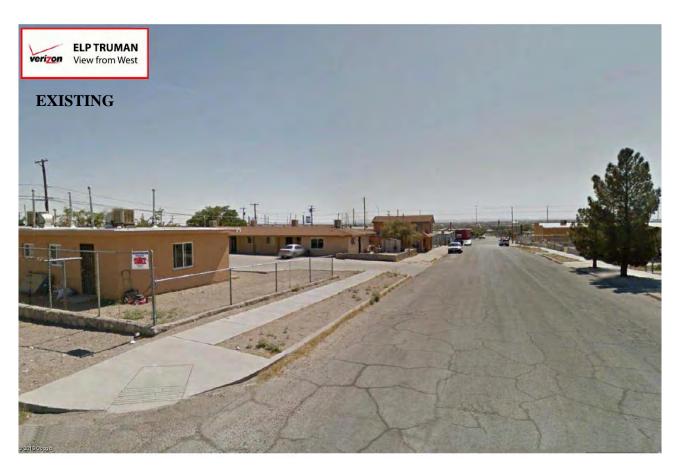














#### ATTACHMENT 5: LANDSCAPE BUYOUT REQUEST



February 9th, 2016

Jeff Howell, Senior Planner City of El Paso Planning & Inspections 801 Texas Avenue El Paso, TX 79901

RE: Request for Special Permit Approval Verizon Wireless / Site ID: ELP\_Truman PID# 360648

Legal Description: 109 MORNINGSIDE HEIGHTS W120 FT OF 1 & 2 (9,360 SQ FT) El Paso County, Texas

Dear Mr. Howell,

Verizon has chosen the one time buy out fee of \$5,000.00 for unmanned facilities under Chapter 18.46.140 for said property listed above. The one time buy out fee is in lieu of the requirement to provide 15% landscaping coverage with associated watering system on the leased portion of the subject parcel.

Verizon understands that said payment of \$5,000.00 must be provided at the same time the BP Application and the associate fees for said application are submitted to the City of El Paso.

Sincerely,

John Tyke

Real Estate Specialist Verizon Southwest Region Mobile (480) 220-3298

John.Tyke2@VerizonWireless.com

#### ATTACHMENT 6: FINDINGS ANALYSIS

#### 20.10.455 - Personal wireless service facilities.

- F. C-3, C-4 and C-5 Commercial Districts.
- Ground-mounted PWSF antenna support structures with appurtenant equipment storage facilities are permitted with the following restrictions:
  - c. Modified Separation Between PWSF Antenna Support Structures. The minimum separation between ground-mounted PWSF antenna support structures may be reduced below one-half mile by city council upon approval of a special permit application if the city council finds that:
  - i) The applicant is reasonably unable to use property that is more than one-half mile from another PWSF antenna support structure and be able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

Response: Verizon Wireless looked at the existing 75' monopole structure/tower owned by SBA, approximately .35 miles Southeast at 4062 Tyler Avenue. Its current elevation base is at 3,924'. Verizon would need to colocate at 55'. The total height (CL) for this location would be 3,979, which is too low to meet Verizon's requirement.

In addition, the current SBA location is too close to an existing Verizon site ELP\_FORT

BLVD (.3 miles South) and would cause interference.

Verizon Wireless looked at the existing 75' monopole structure/tower owned by Crown Castle, approximately .44 miles Southwest at 3500 Fillmore. Its current elevation

Base is at 4,041. Verizon would need to co-locate at 55'. The total height (CL) for this

In addition, the current Crown Castle location is too close to an existing Verizon site

ELP\_NEWMAN PARK (.8 miles East) and would cause Interference. Furthermore,

the Crown Castle site is located in an area with minimal traffic, and will not offload

any capacity through the area of need.

The proposed 68' Steatth Monopalm located at 4801 Dyer Street, has an elevation base of

3,948,

with the CL at 60', which would give Verizon 4,008'. This location is a CAPACITY SITE will

allow

Verizon to serve high volume users located around Fort Bliss Housing and base communications .

as well as the Fort Bliss Housing to the North.

The property on which the PWSF antenna support structure is to be located is the only reasonably available property for use within one-half mile of another PWSF antenna support structure that will enable the applicant to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable;

Response: Verizon's RF engineers investigated all options within this 1/2mile area and found the site at 4801 Dyer Street the best in terms of it being technically feasible and with a commercially feasible lease.

iii) The area designated by the applicant cannot be reasonably served in a manner that is technically feasible and commercially reasonable by locating additional antennas on the applicant's existing PWSF antenna support structures because such existing PWSF antenna support structures cannot safely support additional antennas;

Response: Colocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

iv) The applicant is unable to collocate its antennas on an existing PWSF antenna support structure that is owned or operated by a third person or entity and located such that the applicant is able to reasonably serve the area designated in a manner that is technically feasible and commercially reasonable; and

Response: Colocation at the existing SBA location on Tyler Avenue or the Crown Castle

Located on Fillmore will not allow Verizon's antennas to provide the necessary capacity coverage needed to its customers in the area.

v) The applicant shall submit a list of addresses/locations showing all existing PWSF within a one-half mile radius of the proposed site and a map depicting such locations with the special permit application.

Response: The attached map Exhibit A, ELP\_Truman Existing Towers, shows the existing SBA and Crown Castle sites and the proposed 68' Stealth Monopalm site needed by Verizon in order to provide CAPACITY coverage to the FORT BLISS Housing and Base community and the local commuting traffic.

Sincerely,

Hamdi K Alaaldin

Verizon Wireless

RF Engineer 480-752-7245

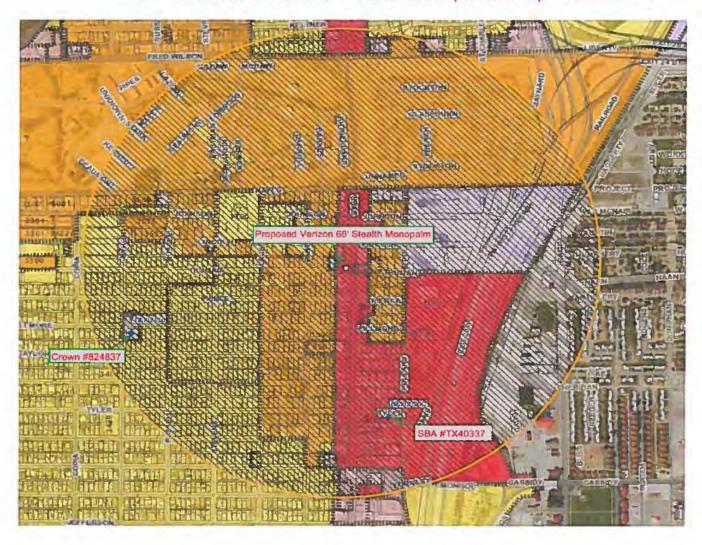
## "EXHIBIT A"

## Verizon ELP\_Truman

## Existing Towers within 1/2 Mile Radius

#1 – SBA Site ID# TX40337 \*\*.35 Miles SE (NM02090C) \*\* 4062 Tyler Ave

#2 - Crown Site ID# 824837 \*\* .44 Miles SW (NM02436A) \*\* 3500 Fillmore





# **Recommendation/Public Input**

- Planning Division recommendation: Approval
- **CPC Vote:** Approval Recommendation (5-1)
- Public Input: The Planning Division received one phone call and one person spoke at the CPC in opposition to the special permit request.

Strategic Goal #3 Promote the Visual Image of El Paso
3.1 Provide business friendly permitting and inspection processes
3.2 Improve the visual impression of the community

