

CITY OF EL PASO, TEXAS
AGENDA ITEM DEPARTMENT HEAD'S SUMMARY FORM

DEPARTMENT: City Development Department, Planning Division

AGENDA DATE: Introduction: June 11, 2013
Public Hearing: July 2, 2013

CONTACT PERSON/PHONE: Andrew Salloum, (915) 541-4633, salloumam@elpasotexas.gov

DISTRICT(S) AFFECTED: 1

SUBJECT:

An Ordinance granting Special Permit No. PZST12-00023, to allow for a Facility-Mounted Personal Wireless Service Facility (PWSF) and imposing a condition on the property described as Lot 19 and a portion of Lot 17, Block 138, Chaparral Park Unit 30, City of El Paso, El Paso County, Texas, pursuant to Section 20.10.455 of the El Paso City Code. The penalty being as provided in Chapter 20.24 of the El Paso City Code. Subject Property: 6520 Loma De Cristo Drive. Applicant: Ascension Lutheran Church. PZST12-00023 (**District 1**)

BACKGROUND / DISCUSSION:

PRIOR COUNCIL ACTION:

N/A

AMOUNT AND SOURCE OF FUNDING:

N/A

BOARD / COMMISSION ACTION:

City Plan Commission (CPC) – Approval Recommendation (5-0)

*****REQUIRED AUTHORIZATION*****

LEGAL: (if required) N/A

FINANCE: (if required) N/A

DEPARTMENT HEAD: Mathew S. McElroy
Deputy Director, City Development Department

APPROVED FOR AGENDA:

CITY MANAGER: _____

DATE: _____

ORDINANCE NO. _____

AN ORDINANCE GRANTING SPECIAL PERMIT NO. PZST12-00023, TO ALLOW FOR A FACILITY-MOUNTED PERSONAL WIRELESS SERVICE FACILITY (PWSF) AND IMPOSING A CONDITION ON THE PROPERTY DESCRIBED AS LOT 19 AND A PORTION OF LOT 17, BLOCK 138, CHAPARRAL PARK UNIT 30, CITY OF EL PASO, EL PASO COUNTY, TEXAS, PURSUANT TO SECTION 20.10.455 OF THE EL PASO CITY CODE. THE PENALTY BEING AS PROVIDED IN CHAPTER 20.24 OF THE EL PASO CITY CODE.

WHEREAS, Ascension Lutheran Church, has applied for a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a Facility-mounted Personal Wireless Service Facility (PWSF); and,

WHEREAS, the Section 20.10.455 allows for a Facility-mounted personal wireless service facility by Special Permit; and,

WHEREAS, a report was made by the City Plan Commission and a public hearing was held regarding such application; and,

WHEREAS, the City Plan Commission has recommended approval of the subject Special Permit; and

WHEREAS, the subject Special Permit has been submitted to the City Council of the City of El Paso for review and approval; and

WHEREAS, the City Council of the City of El Paso finds that the application conforms to all requirements of Section 20.04.320D of the El Paso City Code.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EL PASO:

1. That the property described as follows, is in an **P-R 1 (Planned Residential I)** District: *Lot 19 and a portion of Lot 17, Block 138, Chaparral Park Unit 30, City of El Paso, El Paso County, Texas* and more particularly described in the metes and bounds in Exhibit "A", which is attached hereto and made a part hereof for all purposes; and,

2. That the City Council hereby grants a Special Permit under Section 20.04.320 of the El Paso City Code to allow for a Facility-mounted personal wireless service facility (PWSF) on the property described in Paragraph 1 of this Ordinance; and,

3. That this Special Permit is issued subject to the development standards in the P-R 1 (Planned Residential I) District regulations and is subject to the approved Detailed Site Development Plan signed by the Applicant, the City Manager and the Executive Secretary to the City Plan Commission. A copy of this plan is attached hereto as Exhibit "B" and is incorporated herein by reference for all purposes; and,

4. Further, that the property described herein be subject to the following condition which is necessitated by and attributable to the increased intensity of use generated due to the reduced setbacks and reduced lot depths in order to protect the health, safety and welfare of adjacent property owners and the residents of this City:

"That wiring and equipment be installed in the most inconspicuous way possible adjacent to the building so that it won't stir up the existing terrain;" and,

5. That if at any time the Applicant fails to comply with any of the requirements of this Ordinance, Special Permit No. PZST12-00023 shall be subject to termination; construction or occupancy shall be discontinued; and the Applicant shall be subject to the penalty provisions of Chapter 20.24 and any other legal or equitable remedy; and,

6. That the Applicant shall sign an Agreement incorporating the requirements of this Ordinance. Such Agreement shall be signed and filed with the Zoning Administrator and the Executive Secretary to the City Plan Commission before building permits are issued.

PASSED AND APPROVED this _____ of _____, 2013.

THE CITY OF EL PASO

John F. Cook, Mayor

ATTEST:

Richarda Duffy Momsen, City Clerk

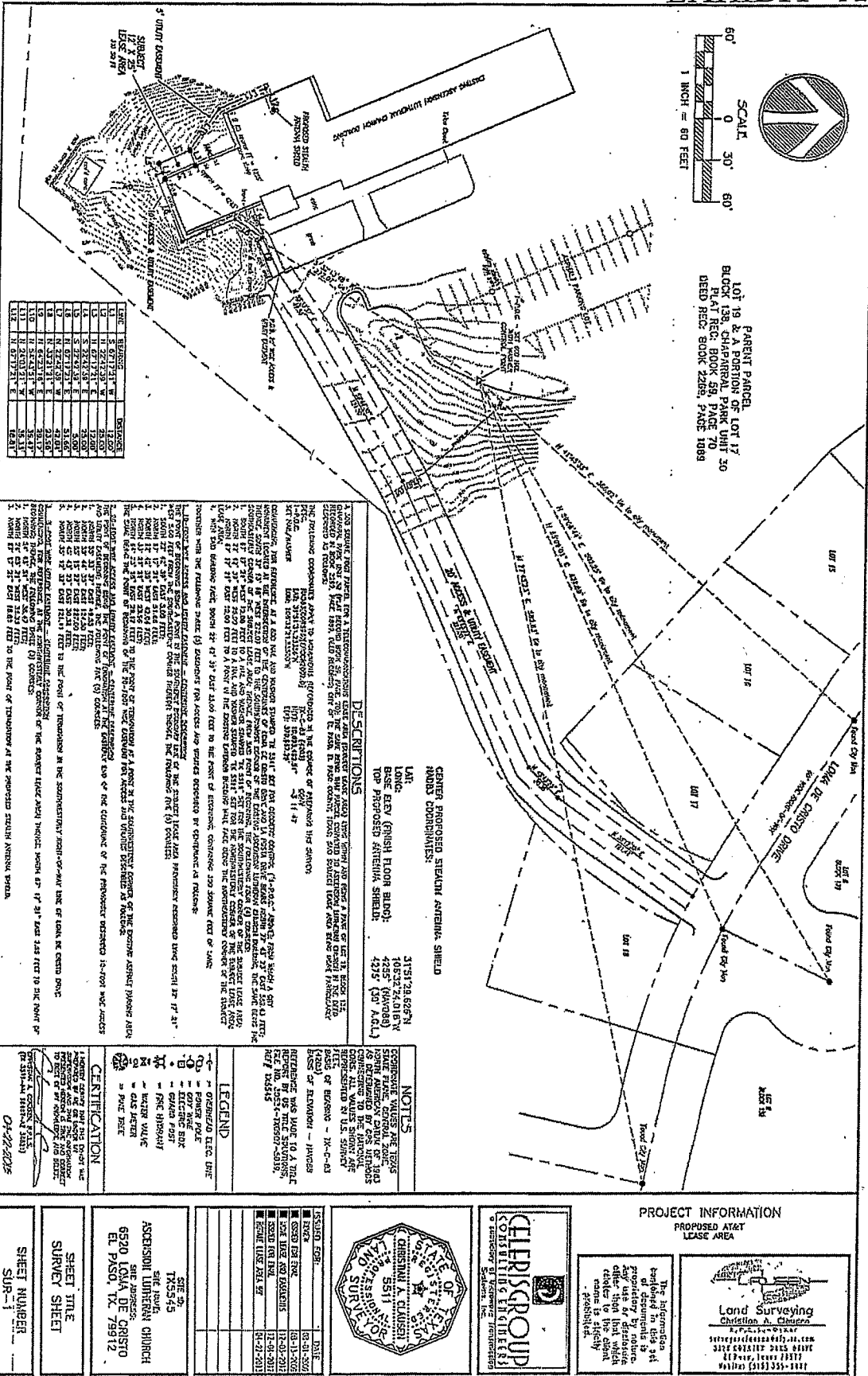
APPROVED AS TO FORM:

Karla M. Nieman
Assistant City Attorney

APPROVED AS TO CONTENT:

Mathew S. McElroy, Director
City Development Department

EXHIBIT "A"



[illegible]

 SITE NAME ASCENSION LUTHERAN CHURCH 212 N. ACACIA 755545	 2801 N. Central Ex. Suite 125 Opole, IL 60450 Phone: 815.460.0985 Telefax: 815.460.0985 Internet: www.celisgroup.com	DATE TIME TIME EFFECT 101
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1. GENERAL INFORMATION

A. PROJECT AND FIRM

1. THE CLIENT AND PROJECT: THE CLIENT IS THE CITY OF HOUSTON, TEXAS, AND THE PROJECT IS THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE CLIENT'S NAME AND ADDRESS: THE CLIENT'S NAME IS THE CITY OF HOUSTON, TEXAS, AND THE CLIENT'S ADDRESS IS 1000 MAIN STREET, HOUSTON, TEXAS 77002.
3. THE PROJECT'S NAME AND ADDRESS: THE PROJECT'S NAME IS THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING, AND THE PROJECT'S ADDRESS IS 1000 MAIN STREET, HOUSTON, TEXAS 77002.

B. CONTRACT

1. THE CONTRACT IS A LUMP-SUM CONTRACT FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE CONTRACT IS A LUMP-SUM CONTRACT FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
3. THE CONTRACT IS A LUMP-SUM CONTRACT FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.

C. DESIGN

1. THE DESIGN IS A LUMP-SUM DESIGN FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE DESIGN IS A LUMP-SUM DESIGN FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
3. THE DESIGN IS A LUMP-SUM DESIGN FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.

D. COSTS

1. THE COSTS ARE A LUMP-SUM COSTS FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE COSTS ARE A LUMP-SUM COSTS FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
3. THE COSTS ARE A LUMP-SUM COSTS FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.

E. SCHEDULE

1. THE SCHEDULE IS A LUMP-SUM SCHEDULE FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE SCHEDULE IS A LUMP-SUM SCHEDULE FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
3. THE SCHEDULE IS A LUMP-SUM SCHEDULE FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.

F. OTHER

1. THE OTHER IS A LUMP-SUM OTHER FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE OTHER IS A LUMP-SUM OTHER FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
3. THE OTHER IS A LUMP-SUM OTHER FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.

2. GENERAL NOTES

A. GENERAL

1. THE GENERAL IS A LUMP-SUM GENERAL FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
2. THE GENERAL IS A LUMP-SUM GENERAL FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.
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20. THE GENERAL IS A LUMP-SUM GENERAL FOR THE CONSTRUCTION OF A NEW 100,000-SQ-FT OFFICE BUILDING IN THE CITY OF HOUSTON, TEXAS.



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REVISIONS	DATE
1	04/22/13
2	04/22/13
3	04/22/13
4	04/22/13
5	04/22/13
6	04/22/13
7	04/22/13
8	04/22/13
9	04/22/13
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15	04/22/13
16	04/22/13
17	04/22/13
18	04/22/13
19	04/22/13
20	04/22/13

SITE NAME
 ASCENSION
 LUTHERAN CHURCH
 SITE NUMBER
 TX5545

1801 VALLEY VIEW LANE
 FARMERS BRANCH, TX 75234

2201 N. COLEMAN, SUITE 125
 ARLINGTON, TX 76010
 TEL: 817/404-8892
 FAX: 817/404-8892
 TX-Firm Reg. #1-19992

REVISIONS	DATE
1	04/22/13
2	04/22/13
3	04/22/13
4	04/22/13
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18	04/22/13
19	04/22/13
20	04/22/13



DRAWING NO.
 BO
 CALCULATED BY
 ZG
 DATE
 04/22/13
 FIELD SCALE
 1:2
 DRAWING NAME
 OVERALL SITE PLAN
 2013 E. Ave.
 C01

SITE NAME
ASCENSION
LUTHERAN CHURCH
SITE NUMBER
TX5545



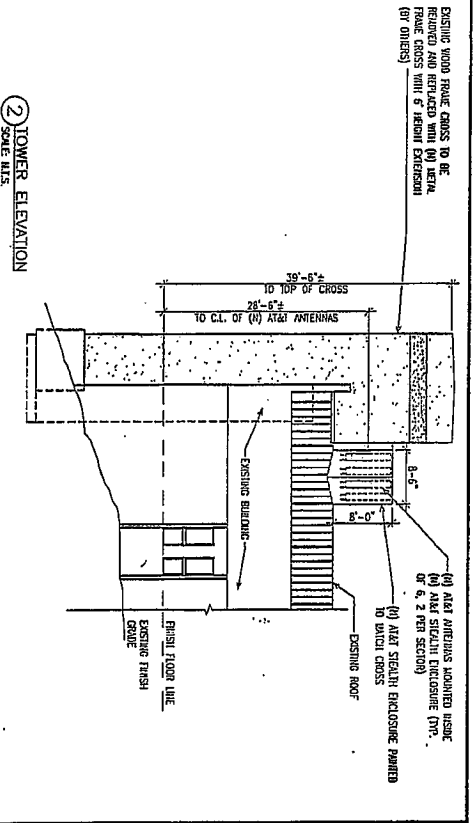
1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

at&t

CELEBRIS GROUP
CONSULTING ENGINEERS

2201 N. Collins St., Suite 125
Addicks, TX 76011
Office: 817.444.1700
Fax: 817.496.0895
TX Firm Reg. # F-15992

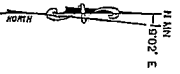
[illegible]



2 TOWER ELEVATION

[illegible]

NOTES:
1. I ENJOYED MEETING ALL THE
FOLK AND POTENTIAL FOR
FURTHER DEVELOPMENT.



③ ANTENNA CONFIGURATION
SCALE: MTS

[illegible]

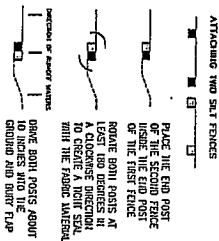
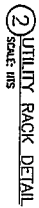
CELERIS GROUP
CONSULTING SERVICES
2201 N. Collins St., Suite 125
Addicks, TX 77011
Office: 817.446.1700
Fax: 817.406.0895
TX Perm Reg. # F-13992



1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME
ASCENSION
LUTHERAN CHURCH
SITE NUMBER
TX5545

DRUM #10	RD
COL #10	7G
	8/11
04/22/13	Full Scale
1-2	Survey Yard
ELEVATION / ANTENNA ORIENTATION	
2400 MHz	
C03	



CELERIS GROUP
CONSULTING ENGINEERS



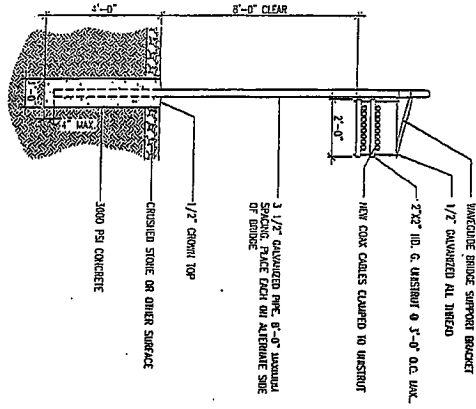
2201 N. Collins St., Suite 125
Addicks, TX 77011
Office: 817.446.1700
Fax: 817.499.0895
TX Perm Reg. # F-15992



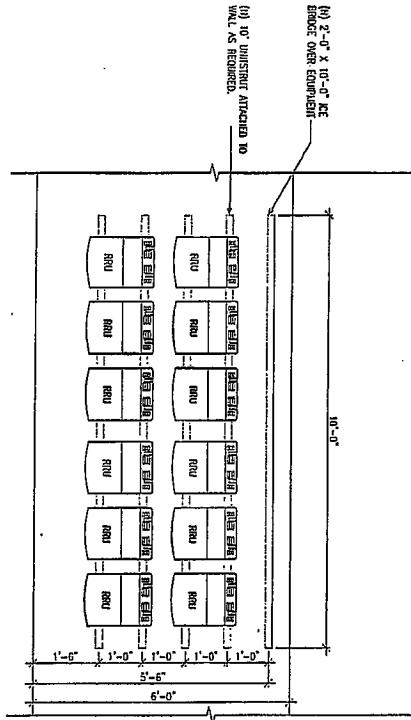
1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME
ASCENSION
LUTHERAN CHURCH
SITE NUMBER
TX5545

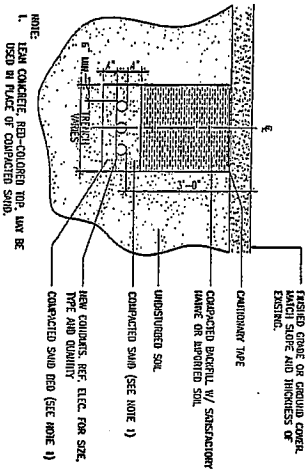
C04



1 ICE BRIDGE DETAIL
SCALE: NTS



2 POWER & TELCO UTILITY RACK DETAIL
SCALE: NTS



3 UTILITY TRENCH DETAIL
SCALE: NTS



5 NOT USED
SCALE: NTS

3 NOT USED
SCALE: NTS

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REVISIONS	DATE
1. AS BUILT FOR CONSTRUCTION	04/22/13

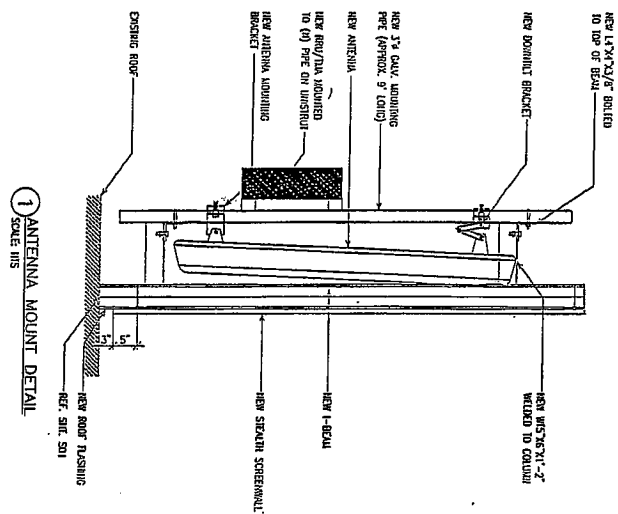
CELERS GROUP
CONSTRUCTION PROJECTS
2201 N. Collins St., Suite 125
Arlington, TX 76010
Office: 817.494.8800
Fax: 817.494.8805
TX Perm Reg. #F-13992



1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME
ASCENSION LUTHERAN CHURCH
SITE NUMBER
TX5545

DATE	04/22/13
DESIGNED BY	1-2
CHECKED BY	DETAILS
SCALE	AS SHOWN
PROJECT NO.	C05



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GROUP**
CONSULTING ENGINEERS

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Arlington, TX 76011
Office: 817.444.1700
Fax: 817.450.0885
TX Film Reg. # F-13992



at&t
1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME
ASCENSION
LUTHERAN CHURCH
SITE NUMBER
TX5545

DEPT 861
BO
CHICAGO 810
26
DATE 04/22/13
PLAN SCORE
1-2
CARRIED AWAY
ANTENNA MOUNT DETAIL
SOLD 861
C06

RF CONFIGURATION AS VIEWED FROM INSIDE THE REAR OF THE ANTENNA

LEGEND:

- DIN JURY
- DIN FUTURE

REF PLUMBING DIAGRAM - ALL SECTORS

SCALE: NTS

DATE: 11/22/2013

THE KING GUO PROSECUTOR GENERAL'S OFFICE

CHINA WIRELESS COMMUNICATIONS GROUP CO., LTD.

CHN-CORBA-005

ANTENNA 1

SPACE NOT USED
RESERVED FOR
FUTURE USE

ANTENNA 2

SPACE NOT USED
RESERVED FOR
FUTURE USE

ANTENNA 3 (LIE)

698-896 MHz - PORT 1
698-896 MHz - PORT 2
1710-2180 MHz - PORT 3
1710-2180 MHz - PORT 4

RET

ANTENNA 4

SPACE NOT USED
RESERVED FOR
FUTURE USE

ANTENNA 5 (GUITS)

1710-2180 MHz - PORT 3
1710-2180 MHz - PORT 4
1710-2180 MHz - PORT 3
1710-2180 MHz - PORT 4

RET

COAX CABLE (TYP)

FIBER

TOP JUMPER CABLE (TYP)

BOTTOM JUMPER CABLE (TYP)

TIA

LIE 700 MHZ

LIE 1000

WIDEM DOW

1000 RBV

1000 RBV

1000 RBV

1000 RBV

3-1

3-2 (SPARE)

5-1

5-2

5-3

5-4

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REVISIONS	DATE
AS BUILT IN CONSTRUCTION	6/27/11

CLERIS PROJECT NO.: 12-3074

D GROUP CELERIS
CONSTRUCTIVE TECHNIQUES
2201 N. Coit Road, Suite 125
Olathe, KS 66061
Office: 817.464.1700
Fax: 817.469.0895
TX Farm Blog: #F-18992



1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME:
**ASCENSION
LUTHERAN CHURCH**

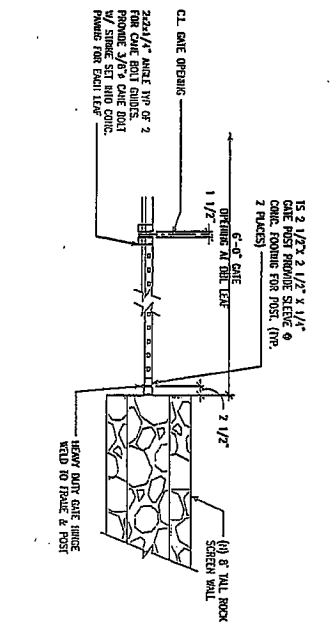
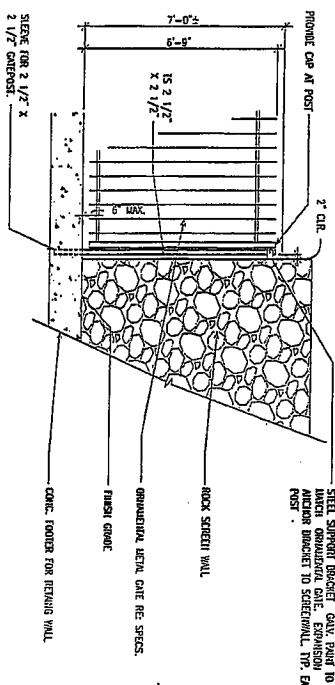
SITE NUMBER:
TX5545

READING ROOM
RD.
GUSTINE, AR
450
04/29/13
1:2
OWNER'S NAME:
BR PLUMBING DIAGRAM
DATE:

C07

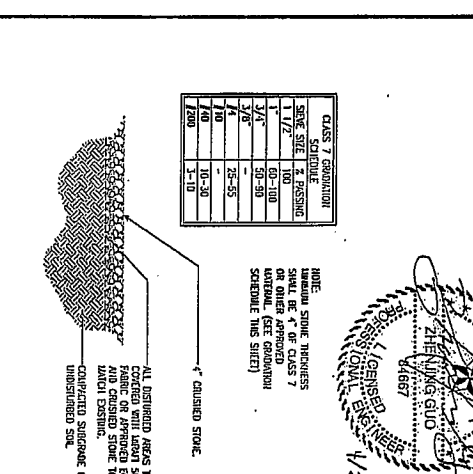
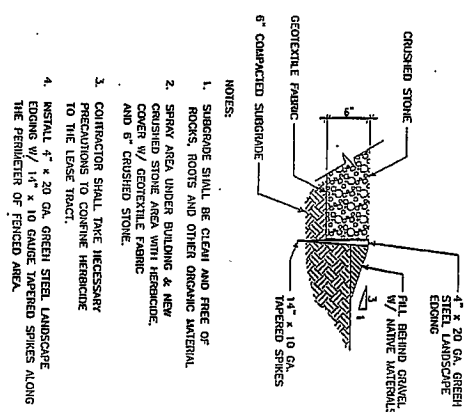
ORNAAMENTAL STEEL GATE SYSTEM

1. The Contractor shall provide all labor, materials, and equipment necessary for installation of the ornamental steel gate system.
2. The Contractor shall supply a total ornamental steel gate system including the gate, post, and system hardware required.
3. The Contractor shall provide barriers and systems compatible with the ornamental steel gate system.
4. Components to comply with ASTM A572-Gr50 Steel (see Specification for Structural Steel) shall be used.
5. The Contractor shall provide and Shop drawings shall be submitted for review and approval.
6. When used, the gate shall be constructed and be designed to resist the full design load and shall be designed to resist the full design load and shall be designed to resist the full design load.
7. The ornamental steel gate system shall conform to the design and shall be constructed in accordance with the design and shall be constructed in accordance with the design.
8. The Contractor shall provide and Shop drawings shall be submitted for review and approval.
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10. The Contractor shall provide and Shop drawings shall be submitted for review and approval.
11. The Contractor shall provide and Shop drawings shall be submitted for review and approval.
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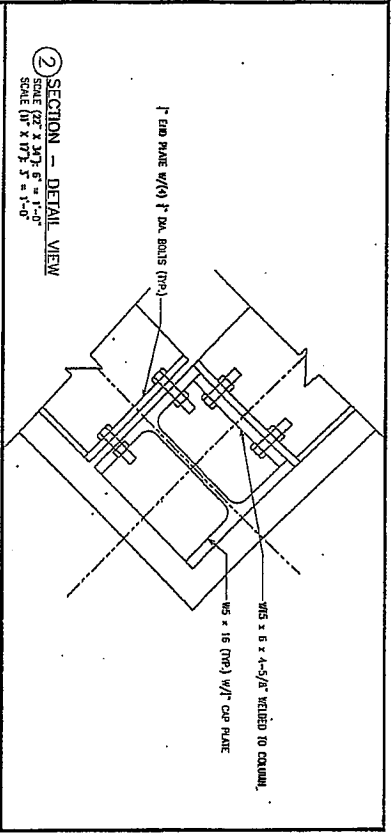
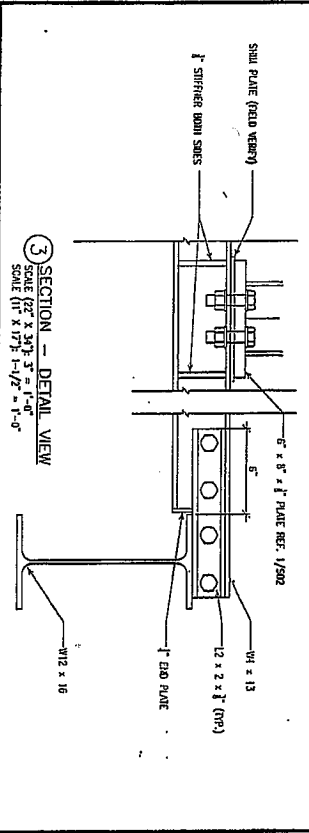
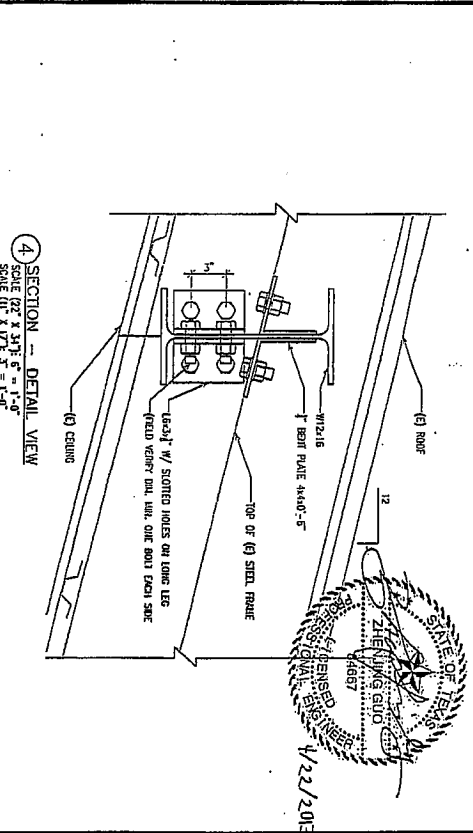
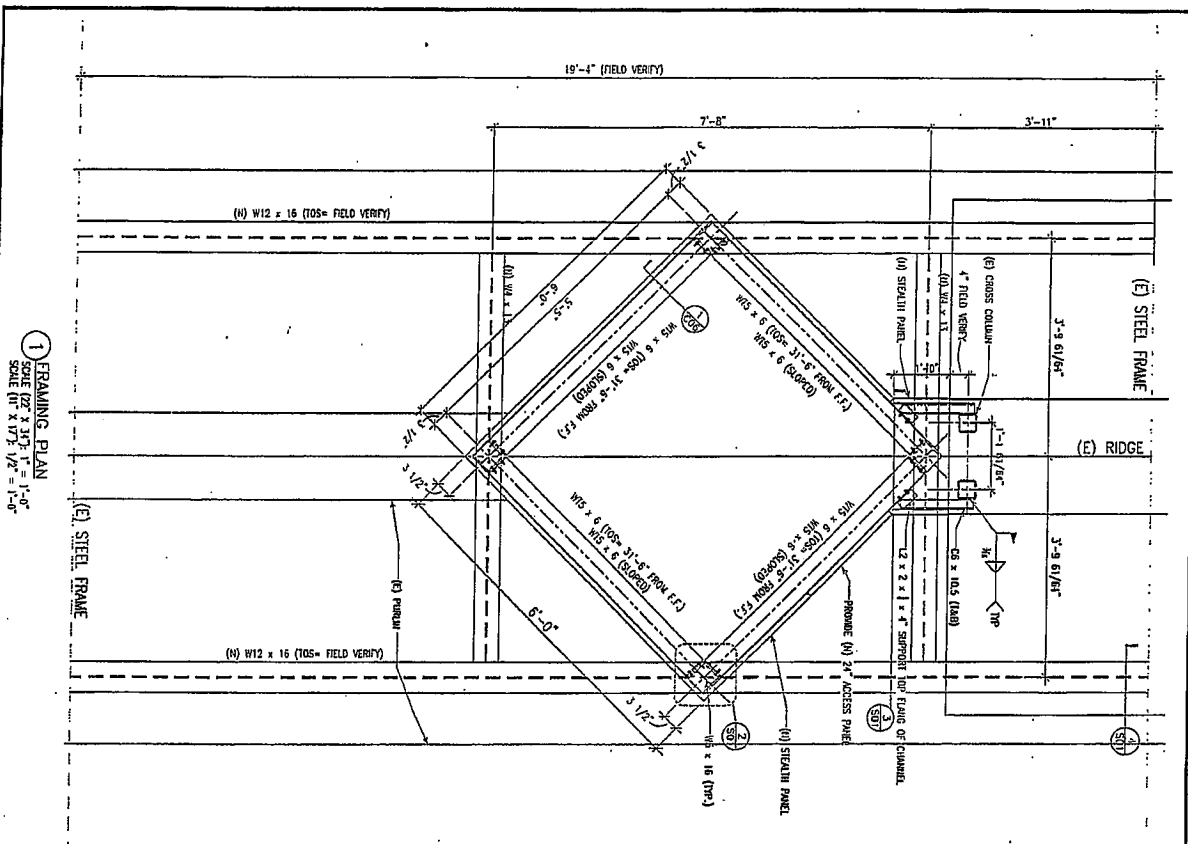


1 ORNAAMENTAL STEEL GATE DETAIL
SCALE: 1/2" = 1'-0"

2 ORNAAMENTAL STEEL GATE DETAIL
SCALE: 3/4" = 1'-0"



CLASS 7 RETENTION	THICKNESS	SPACING
1/2"	100	100-100
3/4"	100	100-100
1"	100	100-100
1 1/2"	100	100-100
2"	100	100-100
3"	100	100-100
4"	100	100-100
6"	100	100-100
8"	100	100-100
10"	100	100-100
12"	100	100-100
14"	100	100-100
16"	100	100-100
18"	100	100-100
20"	100	100-100



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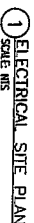
REVISIONS	DATE
AS SHOWN FOR CONSTRUCTION	04/22/13

CELESTIS GROUP
2201 N. CENTRAL EXPRESSWAY
OFFICE 817.464.1700
FAX 817.464.0895
TX PERM REG. #1-15992

at&t
1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

SITE NAME
ASCENSION
LUTHERAN CHURCH
SITE NUMBER
TX5545

SCALE IN
1/2" = 1'-0"
3/4" = 1'-0"
1" = 1'-0"
1 1/2" = 1'-0"
2" = 1'-0"
3" = 1'-0"
4" = 1'-0"
6" = 1'-0"
8" = 1'-0"
12" = 1'-0"
18" = 1'-0"
24" = 1'-0"
36" = 1'-0"
48" = 1'-0"
60" = 1'-0"
72" = 1'-0"
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E01

SACRED Bm.

ELECTRICAL SINE PLAN

GRADING PLAN
1-2

FISH LAKE

04/22/13

Rt

CHECKED BY

RD

SEALING PER

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- AGE

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DATE _____
NAME _____

307



125

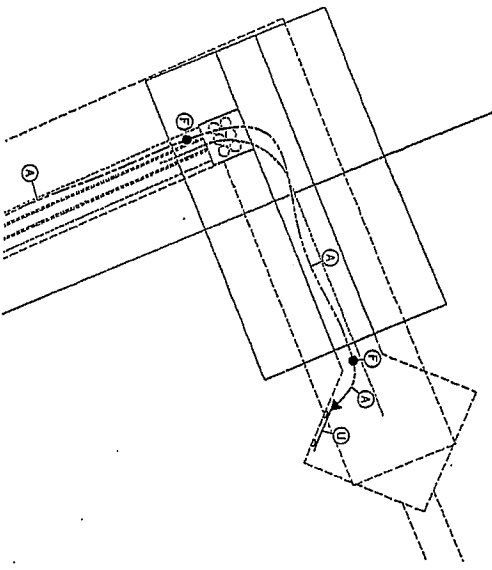
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147

1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

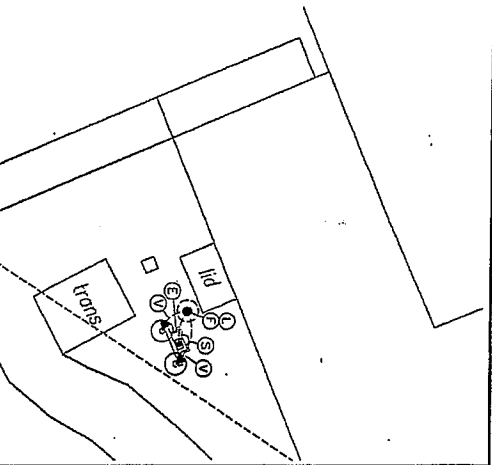
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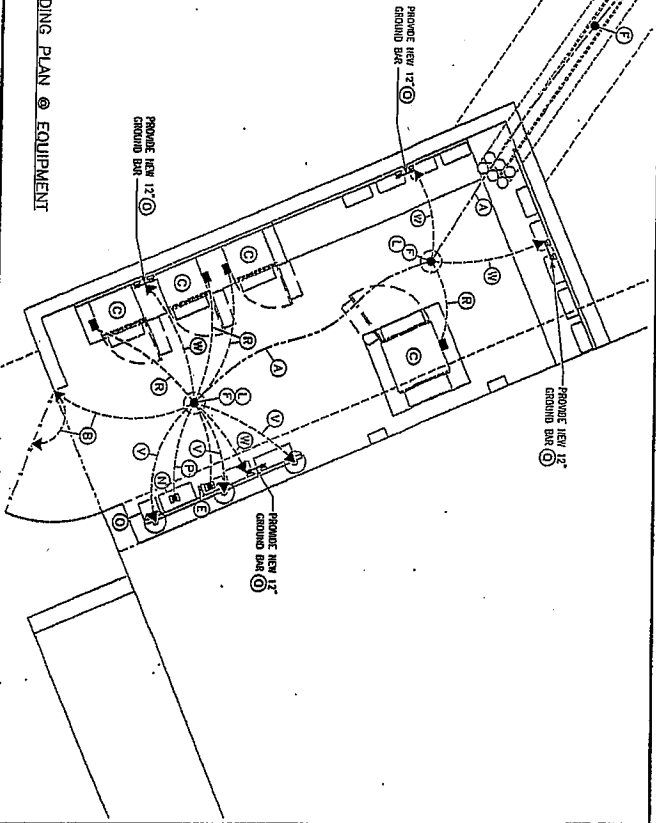


1 GROUNDING PLAN @ TOWER
SCALE: NIS



2 GROUNDING PLAN @ METER
SCALE: NIS

3 GROUNDING PLAN @ EQUIPMENT
SCALE: NIS



NOTES: REFERENCED TO GROUNDING PLAN 0

- A 12 AWG SOLID THINNED COPPER GROUND WIRE 30" MINIMUM BELOW GRADE, CONNECTED TO EACH GROUND ROD SPACING LOCATED 24" MINIMUM FROM NEW BUILDING FOUNDATION.
- B 12 AWG SOLID THINNED COPPER GROUND WIRE 30" BELOW GRADE FOR CONNECTION TO FENCE POSTS.
- C NEW EQUIPMENT CABLES.
- D NOT USED.
- E NEW SERVICE CABLES, DISCONNECT SWITCH.
- F 5/8" DIAMETER X 10' COPPER C-10 GROUND ROD, DRIVE TO 18" BELOW SURFACE, REFER TO Y/FO, WHERE LOCATED AT GROUNDING HOLE. SPACE GROUND RODS SIMILAR TO THAT SHOWN BELOW BUT VERTICALLY TWICE THE GROUND ROD LENGTH BUT NO MORE THAN 1 1/2' FROM EACH OTHER.
- G 12 AWG SOLID THINNED COPPER GROUND WIRE, CONNECT TO GROUND RING AND STEEL REBAR IN CONCRETE FOUNDATION, EXTERNALLY WELD, TEST FOR RESISTANCE, VERIFY WELD NON-POROUS FOR RE-WELD.
- H NOT USED.
- I 12 AWG SOLID THINNED COPPER GROUND WIRE 18" BELOW GRADE FOR CONNECTION TO CABLE TRAY.
- J NOT USED.
- K NOT USED.
- L REFER TO GROUNDING HOLE WITH ACCESS AREA, DETAIL 2/FO.
- M NOT USED.
- N PHONE INTERFERENCE PANEL, 200A, 120V, 240V COMBINATION MINIMUM, TRANSFER SWITCH, SURGE PROTECTOR, PANELBOARD "X" AWG, REFER TO PANEL SCHEDULE FOR CIRCUIT BREAKERS.
- O CABLE-LOCK BOX.
- P 12 AWG SOLID THINNED COPPER GROUND WIRE IN 3/4" PVC CONDUIT FROM INTERFERENCE PANEL DOWN TO GROUNDING HOLE AND CABLED.
- Q VERIFY ACTUAL, MEASURING LOCATION WITH AT&T WIRELESS CONSTRUCTION.
- R 12 THINNED COPPER GROUND WIRE 18" BELOW GRADE, PROVIDE SUFFICIENT LEAD WIRE FOR CABLE CONNECTION NEW METER SOCKET BY LOCAL ELECTRIC SERVICE PROVIDER.
- S NOT USED.
- T NEW 30" X 4" X 1/4" PRE-DRILLED COPPER ANCHOR GROUND BAR, PROVIDE SPACING OF 18" MINIMUM, VERIFY EXACT LOCATION WITH AT&T WIRELESS.
- U 12 AWG SOLID THINNED COPPER GROUND WIRE FROM ANCHOR BACK SUPPORT POSTS DOWN TO GROUND BAR, PROVIDE CABLED CONNECTIONS.
- V 12 AWG SOLID THINNED COPPER GROUND WIRE EXTERNALLY CABLED TO GROUND BAR.
- W 12 AWG SOLID THINNED COPPER GROUND WIRE FROM ANCHOR BACK SUPPORT POSTS DOWN TO GROUND BAR, PROVIDE CABLED CONNECTIONS.
- X 12 AWG SOLID THINNED COPPER GROUND WIRE FROM ANCHOR BACK SUPPORT POSTS DOWN TO GROUND BAR, PROVIDE CABLED CONNECTIONS.
- Y PHONE 12 AWG SOLID THINNED COPPER GROUND WIRE FROM ANCHOR BACK SUPPORT POSTS DOWN TO GROUND BAR, PROVIDE CABLED CONNECTIONS.



04/22/13

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REVISIONS	DATE
1	04/22/13

at&t

1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

CELIRIS GROUP

2201 N. COLEMAN ST., SUITE 125
DALLAS, TX 75209
FAC: 817-694-0895

Torres Engineering Services, Inc.
8237 DeWitt Dr.
Ft. Worth, Texas 76131
(817) 555-0848
Registration No. P-10147

ASCENSION LUTHERAN CHURCH

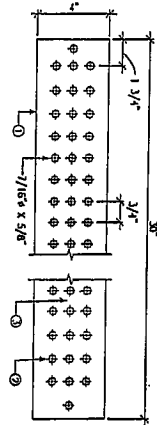
SITE NUMBER
TX5545

ROBERTO TORRES

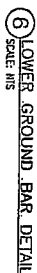
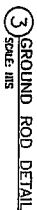
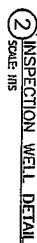
83419
Professional Engineer
Mechanical Engineering

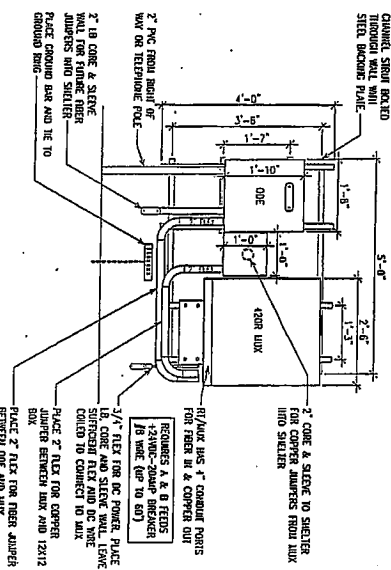
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04/22/13

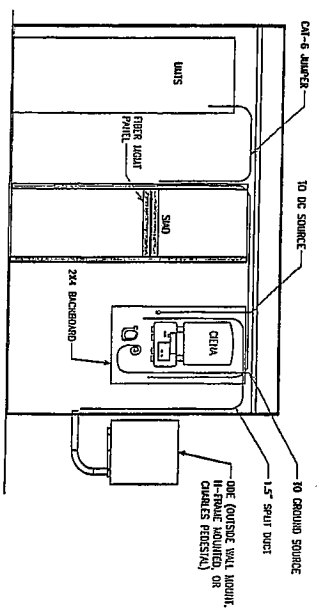


- 1 MASTER GROUND BAR DETAIL
SCALE: 1/8" = 1'-0"

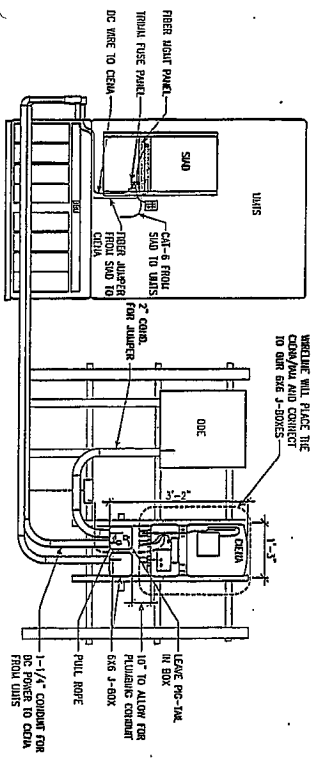




1 MUX WALL FRAME LAYOUT
SCALE: 1/8" = 1'-0"



2 OUTDOOR UMITS & CIENA PIPE SCHEMATIC
SCALE: 1/8" = 1'-0"



3 INDOOR UMITS & CIENA
SCALE: 1/8" = 1'-0"



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REVISIONS	DATE
1. DATA FOR CONSTRUCTION	04/22/13

at&t

1801 VALLEY VIEW LANE
FARMERS BRANCH, TX 75234

CELESTIS GROUP

2201 N. COOPER ST., SUITE 125
DALLAS, TX 75201
Tel: 972.409.0995
Fax: 972.409.0995

Ascension Lutheran Church

SITE NAME: ASCENSION LUTHERAN CHURCH
SITE NUMBER: TX5545

Torres Engineering Services, Inc.

8237 Delahed Dr.
Ft. Worth, Texas 76131
(817) 558-0848
Registration No. F-10147

PROJECT NO. 12-374

CLIENT PROJECT NO. 12-374

DATE

04/22/13

DATE

04/22/13

SCOPE OF WORK:

- 1

- 20

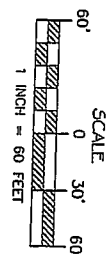
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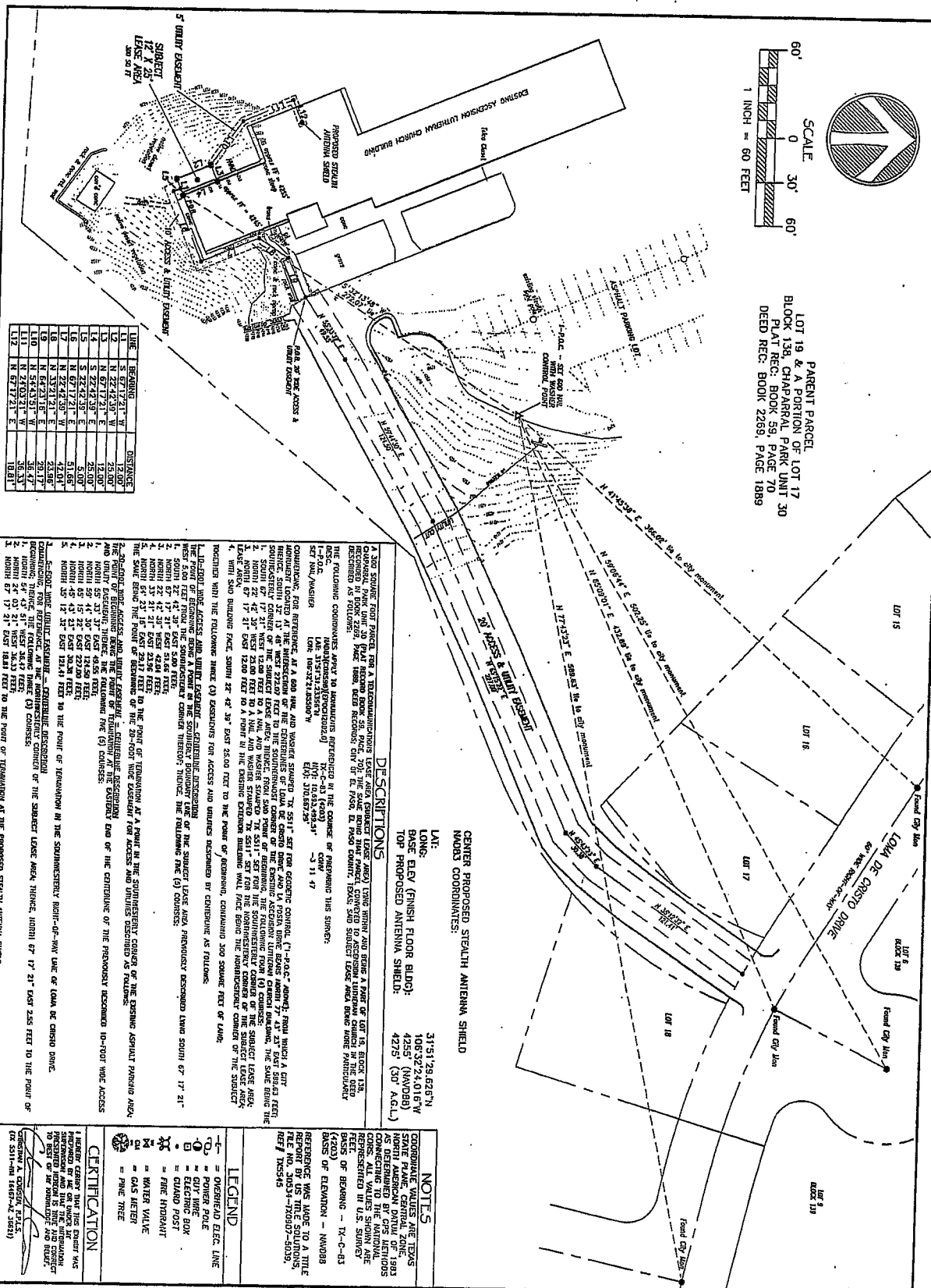
- 14

- ## 2.





PARENT PARCEL
LOT 19 & A PORTION OF LOT 17
BLOCK 138, CHAPARRAL PARK UNIT 30
PLAT REC: BOOK 59, PAGE 70
DEED REC: BOOK 2269, PAGE 18B9



Lane	BEARING	DISTANCE
L1	S 67°17'21" W	12.00'
L2	N 22°42'39" W	12.00'
L3	N 67°17'21" E	25.00'
L4	S 22°42'39" E	25.00'
L5	S 22°42'39" E	5.00'
L6	N 67°17'21" E	51.65'
L7	N 22°42'39" W	42.04'
L8	N 33°21'31" E	23.98'
L9	N 64°23'18" E	29.17'
L10	N 24°43'51" W	36.47'
L11	N 54°03'21" W	36.33'
L12	N 67°17'21" E	18.81'

DESCRIPTIONS

LA: 31°51'29.626"N
LONG: 106°32'24.016"W
BASE ELEV (FINISH FLOOR BLDG): 4255' (MVD08)
TOP PROPOSED ANTENNA SHIELD: 4275' (30' A.G.L.)

NOTES

100

LEGEND

REF: TX5545

CERTIFICATION

1 HERBY CERTIFY THAT THIS EXACT WAS
PURCHASED BY ME OR UNDER MY
SUPERVISION AND THAT THE INFORMATION
PRESENTED HEREON IS TRUE AND CORRECT
TO BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]

CHRISTOPHER A. DAWSON, P.L.S.
(TX 5311-RM 16467-AZ 35621)

04-22-2015

SUR-1

SHEET TITLE
SURVEY SHEET

SITE ADDRESS:
6520 LOMA DE CRISTO
EL PASO, TX. 79912

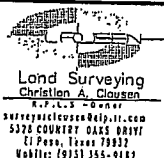
ISSUED FOR:	DATE
RENT	08-01-2002
ISSUED FOR FUEL	08-13-2006
ADVE LEASE AND EASEMENTS	12-03-2010
ISSUED FOR FUEL	12-01-2011
HOVME LEASE AREA 90	04-22-2011



2
GELERSCORP
CONSULTING ENGINEERS
a subsidiary of Microwave Transmissions
Systems, Inc.

PROJECT INFORMATION
PROPOSED AT&T
LEASE AREA

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MEMORANDUM

DATE: May 2, 2013
TO: The Honorable Mayor and City Council
Joyce A. Wilson, City Manager
FROM: Andrew Salloum, Planner
SUBJECT: PZST12-00023

The City Plan Commission (CPC), on February 21, 2013, voted 5-0 to recommend **approval** of the special permit application to allow a Personal Wireless Service Facility (PWSF) with the following condition that wiring and equipment be installed in the most inconspicuous way possible adjacent to the building so that it won't stir up the existing terrain.

The CPC found that the special permit is in conformance with Plan El Paso. The CPC also determined that the special permit protects the best interest, health, safety and welfare of the public in general; that the proposed use is compatible with adjacent land uses; and the special permit will have no effect on the natural environment, social economic conditions, and property values in the vicinity and the city as a whole.

There were 2 phone calls and 1 letter in opposition to this request.

Attachment:
Staff Report



City of El Paso – City Plan Commission Staff Report

Case No: PZST12-00023
Application Type: Special Permit
CPC Hearing Date: February 21, 2013
Staff Planner: Andrew Salloum, 915-541-4633, salloumam@elpasotexas.gov

Location: 6520 Loma De Cristo Drive
Legal Description: Lot 19 and a portion of Lot 17, Block 138, Chaparral Park Unit 30, City of El Paso, El Paso County, Texas
Acreage: 10.585 acres
Rep District: 1
Existing Use: Church and Ground-Mounted Pole Personal Wireless Service Facility (PWSF)
Existing Zoning: P-R 1 (Planned Residential I)
Request: Special Permit to allow a Personal Wireless Service Facility (PWSF)
Proposed Use: Facility-Mounted Personal Wireless Service Facility (PWSF)

Property Owner: Ascension Lutheran Church
Applicant: Ascension Lutheran Church c/o Elliot Werner, Head Trustee
Representative: David Prejean

SURROUNDING ZONING AND LAND USE

North: R-3 (Residential) / Single-family dwellings
South: P-R 1 (Planned Residential I) / Vacant
East: R-3 (Residential) / Single-family dwellings and P-R 1 (Planned Residential I) / Vacant
West: R-3 (Residential) / Vacant and C-2 (Commercial) / Self-storage facility

THE PLAN FOR EL PASO DESIGNATION: G-4, Suburban (Walkable) (Northwest Plan Area)
NEAREST PARK: Park Hills Park (3,229 feet)
NEAREST SCHOOL: Hornedo Middle (4,501 feet)

NEIGHBORHOOD ASSOCIATIONS

North Hills Neighborhood Pride Association
Save the Valley
Coronado Neighborhood Association
Upper Mesa Hills Neighborhood Association
Mountain Arroyo Neighborhood Association

NEIGHBORHOOD INPUT

Notice of a Public Hearing was mailed to all property owners within 300 feet of the subject property on January 22, 2013. The Planning Division received two phone calls and one letter in opposition of this request.

APPLICATION DESCRIPTION

The applicant requests a special permit to allow the placement of a roof-mounted personal wireless service facility (PWSF). The site plan shows a facility-mounted Personal Wireless Service Facility (PWSF) that is 39 feet and 6 inches in height and camouflaged as a metal frame cross. The PWSF will be located on the Ascension Lutheran Church and the property is 10.585 acres in size. A special permit is a requirement of 20.10.455 of the El Paso City Code. The applicant verified that co-locate is not possible; necessitating a new tower. There are two existing PWSF towers within ½ mile of this site (located on the subject property).

PLANNING DIVISION RECOMMENDATION

The Planning Division recommends **APPROVAL** of the special permit for a Personal Wireless Service Facility (PWSF), as it meets all the requirements of 20.04.320, Special Permit.

Plan El Paso-Future Land Use Map Designation

All applications for special permit shall demonstrate compliance with the following criteria:

G-4 – Suburban (Walkable): This sector applies to modern single use residential subdivisions and office parks, large schools and parks, and suburban shopping centers. This sector is generally stable but would benefit from strategic suburban retrofits to supplement the limited housing stock and add missing civic and commercial uses.

The purpose of the P-R 1 (Planned Residential I) district is to encourage planned developments as a means of creating a superior living environment through unified planning and building operations at lower residential densities. The regulations of the district are designed to encourage variety in housing needed to meet changing housing demands and to provide adequate community facilities well-located with respect to needs; to protect the natural beauty of the landscape; to encourage preservation and more efficient use of open space; and to offer an opportunity for design flexibility and encourage innovations which may result in improved relationships between uses of different types and between land uses and transportation facilities.

COMMENTS:

City Development Department - Planning Division - Transportation

There are no transportation issues for the PWSF request.

City Development Department – Plan Review

No objections.

City Development Department - Landscaping Division

Landscape is not required for a cell tower location on a building or for co-locations.

City Development Department - Land Development

No Objection.

Grading plan and permit shall be required.*

Storm Water Pollution Prevention Plan and/or permit required.*

Drainage plans must be approved by the City Development Department, Land Development Section.*

* This requirement will be applied at the time of development.

Sun Metro

Sun Metro does not oppose this request. Recommends the construction of sidewalks to permit pedestrian access to mass transit opportunities.

El Paso Water Utilities

We have reviewed the above referenced request and site plan and provide the following comments:

1. EPWU-PSB Planning & Development section does not object to this request.

EPWU-PSB Comments

Water:

2. There is an existing 8-inch diameter water main along Loma De Cristo fronting the subject property.

Sanitary Sewer:

3. There is an existing 8-inch diameter sanitary sewer main along Loma De Cristo fronting the subject property.

General:

4. EPWU records indicate existing domestic and fire line water connection serving the subject property.

5. EPWU requires a new service application to serve the site. The following items are required at the time of application: (1) hard copy of subdivision plat with street names and addresses; (2) finalized set of street

improvement plans, including storm sewer; (3) digital copy of subdivision plat; (4) benchmark check; and (5) construction schedule. Service will be provided in accordance with the current EPWU – PSB Rules and Regulations. The owner is responsible for the costs of any necessary on-site and off-site extensions, relocations or adjustments of water and sanitary sewer lines and appurtenances.

CITY PLAN COMMISSION OPTIONS

The City Plan Commission may consider the following options and additional options that it identifies when reviewing the special permit and detailed site development plan application:

1. Recommend approval of the application finding that the special permit and detailed site development plan is in conformance with the review criteria of Plan El Paso as reflected in CPC report or other criteria that the CPC identifies from the Plan
2. Recommend approval of the application with modifications to bring the special permit and detailed site development plan into conformance with the review criteria in Plan El Paso as reflected in CPC report or other criteria from the Plan as identified by the CPC.
3. Deny the application finding that the special permit and detailed site development plan does not conform to the review criteria in Plan El Paso as reflected in CPC report or other criteria identified from the Plan by the CPC.

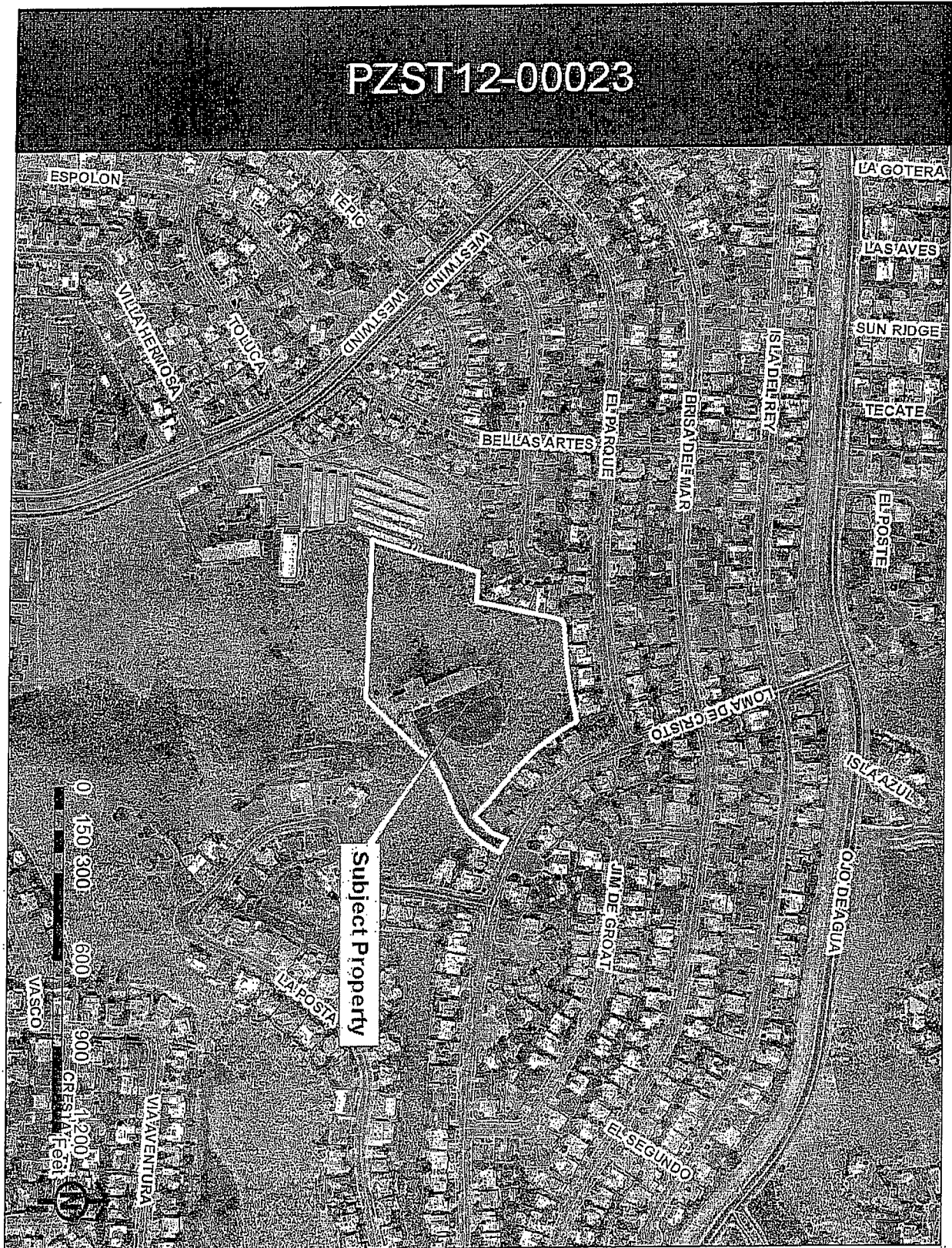
Attachments

1. Location Map
2. Aerial Map
3. Detailed Site Plan
4. Elevation
5. Simulation Picture
6. Opposition Letter

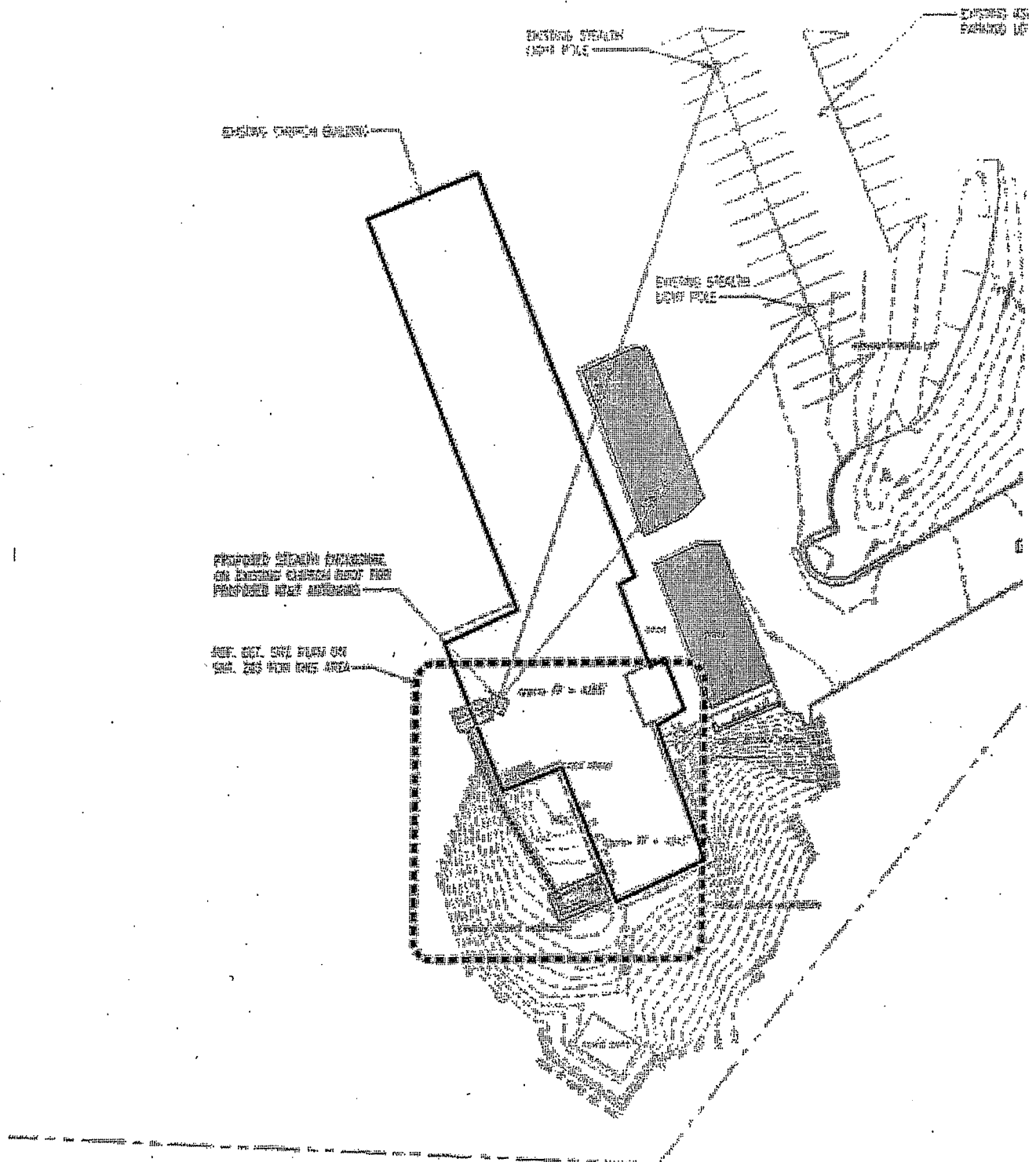
ATTACHMENT 1: LOCATION MAP



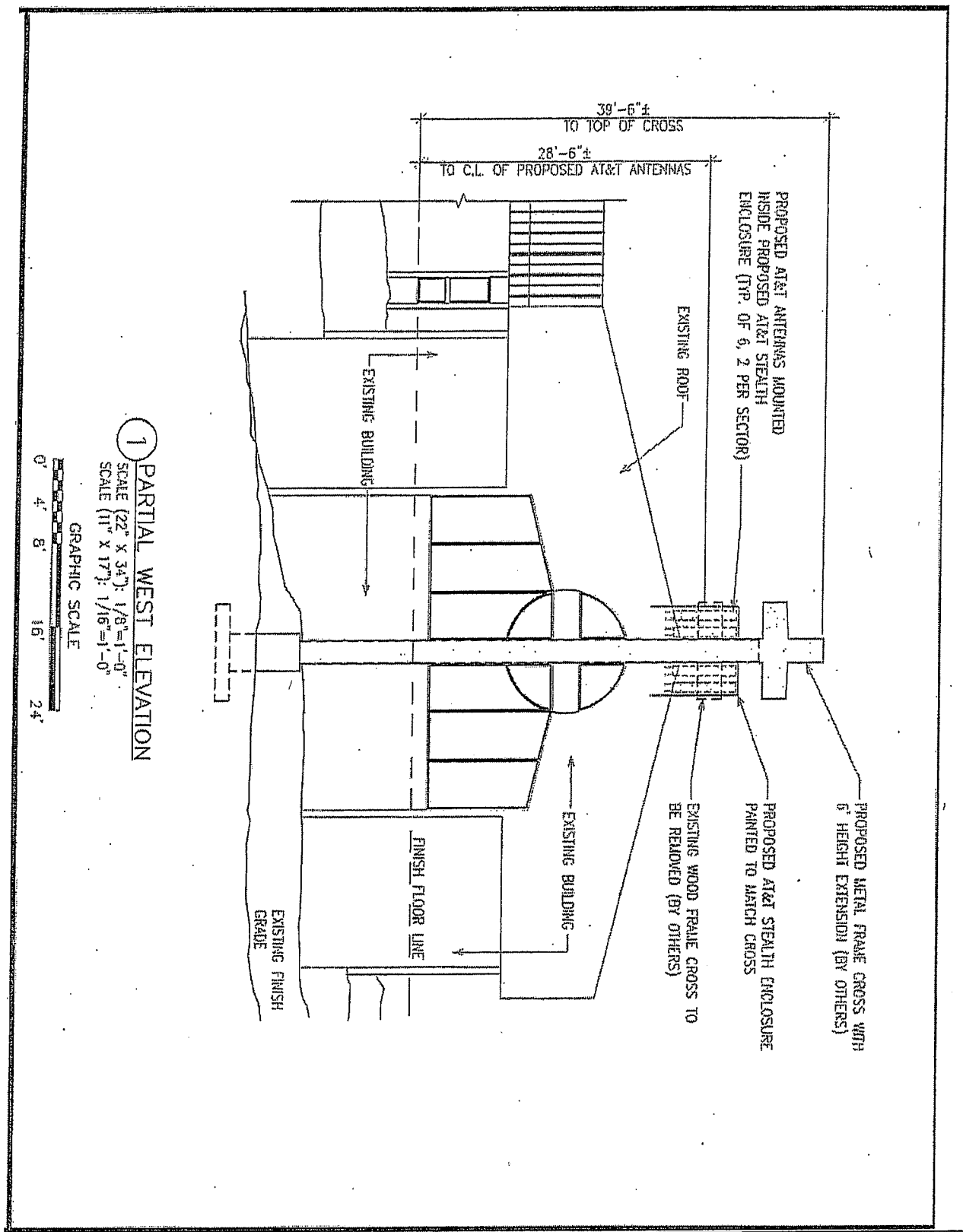
ATTACHMENT 2: AERIAL MAP



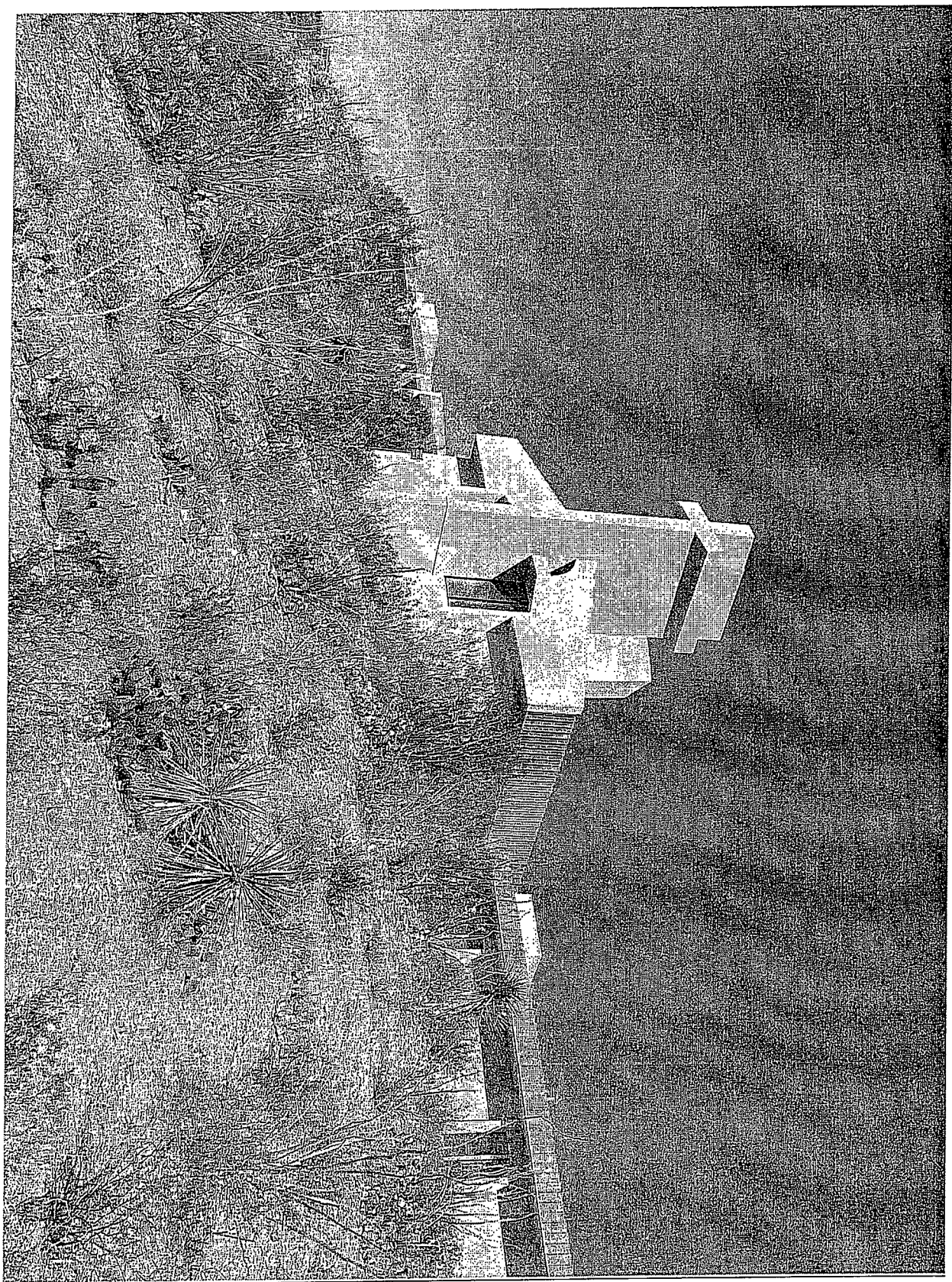
ATTACHMENT 3: DETAILED SITE DEVELOPMENT PLAN



ATTACHMENT 4: ELEVATION



ATTACHMENT 5: SIMULATION PICTURE



ATTACHMENT 6: OPPOSITION LETTER

936 Agua Caliente
El Paso, TX 79912
February 12, 2013

El Paso City Plan Commission
c/o Planning Division, 5th Floor, City Hall
2 Civic Center plaza
El Paso, TX 79901-1196

RE: Case No. PZST12-00023

We own a home at the base of the hill that is occupied by the church at 6520 Loma de Cristo Drive where this personal wireless facility (PWF) would be located. We urge to the Commission to NOT APPROVE the application for the following reasons:

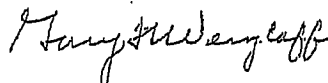
- 1) The structure housing the PWF would be a large, square or rectangular addition to the roof not in keeping with architectural lines of the existing church structure.
- 2) The proposed restoration of the crucifix would not completely obscure the view of this unsightly addition.
- 3) The application information does not indicate if additional lighting would be required, but if so, that would represent another objection to approval.

The church, situated on top of the hill, is presently a pleasing landmark visible from dozens of homes below. We believe the proposed structure would significantly diminish its attractiveness and therefore possibly inflict a negative impact on nearby residential property values.

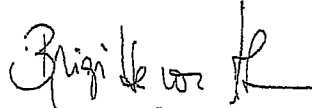
In discussing this application with some of our neighbors who also received notice from the city, we learned that they did not understand that the proposal involves a structure on the church above. We believe more might oppose the application if they understood it completely.

I attended the meeting on this application originally scheduled on February 7. It was postponed until February 21. I am unable to attend on the 21st, hence this objection in writing.

Respectfully,



Gary H. Wenzlaff



Brigitte von Ahn

CITY CLERK DEPT.
2013 FEB 18 AM 11:05